

# STEHLI SILK MILL RENOVATIONS AND ALTERATIONS PHASE II

FOR STEHLI MILL, LLC 619-629 MARTHA AVE LANCASTER, PA 17601

## HAMMEL ASSOCIATES ARCHITECTS, LLC Lancaster, PA

(717) 393.3713 FAX (717) 393.8227 WEB: WWW.HAMMELARCH.COM EMAIL: INFO@HAMMELARCH.COM

RETTEW **CIVIL ENGINEER** LANCASTER, PA 800.738.8395

RRD, PE CORP STRUCTURAL ENGINEER LANCASTER, PA 717.617.2725

## CENTURY ENGINEERING MEP/FP ENGINEER NEW CUMBERLAND, PA 717.901.7055

## JOINT SEALER SCHEDULE

DESCRIPTION OF JOINT CONSTRUCTION AND

#### DRAWING DESIGNATION

	SEALANT TYPE	LOCATION WHERE JOINT SEALER IS TYPICALLY APPLIED. (SEE NOTE BELOW)
ES-1	ONE-PART NONACID- CURING SILICONE SEALANT	EXTERIOR & INTERIOR VERTICAL JOINTS BETWEEN METAL & CONCRETE, UNIT MASONRY MORTAR, OR STONE; INTERIOR & EXTERIOR PERIMETER JOINTS OF METAL & WOOD FRAMES IN EXTERIOR WALLS; & EXTERIOR OVERHEAD JOINTS.
ES-2	MULTI-PART POURABLE URETHANE SEALANT	EXTERIOR & INTERIOR JOINTS IN HORIZONTAL SURFACES OF CONCRETE; BETWEEN METAL & CONCRETE, MORTAR & MASONRY.
ES-3	ONE-PART ACID-CURING SILICONE SEALANT	EXPOSED JOINTS WITHIN GLAZED CURTAIN WALL FRAMING SYSTEM, & ALUMINUM ENTRANCE FRAMING SYSTEM.
ES-4	ONE-PART MILDEW- RESISTANT SILICONE SEALANT	RESTROOMS, LOCKER & SHOWER AREAS
ES-5	TWO-PART URETHANE SEALANT	NOT USED
LS	ACRYLIC-EMULSION SEALANT	INTERIOR JOINTS IN FIELD-PAINTED VERTICAL & OVERHEAD SURFACES AT PERIMETER OF HOLLOW METAL DOOR FRAMES; IN GYPSUM DRYWALL, PLASTER & CONCRETE OR CONCRETE MASONRY; & ALL OTHER INTERIOR JOINTS NOT INDICATED OTHERWISE.
BAS-1	BUTYL-ASPHALT SEALANT, AC-20 IN ACCORDANCE WITH PA. DEPT. TRANSPORTATION TITLE 408 SPECIFICATIONS.	EXTERIOR JOINTS BETWEEN EXISTING & NEW ASPHALT PAVING & ASPHALT PAVING & MASONRY OR CONCRETE.
FSS-1	FOAMED-IN-PLACE FIRE-STOPPING SEALANT	THROUGH PENETRATIONS IN FIRE RESISTANCE RATED FLOOR & WALL ASSEMBLIES INVOLVING MULTIPLE PIPES, CONDUITS & OTHER ITEMS.
FSS-2	ONE-PART FIRE-STOPPING SEALANT	THROUGH PENETRATIONS IN FIRE RESISTANCE RATED FLOOR & WALL ASSEMBLIES INVOLVING SINGLE PIPES, CONDUITS & WHERE JOINT WIDTHS ARE NARROW.
NOTE:	INSTALL JOINT SEALANTS IN ACCORD/ LISTED, AND IN LOCATIONS IDENTIFIED DESIGNATIONS LISTED ABOVE.	ANCE WITH DESCRIPTIONS AND LOCATIONS O ON DRAWINGS BY DRAWING

## **BUILDING DATA (**

OCCUPANCY:	USE
CONSTRUCTION TYPE:	3B
BUILDING HEIGHT:	EXI
FIRE ALARM SYSTEM:	YES
EMERGENCY LIGHTING:	YES
AUTOMATIC SPRINKLERS:	YES
AUTOMATIC FIRE	
DETECTION SYSTEM:	YES
FIRE SEPARATION:	1 H

#### FIRE SEPARATION AT FLOORS:

IBC 2015 CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY <u> 420.3 - HORIZONTAL SEPARATIONS</u> FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 7

<u>11.2.3 - SUPPORTING CONSTRUCTION</u> THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED

EXCEPTION: IN BUILDINGS OF TYPE IIIB CONSTRUCTION, THE CONSTRUCTION SUPPORTING THE HORIZONTAL ASSEMBLY IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED AT THE FOLLOWING: 2. HORIZONTAL ASSEMBLIES AT THE SEPARATIONS OF DWELLING UNITS AND SLEEPING UNITS AS REQUIRED BY SECTION 420.3.

711.2.4.3 - DWELLING UNITS AND SLEEPING UNITS IORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. EXCEPTION: HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS AND SLEEPING

UNITS SHALL BE NOT LESS THAN 1/2-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION IN A BUILDING OF TYPE IIB, IIIB AND VB CONSTRUCTION, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

722 - CALCULATED FIRE RESISTANCE THE CALCULATED FIRE RESISTANCE OF EXPOSED WOOD MEMBERS AND WOOD DECKING SHALL BE PERMITTED IN ACCORDANCE WITH CHAPTER 16 OF ANSI/AWC NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).

REFER TO STRUCTURAL CALCULATIONS - 1 HOUR RATED SEPARATION IS PROVIDED IN EXISTING CONSTRUCTION.

CVS CVS Clen Moore Cir	Rutledge Ave Rutledge Ave Haskell Dr Haskell Dr Haskell Dr	Center 4 <sub>Ve</sub> Hom <sub>elana</sub> Dr Lancaster Jaycee Park
A Fitness O Marshalls		Outdo Dr Satisbury Ct Satisbury Ct Janet Ave
Dunkin' Con House & Sports Bar KellerAve	Lancaster Catholic High School Mershall Ave American Bar & Grill	
	Prysler Jeep 2222 E Liberty St Ice Ave E Ross St Rock St E Clay St Grove Ln Grove Ln Grove St Grove St Gro	o's Pizza
dium Cancas General Hosp	ter (1) Lancaster Science Factory	JP McCaskey Fast High School
LOCATIC		

201	15	IBC	

SE GROUP R-2, S-1

(ISTING TO REMAIN

HOUR BETWEEN USE GROUPS AND SEPARATION OF R-2 TO S-1.

	NORTH	PROJECT NORTH
BUILDING AREA		
	Eviatia a	Addition
PHASE I	Existing	Addition
Mill 1, Basement:	3,798 sf	0 sf
Mill 1, First Floor:	14,051 sf 14,057 sf	0 sf 0 sf
Mill 1, Second Floor:	14,057 sf 14,057 of	0 sf
Mill 1, Third Floor:	14,057 sf 12,520 sf	0 sf
Mill 2, First Floor:	13,539 sf 13,240 sf	0 sf
Mill 2, Second Floor: Mill 2, Third Floor:	13,249 sf 13,249 sf	0 sf
		0 sf
Mill 3, First Floor:	14,359 sf	
Mill 3, Second Floor:	14,359 sf	0 sf
Mill 3, Third Floor:	14,359 sf	0 sf
Building 20:	723 sf	0 sf
Building 21:	4,527 sf	0 sf
Boiler Plant Building, First Floor:	9,936 sf	0 sf
Boiler Plant Building, Second Floor:	2,137 sf	<u>0 sf</u>
Total Mill 1:	45,963 sf	0 sf
Total Mill 2:	40,037 sf	0 sf
Total Mill 3:	43,077 sf	0 sf
Total Building 20:	723 sf	0 sf
Total Building 21:	4,527 sf	0 sf
Total Boiler Plant Building:	12,073 sf	<u>0 sf</u>
Total Overall Phase I	146,400 sf	0 sf
PHASE II	Existing	Addition
Mill 5, Basement:	10,646 sf	0 sf
Mill 5, First Floor:	20,285 sf	0 sf
Mill 5, Second Floor:	20,285 sf	0 sf
Mill 5, Third Floor:	20,285 sf	0 sf
Mill 6, First Floor:	11,727 sf	0 sf
Mill 6, Second Floor:	11,971 sf	0 sf
Mill 6, Third Floor:	11,727 sf	<u>0 sf</u>
Total Mill 5:	71,501 sf	0 sf
Total Mill 6:	35,425 sf	<u>0 sf</u>
Total Overall Phase II	178,427 sf	0 sf
TOTAL	Existing	Addition
Total Overall Phase 1	146,400 sf	0 sf
Total Overall Phase 2	178,427 sf	0 sf
Overall Total	324,827 sf	0 sf

1. COMMO A. 2015 INTERNATIONAL EXISTING BUILDING CODE B. 2015 INTERNATIONAL BUILDING CODE

- 2018 INTERNATIONAL BUILDING CODE CHAPTER 11 & APPENDIX E
- ICC A117.1-2009 2015 INTERNATIONAL FIRE CODE

- 2015 INTERNATIONAL FUEL GAS CODE
- G. 2015 INTERNATIONAL MECHANICAL CODE H. 2015 INTERNATIONAL PLUMBING CODE
- 2014 NATIONAL ELECTRIC CODE (NFPA 70) 2013 NFPA 13
- K. 1013 NFPA 72 L. MANHEIM TOWNSHIP BUILDING ORDINANCE 2019-1 AND ALL REFERENCED REGULATIONS.

2. 2015 INTERNATIONAL ENERGY CONSERVATION CODE

ALL DIMENSIONS MEASURENTS AND		
ALL DIMENSIONS, MEASURENTS AND PROJECT CONDITIONS SHALL BE	STAMP	
CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER		
ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR		
CONSIDERATION PRIOR TO PROCEESING WITH THE WORK. THE		
CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT		
APPROVED BY THE ARCHITECT, CAUSED BY LACK OF		
COORDINATION AND OR NOTIFICATION.		
SCHEDULE OF ALTERNATES		10
1. PARTITIONS BETWEEN UN BETWEEN UNITS AND CIR	CULATION SPACES TO	BE BASED
ON WALL ASSEMBLY TYPE STUDS @ 16" OC, 1" AIR SI		
OC (STAGGERED WITH FI	RST ROW), 5/8" GWB. V	VEAVE 2-1/2"
THICK GLASS FIBER BATT FRAMING.	INSULATION THROUGH	
2. NEW EXTERIOR CANOPIES	S TO BE TUBE STEEL SI	ECTION
MEMBERS, NOT ANGULAR T&G WOOD WITH HARDIB	SECTION MEMBERS. F	REPLACE
UNDERSIDES OF CANOPIE		AI
	PHASE II	
BID SET NOT FOR CO		ON
	NSTRUCT	ON
NOT FOR CO	NSTRUCT	ON
NOT FOR CO 10.28.	NSTRUCT 2020	
NOT FOR CO 10.28.	NSTRUCT 2020	ON Date
NOT FOR CO 10.28.	NSTRUCT 2020	
NOT FOR CO 10.28.	NSTRUCT 2020	
NOT FOR CO 10.28.	NSTRUCT 2020	
NOT FOR CO 10.28.	NSTRUCTI 2020	
NOT FOR CO 10.28.		
REVISIONS          NO.       Description         No.       Description         Description       Description         Descrint       Description	NSTRUCTI 2020	Date
	NSTRUCTI 2020	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         Descrint       Description	NSTRUCTI 2020	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         Descrint       Description	NSTRUCTI 2020	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         Descrint       Description	NSTRUCTI 2020	Date
REVISIONS No. Description Desc	NSTRUCTI 2020	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         Descrint       Description	NSTRUCTI 2020	Date
REVISIONS No. Description Desc	NSTRUCTI 2020	Date
REVISIONS No. Description Desc	NSTRUCTI 2020	Date
REVISIONS No. Description Desc	NSTRUCTI 2020	Date
REVISIONS No. Description Desc	NSTRUCTI 2020	Date
REVISIONS No. Description Desc	NSTRUCTI 2020	Date
REVISIONS No. Description No. Description	NSTRUCTI 2020	Date
REVISIONS No. Description REVISIONS No. Description D	NSTRUCTI 2020	Date
REVISIONS          No.       Description         No.       Description         Description       Description         Description       Description         Description       Description         PROJECT DESCRIPTION       STEHLI SILK MILL RENOVATIONS AND A         619-629 MARTHA AVE       Description	NSTRUCTI 2020	Date
REVISIONS          No.       Description         No.       Description         No.       Description         No.       Description         STEHLI SILK MILL RENOVATIONS AND A         619-629 MARTHA AVE	NSTRUCTI 2020	Date
REVISIONS          No.       Description         No.       Description         Description       Description         Description       Description         Description       Description         PROJECT DESCRIPTION       STEHLI SILK MILL RENOVATIONS AND A         619-629 MARTHA AVE       Description	NSTRUCTI 2020	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         Description       Description         PROJECT DESCRIPTION       STEHLI SILK MILL RENOVATIONS AND A         619-629 MARTHA AVE LANCASTER, PA 17601       Description         SHEET TITLE       SHEET TITLE	NSTRUCTI 2020	Date
REVISIONS No. Description REVISIONS No. Description Description Description Description Description STEHLI SILK MILL RENOVATIONS AND A 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE COVER SHEET		Date
REVISIONS          NO.       Description         No.       Description         Description       Description         Description       Description         PROJECT DESCRIPTION       STEHLI SILK MILL RENOVATIONS AND A         619-629 MARTHA AVE LANCASTER, PA 17601       Description         SHEET TITLE       SHEET TITLE	NSTRUCTI 2020	Date
REVISIONS No. Description REVISIONS No. Description Description Description Description Description STEHLI SILK MILL RENOVATIONS AND A 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE COVER SHEET	SCALE 1/4" = 1'-0"	Date
REVISIONS No. Description  REVISIONS No. Description  REVISIONS Description  REVISIONS  REVISIONS REVISIONS REVENTIAL  STEHLI SILK MILL RENOVATIONS AND A  619-629 MARTHA AVE LANCASTER, PA 17601  SHEET TITLE COVER SHEET ISSUE DATE -	SCALE 1/4" = 1'-0" DRAWN BY	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         STEHLI SILK MILL RENOVATIONS AND A       Description         SHEET TITLE       COVER SHEET         ISSUE DATE       -         FILE NUMBER       -	SCALE 1/4" = 1'-0" DRAWN BY	Date
NOT FOR CO         10.28.         REVISIONS         No.       Description         Image: Street of the second	SCALE 1/4" = 1'-0" DRAWN BY KH	Date
NOT FOR CO         10.28.         REVISIONS         No.       Description         Image: Street of the second	SCALE 1/4" = 1'-0" DRAWN BY KH	Date
NOT FOR CO         10.28.         REVISIONS         No.       Description         Image: Street of the second	SCALE 1/4" = 1'-0" DRAWN BY KH	Date
REVISIONS          NO.       Description         No.       Description         Description       Description         STEHLI SILK MILL RENOVATIONS AND A       Description         SHEET TITLE       COVER SHEET         ISSUE DATE       -         FILE NUMBER       -	SCALE 1/4" = 1'-0" DRAWN BY KH	Date

SHEET LIST - PH	_
Sheet Number 00 COVER SHEET	Shee
CS2.1	COVEF
CS2.3	GENEF
CS2.4	GENEF
CS2.5	GENER
CS2.6 CS2.7	PHASE PHASE
CS2.8	OVERA
01 GENERAL G1.1	ADA AO
04 ARCHITECTURAL	
DA1.11 DA1.12	DEMOL DEMOL
DA1.12	DEMOL
DA1.14	DEMOL
DA1.15	DEMOL
A1.51	OVERA
A1.52	OVERA
A1.53 A1.54	OVERA OVERA
A1.54	OVERA
A1.70	MILL 5
A1.71	MILLS
A1.72	MILLS
A1.73	MILLS
A2.05	EXTER
A2.06 A2.12	EXTER STAIR
A3.05	BUILDI
A3.06	BUILDI
A4.11	ENLAR
A4.12	ENLAR
A4.92	ENLAR
A4.93	ENLAR
A4.94 A4.95	ENLAR ENLAR
A4.35	ENLAR
A4.112	ENLAR
A4.113	ENLAR
A4.114	ENLAR
A4.115	ENLAR
A5.70 A5.71	PHASE PHASE
A5.71	PHASE
A5.80	STEHL
A6.50	PHASE
A6.51	PHASE
A6.52	PHASE
A6.61 A6.70	PHASE ROOM
A6.80	CASEV
A7.21	STAIR
A7.22	STAIR
A7.23	STAIR
A7.24	STAIR
A7.25	STAIR
A7.26 A7.27	STAIR STAIR
A7.42	EXTER
A7.60	STAIR
05 STRUCTURAL	
S1.52	STRUC
S1.53	STRUC
S1.54 S1.55	STRUC
S2.50	GENEF
S2.51	GENEF
06 MECHANICAL	0.00
M0.01 M1.51	SYMBC BASEN
M1.51	FIRST
M1.53	FIRST
M1.54	SECO
M1.55	SECO
M1.56	THIRD
M1.57	
M1.58 M1.59	ROOF ROOF
M1.59 M4.04	UNIT P
M4.05	UNIT P
IVI <del>T</del> .00	MECH
M5.05	
M5.05 M5.06 M5.07	MECH/ MECH/
M5.05 M5.06 M5.07 M7.03	MECH/ MECH/ MECH/
M5.05 M5.06 M5.07	MECH/ MECH/

er	Sheet Name
	COVER SHEET
	GENERAL PHASE 2 NOTES
	GENERAL PHASE 2 NOTES
	GENERAL PHASE 2 NOTES
	PHASE 2 UNIT ORIENTATION PHASE 2 FINISH SCHEDULE
	OVERALL SITE KEY PLAN
	ADA ACCESSIBILITY DIAGRAMS & SYMBOLS
AL	
	DEMOLITION & ALTERATION PLAN BASEMENT MILL 5
	DEMOLITION & ALTERATION PLAN FIRST FLOOR MILL 5 & 6
	DEMOLITION & ALTERATION PLAN SECOND FLOOR MILL 5 & 6
	DEMOLITION & ALTERATION PLAN THIRD FLOOR MILL 5 & 6 DEMOLITION & ALTERATION ROOF PLAN MILL 5 & 6
	OVERALL BASEMENT FLOOR PLAN MILL 5
	OVERALL FIRST FLOOR PLAN MILL 5 & 6
	OVERALL SECOND FLOOR PLAN MILL 5 & 6
	OVERALL THIRD FLOOR PLAN MILL 5 & 6
	OVERALL ROOF PLAN MILL 5 & 6
	MILL 5 BASEMENT REFLECTED CEILING PLAN
	MILLS 5&6 FIRST FLOOR REFLECTED CEILING PLAN MILL
	MILLS 5&6 SECOND FLOOR REFLECTED CEILING PLAN
	MILLS 5&5 THIRD FLOOR REFLECTED CEILING PLAN
	EXTERIOR ELEVATIONS MILLS 5 + 6
	EXTERIOR ELEVATIONS MILLS 5 + 6
	STAIR #8 ELEVATIONS BUILDING SECTIONS - MILLS 5-6
	BUILDING SECTIONS - MILLS 5-6
	ENLARGED ENTRY STAIR 5&7
	ENLARGED ENTRY STAIR 6
	ENLARGED STUDIO UNIT PLANS, MILLS 5-6
	ENLARGED ONE BEDROOM UNIT PLANS, MILLS 5-6
	ENLARGED TWO BEDROOM UNIT PLANS, MILLS 5-6
	ENLARGED ONE BEDROOM UNIT PLANS, MILLS 5/6
	ENLARGED UNIT RESTROOM PLANS AND ELEVATIONS
	ENLARGED UNIT RESTROOM PLANS AND ELEVATIONS
	ENLARGED UNIT RESTROOM PLANS AND ELEVATIONS ENLARGED UNIT RESTROOM PLANS AND ELEVATIONS
	ENLARGED UNIT RESTROOM PLANS AND ELEVATIONS
	PHASE II ENTRY CANOPY DETAILS
	PHASE II DETAILS
	PHASE II BUILDING DETAILS
	STEHLI LETTERING
	PHASE II DOOR DETAILS
	PHASE II DOOR SCHDULE
	PHASE II DOOR SCHDULE - UNITS
	PHASE II WINDOW SCHEDULES
	ROOM FINISH
	STAIR & ELEVATOR TOWER 5 - MILL 5 - ENLARGED PLAN STAIR & ELEVATOR TOWER 5 - SECTIONS
	STAIR & ELEVATOR TOWER 5 - SECTIONS STAIR & ELEVATOR TOWER 7 - MILL 5 - ENLARGED PLANS
	STAR & ELEVATOR TOWER 7 - MILE 5 - ENLARGED PLANS
	STAIR & ELEVATOR TOWER 6 - MILL 6 - ENLARGED PLANS
	STAIR & ELEVATOR TOWER 6 - SECTIONS
	STAIR TOWER 8 - MILL 6 - ENLARGED PLANS
	EXTERIOR RAMPS - DETAILS
	STAIR #8 DETAILS
	STRUCTURAL ALTERATIONS PLAN FIRST FLOOR MILLS 5 AND 6
	STRUCTURAL ALTERATIONS PLAN SECOND FLOOR MILLS 5 AND 6
	STRUCTURAL ALTERATIONS PLAN THIRD FLOOR MILLS 5 AND 6
	STRUCTURAL ALTERATIONS PLAN ROOF MILLS 5 AND 6 GENERAL STRUCTURAL NOTES
	GENERAL STRUCTURAL NOTES

SYMBOLS, NOTES & ABBREVIATIONS	
BASEMENT FLOOR PLAN MILL 5 - HVAC	
FIRST FLOOR PLAN, MILL 5 - HVAC	
FIRST FLOOR PLAN, MILL 6 - HVAC	
SECOND FLOOR PLAN, MILL 5 - HVAC	
SECOND FLOOR PLAN, MILL 6 - HVAC	
THIRD FLOOR PLAN, MILL 5 - HVAC	
THIRD FLOOR PLAN, MILL 6 - HVAC	
ROOF PLAN, MILL 5 - HVAC	
ROOF PLAN, MILL 6 - HVAC	
UNIT PLANS, MILLS 5,6 - MECHANICAL	
UNIT PLANS, MILLS 5,6 - MECHANICAL'	
MECHANICAL RISER	
MECHANICAL RISER - MILL 5	
MECHANICAL RISER - MILL 6	
MECHANICAL SCHEDULES	
MECHANICAL SCHEDULES	
 MECHANICAL DETAILS	

SYMBOLS, NOTES & ABBREVIATIONS

GENERAL MASONRY DETAILS

07 PLUMBING

P0.01

#### SHEET LIST - PHASE II

heet Number	Sheet Name
P1.22	FOUNDATION FLOOR PLAN, MILL 5 - PLUMBING
P1.23	FOUNDATION FLOOR PLAN, MILL 6 - PLUMBING
P1.24	FIRST FLOOR PLAN, MILL 5 - PLUMBING
P1.25	FIRST FLOOR PLAN, MILL 6 - PLUMBING
P1.26	SECOND FLOOR PLAN, MILL 5 - PLUMBING
P1.27	SECOND FLOOR PLAN, MILL 6 - PLUMBING
P1.28	THIRD FLOOR PLAN, MILL 5 - PLUMBING
P1.29	THIRD FLOOR PLAN, MILL 6 - PLUMBING
P1.30	ROOF PLAN, MILL 5 - PLUMBING
P1.31	ROOF PLAN, MILL 6 - PLUMBING
P4.05	UNIT PLANS, MILLS 5,6 - PLUMBING
P4.06	UNIT PLANS, MILLS 5,6 - PLUMBING
P4.07	UNIT PLANS - MILLS 5,6 - PLUMBING
P4.08	ENLARGE PLANS, MILL-5,6 - PLUMBING
P5.03	PLUMBING DETAILS
P6.11	OVERALL SANITARY RISER DIAGRAM - MILL 5,6
P6.12	OVERALL VENT RISER DIAGRAM - MILL 5,6
P6.13	PLUMBING RISER DIAGRAM - MILL 5,6
P6.14	PLUMBING RISER DIAGRAM - MILL 5,6
P6.15	PLUMBING RISER DIAGRAM - MILL 5,6
P6.16	OVERALL DOMESTIC RISER DIAGRAM - MILL 5,6
P6.17	PLUMBING RISER DIAGRAM - MILL 5,6
P7.02	SCHEDULES - PLUMBING
17.02	
8 ELECTRICAL	
E0.001	SYMBOLS, NOTES & ABBREVIATIONS
E1.14	BASEMENT FLOOR PLAN MILL 5 - LIGHTING
E1.15	FIRST FLOOR PLAN, MILL 5 - LIGHTING
E1.16	FIRST FLOOR PLAN, MILL 6 - LIGHTING
E1.17	SECOND FLOOR PLAN, MILL 5 - LIGHTING
E1.18	SECOND FLOOR PLAN, MILL 6
E1.19	THIRD FLOOR PLAN, MILL 5 - LIGHTING
E1.20	THIRD FLOOR PLAN, MILL 6
E2.17	BASEMENT FLOOR PLAN MILL 5 - POWER AND SPECIAL SYSTEMS
E2.18	FIRST FLOOR PLAN, MILL 5 - POWER AND SPECIAL SYSTEMS
E2.19	FIRST FLOOR PLAN, MILL 6 - POWER AND SPECIAL SYSTEMS
E2.20	SECOND FLOOR PLAN, MILL 5 - POWER AND SPECIAL SYSTEMS
E2.21	SECOND FLOOR PLAN, MILL 6 - POWER AND SPECIAL SYSTEMS
E2.22	THIRD FLOOR PLAN, MILL 5 - POWER AND SPECIAL SYSTEMS
E2.23	THIRD FLOOR PLAN, MILL 6 - POWER AND SPECIAL SYSTEMS
E2.24	ROOF PLAN, MILL 5 - POWER AND SPECIAL SYSTEMS
E2.25	ROOF PLAN, MILL 6 - POWER AND SPECIAL SYSTEMS
E4.04	UNIT PLANS, MILLS 5,6 - ELECTRICAL
E4.05	UNIT PLANS, MILLS 5,6 - ELECTRICAL
	ELECTRICAL DETAILS
E5.03	ELECTRICAL RISERS/ONE-LINES
E5.03 E6.05	ELECTRICAL RISERS/ONE-LINES
E5.03 E6.05 E6.06	POWER RISER DIAGRAM
E5.03 E6.05 E6.06 E6.07	POWER RISER DIAGRAM COMMUNICATION RISER DIAGRAM
E5.03 E6.05 E6.06 E6.07 E7.05	POWER RISER DIAGRAM COMMUNICATION RISER DIAGRAM ELECTRICAL SCHEDULES
E5.03 E6.05 E6.06 E6.07	POWER RISER DIAGRAM COMMUNICATION RISER DIAGRAM



ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### GENERAL NOTES:

1. PERMITS, FEES AND INSPECTION: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL PERMITS, FEES AND INSPECTIONS. CERTIFICATES OF INSPECTION GENERALLY ISSUED BY GOVERNMENTAL AGENCIES OR UTILITIES CONCERNING PROJECTS OF THIS TYPE SHALL BE PROVIDED TO THE ARCHITECT PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION.

2. TEMPORARY FACILITIES: ALL TEMPORARY FACILITIES NEEDED TO COMPLETE THE WORK SHALL BE PROVIDED AND PAID FOR BY THE GENERAL CONTRACTOR, OR DELEGATED TO THE APPROPRIATE SUBCONTRACTOR. THESE TEMPORARY FACILITIES SHALL INCLUDE, BUT NOT BE LIMITED TO: FIRST AID, FIRE PROTECTION, SECURITY, CONSTRUCTION STORAGE, MOISTURE CONTROL, SCAFFOLDING, TRASH AND DEBRIS REMOVAL, LIGHTS, ELECTRICAL SERVICE, WATER SUPPLY, TELEPHONE, TOILETS AND HEAT IF REQUIRED.

3. FIELD MEASUREMENTS: BEFORE ORDERING MATERIALS, FABRICATING OR DOING WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AS THEIR WORK REQUIRES. NO EXTRAS WILL BE ALLOWED FOR DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN, BUT DIFFERENCES SHALL BE REFERRED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

4. WATERTIGHT BUILDING: THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL BE HELD STRICTLY RESPONSIBLE FOR WATERTIGHT BUILDING IN ALL AREAS WHERE WORK UNDER THIS CONTRACT IS UNDERTAKEN. FINAL PAYMENT WILL NOT BE MADE WHILE ANY AREA SHOWS A TENDENCY TO LEAK WATER.

5. SUBMITTALS: SUBMIT FOUR COPIES OF SHOP DRAWINGS, CATALOG CUTS AND/OR SCHEDULES TO OWNER'S REPRESENTATIVE FOR THE FOLLOWING ITEMS: A. ALL SUBSTITUTION REQUESTS

- B. FINISH HARDWARE SCHEDULE C. MECHANICAL EQUIPMENT
- D. LIGHT FIXTURES E. PLUMBING FIXTURES AND TRIM
- F. ALL MILLWORK INCLUDING: CASING, BASEBOARD, CABINETS, SHELVES, SILLS, & STOPS
- G. DOORS AND JAMBS H. ALL INTERIOR FINISHES
- I. WINDOWS J. CABINETRY
- K. SHEATHING
- L. ROOFING MATERIALS INCLUDING ALL METAL FLASHING AND SEALANTS
- M. INSULATION N. HARDIE PLANK PRODUCTS INCLUDING VAPOR BARRIER

7. FIRE PROTECTION: ALL CONTRACTORS SHALL EXERCISE EXTREME CARE TO PREVENT FIRES AT THE SITE AND WITHIN THE BUILDING DURING THE CONSTRUCTION PERIOD. GENERAL CONTRACTOR SHALL FURNISH AND MAINTAIN SUFFICIENT TANK TYPE FIRE EXTINGUISHERS IN STRATEGIC LOCATIONS FOR FIRE PROTECTION. ALL TEMPORARY FIRE EXTINGUISHERS SO FURNISHED SHALL REMAIN AS PROPERTY OF THE GENERAL CONTRACTOR.

GUARANTEE OF WORK AND MATERIALS: THE CONTRACTOR SHALL FULLY GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE OF BUILDING BY THE OWNER. CONTRACTOR SHALL CARRY OUT ALL NECESSARY REPAIRS, PATCHING, ADJUSTMENTS, REVISIONS, ETC., REQUIRED DURING GUARANTEE PERIOD AT NO ADDITIONAL COST TO THE OWNER. STOP ALL WATER LEAKS, REPAIR ALL SETTLEMENT AND SHRINKAGE CRACKS, REMEDY ALL DEFECTS OR DEFICIENCIES CAUSED BY POOR WORKMANSHIP OR THE USE OF INFERIOR MATERIAL OR EQUIPMENT WHICH DOES NOT MEET REQUIREMENTS NOTED AND/OR SPECIFIED. DAMAGE CAUSED BY WATER LEAKS DURING THE GUARANTEE PERIOD SHALL BE CORRECTED TO ORIGINAL CONDITION, AS DETERMINED BY THE ARCHITECT. CORRECT ALL DEFECTS PROMPTLY UPON NOTICE BY THE OWNER. DO NOT DISTURB ANY WORK GUARANTEED UNDER ANOTHER CONTRACT WITHOUT WRITTEN PERMISSION FROM THAT CONTRACTOR.

THE GUARANTEE PERIOD SHALL NOT TERMINATE UNTIL ALL CORRECTIVE MAINTENANCE REQUIRED DURING THE PERIOD IS FULLY COMPLETED TO THE SATISFACTION OF THE OWNER AND ARCHITECT. IF CONTRACTOR FAILS IN ANY WAY TO PROCEED OR COMPLY WITH THE TERMS OF THIS GUARANTEE, OWNER RESERVES THE RIGHT TO HAVE THE REPAIRS CORRECTED BY OTHERS AND BACKCHARGE THE CONTRACTOR FOR ALL COSTS SO INCURRED, AND TO MAKE ANY CLAIM AGAINST THE CONTRACTOR AS TO CHARACTER, QUALITY, QUANTITY OF WORK AND MATERIALS FURNISHED.

10. CODES AND STANDARDS: ALL WORK SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF LOCAL, COUNTY AND STATE LAWS AND REGULATIONS.

11. CLEAN-UP: THE PROJECT SITE SHALL BE KEPT IN A NEAT, ORDERLY FASHION DURING CONSTRUCTION. ALL DEBRIS, TOOLS, EQUIPMENT ETC. SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF THE WORK. WORK UNDER THIS CONTRACT SHALL BE BROOM CLEAN WITH ALL PLUMBING FIXTURES, FINISH HARDWARE, MIRRORS, AND WINDOW GLASS CLEANED AND POLISHED.

12. MATERIAL INSTALLATION: ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. TECHNICAL INFORMATION REQUIRED BY THE CONTRACTOR SHALL BE OBTAINED FROM THE MANUFACTURER PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF ANY MATERIAL.UNSPECIFIED PARTS REQUIRED FOR PROPER SYSTEM OPERATION OF ALL BUILDING SYSTEMS ENUMERATED IN THIS CONTRACT SHALL BE PROVIDED AND INSTALLED BY THE APPROPRIATE CONTRACTOR OR SUB-CONTRACTOR.

13. CUTTING AND PATCHING: CUTTING AND PATCHING FOR THE INSTALLATION OF ALL REQUIRED MECHANICAL, BUILDING, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. EXISTING BUILDING SURFACES DAMAGED OR REMOVED DUE TO REQUIREMENTS OF THIS CONTRACT SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS.

14. SUBSTITUTIONS: CONTRACTOR SHALL USE THE MATERIALS AND EQUIPMENT SPECIFIED OR AN APPROVED EQUAL. SUBSTITUTIONS MAY BE MADE ONLY WITH THE WRITTEN APPROVAL OF THE OWNER. UNSPECIFIED MATERIALS AND EQUIPMENT NEEDED TO COMPLETE THE WORK SHALL ALSO BE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT. IF THE ARCHITECT APPROVES A SUBSTITUTE JUDGED BY HIM TO BE OF LESSER QUALITY THAN THE ORIGINAL SPECIFICATION, THE CONTRACTOR SHALL GIVE THE OWNER AN APPROPRIATE CREDIT.

15. PROJECT CLOSE-OUT: THE OWNER SHALL BE GIVEN WRITTEN NOTICE FOR A FINAL INSPECTION. ITEMS FOUND INCOMPLETE OR OF UNACCEPTABLE QUALITY OR WORKMANSHIP SHALL BE PLACED ON A LIST AND COMPLETED OR IMPROVED TO THE SATISFACTION OF THE OWNER PRIOR TO FINAL PAYMENT.

16. STIPULATION AGAINST LIENS: THE CONTRACTOR AGREES TO EXECUTE A STIPULATION AGAINST LIENS IN A FORM ACCEPTABLE TO THE OWNER'S LEGAL COUNSEL, TO BE FILED IN THE COUNTY COURTHOUSE.

17. SAFETY BARRIERS: CONTRACTORS SHALL PROVIDE AND MAINTAIN NECESSARY FENCES, BARRIERS, SIGNS, ETC. TO KEEP THE PUBLIC OUT OF UNSAFE AREAS.

- 18. BEWARE OF ANY OVERHEAD UTILITY LINES.
- 19. OBSERVE OSHA REGULATIONS WHEN WORKING IN TRENCHES.

20. USE PENNSYLVANIA'S ONE CALL UNDERGROUND UTILITY LOCATION SERVICE. 1-800-242-1776 BEFORE DOING EXCAVATION.

21. HAZARDOUS MATERIALS ABATEMENT: CONTRACTOR RESPONSIBLE FOR IDENTIFICATION AND VERIFICATION OF ALL SUSPECTED LEAD AND ASBESTOS CONTAINING MATERIALS PRESENT THROUGHOUT THE PROPERTY. ALL CONFIRMED LEAD AND ASBESTOS CONTAINING MATERIALS ARE TO BE ABATED IN ACCORDANCE WITH ALL APPLICABLE LOCAL. STATE AND FEDERAL CODES AND REGULATIONS AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY OF YORK, THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT AND THE ENVIRONMENTAL PROTECTION AGENCY.

#### DEMOLITION NOTES

1. ALL DEMOLITION AND TRASH AND DEBRIS REMOVAL FROM THE SITE REQUIRED TO COMPLETE THE PROJECT AS OUTLINED SHALL BE INCLUDED IN THE CONTRACT.

CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. OBTAIN CITY SIDEWALK PERMITS PRIOR TO DEMOLITION.

PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.

4. PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO OWNER.

COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES. USE CLEAN FILL.

REMOVE FROM SITE DEBRIS, RUBBISH, AND OTHER MATERIALS **RESULTING FROM DEMOLITION OPERATIONS.** 

7. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OR DELEGATE TO THE APPROPRIATE SUBCONTRACTOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS DEMOLITION.

9. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST. DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY OWNER. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.

10. DOORS, WINDOWS AND ASSOCIATED HARDWARE REMOVED DURING DEMOLITION OPERATIONS WILL REMAIN PROPERTY OF THE OWNER. STORE IN A LOCATION STIPULATED BY THE OWNER.

11. ALL DIMENSIONS, MEASUREMENTS AND PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND/OR NOTIFICATION.

CONSTRUCTION NOTES

SOLID WOOD BLOCKING SHALL BE PROVIDED IN ALL AREAS WHERE SOLID ANCHORAGE IS REQUIRED. PROVIDE ROUGH CARPENTRY AND MISCELLANEOUS BLOCKING AS REQUIRED, CORRELATE LOCATIONS OF FURRING NAILERS, BLOCKING, ETC. TO COMPLY WITH DESIGN REQUIREMENTS.

2. ALL FLOOR PLAN DIMENSIONS ARE TO ROUGH STUD AND ROUGH FURRING STRIPS UNLESS OTHERWISE NOTED.

ALL EXTERIOR FASTENERS AND SUPPORTS SHALL BE STAINLESS STEEL.

4. CLOSETS SHALL HAVE WALL & CEILING FINISHES, BASEBOARD AND CASING TO MATCH THOSE SPECIFIED FOR THE ADJACENT ROOM, UNLESS NOTED OR SHOWN ON THE DETAILS OR ELEVATIONS.

5. ALL INTERIOR MILLWORK, BASEBOARDS, CASINGS, MOLDINGS CABINETS, BEADED BOARDS AND ANY OTHER PIECE OF WOODWORK FABRICATED IN A MILL SHALL BE POPLAR UNLESS NOTED OTHERWISE. CASEWORK MATERIAL AND WORKMANSHIP TO BE IN ACCORDANCE WITH A.W.I. STANDARDS. PLYWOOD TO BE CUSTOM GRADE BIRCH VENEER.

ALL EXTERIOR DOORS. WINDOWS. THRESHOLD. FLASHINGS. COUNTERFLASHINGS AND WALL PENETRATIONS SHALL BE CAULKED AND SEALED WITH DOW #790 BUILDING SEALANT. PROVIDE COLORS APPROVED BY THE ARCHITECT.

7. GUTTERS SHALL BE HALF ROUND SEAMLESS ALUMINUM TO MATCH EXISTING ATTACHED WITH COMBINATION HANGERS. ATTACH HANGERS WITH SCREWS AND CLIP GUTTERS TO HANGERS WITH WIRE CLIPS. SUPPORT AT 2'-0" INTERVALS. GUTTER SLOPE SHALL BE 1/8"/L.F. DOWNSPOUTS SHALL BE CORRUGATED ROUND ALUMINUM TO MATCH EXIST, ATTACHED TO WALL WITH HINGED HOOK HANGERS AT INTERVALS AS RECOMMENDED BY THE MANUFACTURER. PROVIDE WIRE BASKET AT TOP OF EACH DOWNSPOUT.

8. ALL CONCRETE WALKS AND PATIOS SHALL BE 4" THICK WITH 6x6-W2xW2 WWF REINFORCING. INSTALL OVER 4" CRUSHED STONE. TOOLED JOINTS TO BE 5'-O" O.C. MAXIMUM, 1/2" EXPANSION JOINTS TO BE AT 30'-0" MAXIMUM AND SEALED WITH ES-2.

9. ALL DEMOLITION, TRASH AND DEBRIS REMOVAL FROM THE SITE REQUIRED TO COMPLETE THE PROJECT AS OUTLINED SHALL BE INCLUDED IN THE CONTRACT. DEMOLITION SHALL INCLUDE ALL PLUMBING, MECHANICAL AND ELECTRICAL SYSTEM COMPONENTS NOT SPECIFICALLY NOTED TO BE RETAINED.

10. PROVIDE R-19 BATT INSULATION IN ALL WALLS SCHEDULED TO HAVE BATT INSULATION AND R-38 FOR ALL CEILINGS SCHEDULED TO HAVE BATT INSULATION. PROVIDE PRODUCT CUT SHEETS FOR ALL INSULATION MATERIALS.

BRICK REPAIR AND INFILL NOTES:

1. SUBMIT SAMPLES OF UNITS PROPOSED FOR USE IN THE PROJECT. CONTRACTOR TO PROVIDE TESTING OF EXISTING MORTAR TO DETERMINE

STRENGTH AND COMPOSITION OF NEW MORTAR MIX TO BE BASED ON RESULTS OF TESTING.

3. MORTAR JOINTS TO MATCH EXISTING IN APPEARANCE, TEXTURE AND TOOLING. USE CLEAN AND POTABLE WATER FOR ALL MORTAR AND GROUT MIXES.

5. DO NOT USE CALCIUM CHLORIDE OR ANY OTHER ADMIXTURE UNLESS OTHERWISE INDICATED.

6. PROTECT BASE OF WALLS FROM RAIN-SPLASHED MUD AND MORTAR SPLATTER BY MEANS OF COVERINGS SPREAD ON GROUND AND OVER WALL SURFACE

 PROTECT SILLS, LEDGES AND PROJECTIONS FROM DROPPINGS OF MORTAR.

8. CUT MASONRY UNITS WITH MOTOR-DRIVEN SAWS TO PROVIDE CLEAN, SHARP, UNCHIPPED EDGES.

9. MORTAR AND GROUT MATERIALS TO MATCH EXISTING A. PORTLAND CEMENT: ASTM C 150 TYPE I EXCEPT TYPE III MAY

BE USED FOR COLD WEATHER CONSTRUCTION. HYDRATED LIME: ASTM C207, TYPE S. AGGREGATE FOR MORTAR: ASTM 144, EXCEPT FOR JOINTS LESS THAN 1/4" USE AGGREGATE GRADED WITH 100% PASSING THE NO. 16 SIEVE.

10. PERFORM THE FOLLOWING CONSTRUCTION PROCEDURES WHILE THE WORK IS PROGRESSING. TEMPERATURE RANGES INDICATED BELOW APPLY TO AIR TEMPERATURES EXISTING AT TIME OF INSTALLATION EXCEPT FOR GROUT. FOR GROUT, TEMPERATURE RANGES APPLY TO ANTICIPATED MINIMUM NIGHT TEMPERATURES. IN HEATING MORTAR AND GROUT MATERIALS, MAINTAIN MIXING TEMPERATURE SELECTED WITHIN 10 DEGREES FAHRENHEIT (6 DEGREES CELSIUS).

40 DEGREES FAHRENHEIT (4 DEGREES CELSIUS) TO 32 DEGREES FAHRENHEIT (0 DEGREES CELSIUS):

HEAT MIXING WATER TO PRODUCE MORTAR TEMPERATURE BETWEEN 40 DEGREES FAHRENHEIT (4 DEGREES CELSIUS) AND 120 DEGREES FAHRENHEIT (49 DEGREES CELSIUS).

FOLLOW NORMAL MASONRY PROCEDURES.

32 DEGREES FAHRENHEIT (0 DEGREES CELSIUS) to 25 DEGREES FAHRENHEIT (-4 DEGREES CELSIUS)

HEAT MIXING WATER AND SAND TO PRODUCE MORTAR TEMPERATURES BETWEEN 40 DEGREES FAHRENHEIT (4 DEGREES CELSIUS) AND 120 DEGREES FAHRENHEIT (49 DEGREES CELSIUS); MAINTAIN TEMPERATURE OF MORTAR ON BOARDS ABOVE FREEZING.

HEAT GROUT MATERIALS TO 90 DEGREES FAHRENHEIT (32 DEGREES CELSIUS) TO PRODUCE IN PLACE GROUT TEMPERATURE OF 70 DEGREES FAHRENHEIT (21 DEGREES CELSIUS) AT END OF WORK DAY.

PROTECT MASONRY FROM RAIN OR SNOW FOR AT LEAST 24 HOURS BY COVERING WITH WEATHER-RESISTIVE MEMBRANE.

COMPLETELY COVER MASONRY WITH WEATHER-RESISTIVE MEMBRANE FOR AT LEAST 24 HOURS AFTER INITIAL 24 HOUR PROTECTION PERIOD.

25 DEGREES FAHRENHEIT (-4 DEGREES CELSIUS) AND LOWER: MASONRY WORK NOT PERMITTED.

11. EXISTING MASONRY OPENING:

Α.	MASONRY INFILL AS INDICATED ON DRAWINGS.
В.	REMOVE EXISTING FRAMING FOR WINDOWS AND DOORS AS
	REQUIRED TO COMPLETELY FILL OPENING WITH
	MASONRY.
C	

C. PROVIDE USED/SALVAGED BRICK OR STONE TO MATCH ADJACENT MATERIALS.

TOOTH NEW MASONRY INTO EXISTING WALL. MATCH EXISTING JOINT SIZES. TOOTH IN INFILL ON BOTH SIDES OF WALL WHERE A NEW OPENING IS CONSTRUCTED IN **OR WITHIN 8" OF INFILL** 

SALVAGE BRICKS FROM AND CLEAN MORTAR FROM BRICKS WHERE NEW MASONRY OPENINGS ARE SHOWN. ADDITIONAL USED BRICK NEEDED FOR INFILL WORK SHALL BE PROVIDED BY THE CONTRACTOR. OBTAIN ARCHITECTS APPROVAL FOR USED BRICKS PRIOR TO DELIVERING TO SITE.

MATCH MORTAR COLOR AND COMPOSITION TO EXISTING MORTAR

G. FILL JOINTS FULL AND STRIKE TO MATCH ADJACENT, EXISTING WORK. MATCH SIZE OF MORTAR JOINTS OF ADJACENT

WORK. H. INSTALL GALVANIZED DUR-O-WALL TRUSS AT 16" OC VERTICALLY.

I. WALL INFILL TO BE SOLID MASONRY.

12. NEW MASONRY OPENINGS IN EXISTING BRICK WALLS A. DISASSEMBLE WALLS WHERE OPENINGS ARE TO BE INSTALLED AND SALVAGE BRICK FOR REUSE. REUSE. CLEAN MORTAR FROM BRICKS AND STACK IN A SECURE I OCATION

> B. TOOTH IN BRICKS OR STONE AROUND NEW OPENINGS. USE MATERIALS RECOVERED FROM WALL DISASSEMBLY OR PROVIDE USED MATERIALS TO MATCH.

INSTALL WITH JOINTS RAKED BACK 1", BOTH INTERIOR AND EXTERIOR. PROVIDE MORTAR MIX APPROVED BY ARCHITECT.

MATCH SIZE OF MORTAR JOINTS OF ADJACENT EXISTING WORK

F. COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION IN ORDER TO FACILITATE INSTALLATION IN ALIGNMENT WITH EXISTING JOINTS. EXTERIOR ARCHITECTURAL WOODWORK:

1.	THIS SECTION INCLUDES THE FOLLOWING:
	A. EXTERIOR STANDING AND RUNNING TRIM.
	B. EXTERIOR ORNAMENTAL WORK.
	C. SHOP PRIMING EXTERIOR WOODWORK.
2.	ACTION SUBMITTAL
	A. SHOP DRAWINGS: SHOW LOCATION OF EACH ITEM, DIMENSIONED PLANS AND ELEVATIONS, LARGE

- DNS, LARGE-SCALE DETAILS, ATTACHMENT DEVICES, AND OTHER COMPONENTS SAMPLES: FOR LUMBER FOR EXTERIOR WOOD FINISH AND
- LUMBER AND PANEL PRODUCTS FOR SHOP-APPLIED OPAQUE FINISH, FOR EACH FINISH SYSTEM AND COLOR, WITH ONE-HALF OF EXPOSED SURFACE FINISHED.
- 3. INFORMATIONAL SUBMITTALS A. WOODWORK QUALITY STANDARD COMPLIANCE CERTIFICATES: AWI QUALITY CERTIFICATION PROGRAM
  - CERTIFICATES.

QUALITY ASSURANCE A. QUALITY STANDARD: UNLESS OTHERWISE INDICATED, COMPLY WITH AWI'S "ARCHITECTURAL WOODWORK QUALITY STANDARDS.

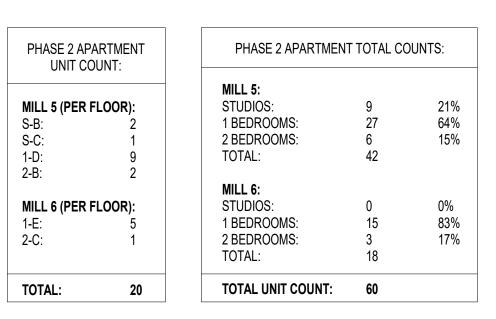
- 5. MATERIALS HOT-DIP GALVANIZED OR STAINLESS STEEL. B. SCREWS: STAINLESS STEEL
- 6. FABRICATION WOOD MOISTURE CONTENT: 10 TO 15 PERCENT.
  - WOODWORK FOR OPAQUE FINISH: GRADE PREMIUM. WOOD SPECIES: SPANISH CEDAR OR CYPRESS BLACKOUT OR GROOVE BACKS OF FLAT TRIM MEMBERS AND
  - KERF BACKS OF OTHER WIDE, FLAT MEMBERS, EXCEPT FOR MEMBERS WITH ENDS EXPOSED IN FINISHED WORK E. SHOP PRIMING: SHOP PRIME WOODWORK FOR PAINT FINISH
  - WITH ONE COAT OF WOOD PRIMER SPECIFIED IN PAINTING NOTES. F. BACKPRIMING: APPLY ONE COAT OF SEALER OR PRIMER
  - COMPATIBLE WITH FINISH COATS, TO CONCEALED SURFACES OF WOODWORK. APPLY TWO COATS TO SURFACES INSTALLED IN CONTACT WITH CONCRETE OR MASONRY AND TO END-GRAIN SURFACES.
- 7. INSTALLATION A. BEFORE INSTALLATION, CONDITION WOODWORK TO AVERAGE PREVAILING HUMIDITY CONDITIONS IN INSTALLATION AREAS. BEFORE INSTALLING ARCHITECTURAL
  - WOODWORK, EXAMINE SHOP-FABRICATED WORK FOR COMPLETION AND COMPLETE WORK AS REQUIRED, INCLUDING REMOVAL OF PACKING AND BACKPRIMING. B. QUALITY STANDARD: INSTALL WOODWORK TO COMPLY WITH
  - SAME GRADE SPECIFIED IN PART 2 FOR TYPE OF WOODWORK INVOLVED. C. INSTALL WOODWORK TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED WITH CONCEALED
  - SHIMS. INSTALL LEVEL AND PLUMB TO A TOLERANCE OF 1/8 INCH. SCRIBE AND CUT WOODWORK TO FIT ADJOINING WORK. AND REFINISH CUT SURFACES OR REPAIR DAMAGED FINISH
  - AT CUTS. ANCHOR WOODWORK TO ANCHORS OR BLOCKING BUILT IN OR DIRECTLY ATTACHED TO SUBSTRATES. SECURE TO GROUNDS, STRIPPING AND BLOCKING WITH COUNTERSUNK CONCEALED FASTENERS AND BLIND NAILING. USE FINE FINISHING NAILS FOR EXPOSED NAILING, COUNTERSUNK AND FILLED FLUSH WITH
  - WOODWORK. INSTALL TRIM WITH MINIMUM NUMBER OF JOINTS POSSIBLE. USING FULL-LENGTH PIECES (FROM MAXIMUM LENGTH OF LUMBER AVAILABLE) TO GREATEST EXTENT POSSIBLE. SCARF RUNNING JOINTS AND STAGGER IN
  - ADJACENT AND RELATED MEMBERS. G. COMPLETE FINISHING WORK SPECIFIED IN THIS SECTION TO EXTENT NOT COMPLETED AT SHOP OR BEFORE INSTALLATION OF WOODWORK. FILL NAIL AND SCREW
  - HOLES WITH MATCHING FILLER WHERE EXPOSED. H. REFER TO DIVISION 09 SECTIONS FOR FINAL FINISHING OF INSTALLED ARCHITECTURAL WOODWORK.
  - I. CLEAN WOODWORK ON EXPOSED AND SEMI EXPOSED SURFACES. TOUCH UP SHOP-APPLIED FINISHES TO RESTORE DAMAGED OR SOILED AREAS.

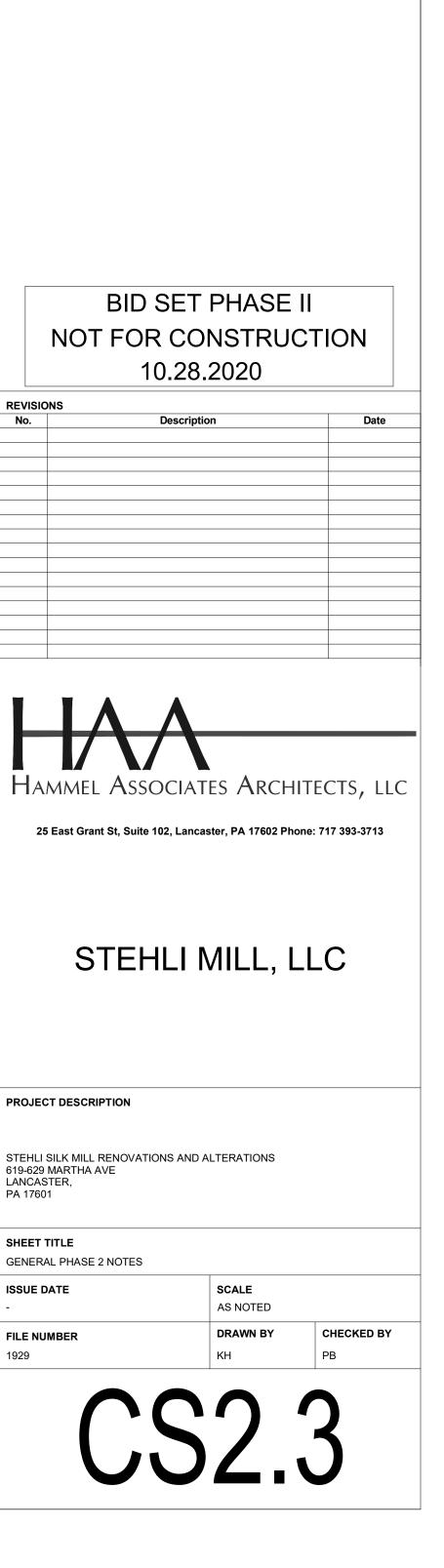
GENERAL SCOPE OF WORK:

- ALL DIMENSIONS ARE APPROXIMATE. VERIFY DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO SUBMITTING BID AND COMMENCING START OF WORK. NOTIFY ARCHITECT
- IMMEDIATELY IF FIELD CONDITIONS VARY. 2. ALL CONTRACTORS AND PERSONNEL WORKING ONSITE MUST BE AWARE THAT THIS PROJECT IS PURSUING FEDERAL REHABILITATION TAX CREDITS. STRICT CONFORMANCE TO THE SECRETARY OF THE INTERIOR'S STANDARDS FOR TREATMENT OF HISTORICAL PROPERTIES UNDER THE DIRECTION OF THE ARCHITECT AND OWNER'S HISTORIC PRESERVATION CONSULTANT, AND ADHERENCE TO THE CONTRACT DOCUMENTS WHICH HAVE BEEN APPROVED BY THE
- PENNSYLVANIA HISTORICAL AND MUSEUM COMMISION AND NATIONL PARK SERVICE ARE CRITICAL TO THE SUCCESSFUL EXECUTION OF THIS PROJECT.
- 3. ALL BRICK TO BE REPOINTED AND REPAIRED / REPLACED AS REQUIRED
- 4. ALL CONCRETE TO BE PATCHED AND REPAIRED / REPLACED AS REQUIRED. 5. ALL WINDOWS, LOUVERS AND SKYLIGHTS TO BE REPLACED
- WITHIN EXISTING MASONRY OPENINGS, WITH NO MODIFICATION TO THE SIZE OF THE EXISTING MASONRY OPENING. 6. IT IS THE INTENT OF THIS PROJECT THAT ALL EXISTING HISTORIC WOOD DOORS, TRANSOMS AND SIDELIGHTS ARE TO
- BE RESTORED AND REPAIRED IN ACCORDANCE WITH THE GUIDELINES PROVIDED IN THESE DOCUMENTS. SUBCONTRACTORS RELATED TO THIS SCOPE SHALL SURVEY AND REVIEW ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. COST PROPOSALS MUST INCLUDE DOCUMENTATION OF EXISTING CONDITIONS AND PROPOSED SCOPE OF REHABILITATION OF EACH OPENING. IF ANY OPENING IS REASONABLY BEYOND REPAIR AND REQUIRES REPLACEMENT,
- PROPOSALS SHALL STATE JUSTIFICATION FOR REPLACEMENT WITH THEIR COST PROPOSAL PROVIDE TEMPORARY SHORING TO SUPPORT EXISTING
- CONSTRUCTION SCHEDULED TO REMAIN, AS REQUIRED. 8. ALL EXISTING EPDM ROOFING TO REMAIN AT BUILDINGS 20 AND
- 21, MILL 1, MILL 2 AND MILL 3. AREAS REQUIRING REPLACEMENT TO MATCH EXISTING ADJACENT EPDM ROOFING TO REMAIN. 9. ALL EXISTING ROOFING TO BE REPLACED AS REQUIRED AT BOILER PLANT BUILDING. EPDM AREAS REQUIRING
- REPLACEMENT TO MATCH EXISTING ADJACENT EPDM ROOFING TO REMAIN. REFER TO DOCUMENTS FOR MORE INFORMATION ON DIFFERENT ROOFING SYSTEMS AT BOILER PLANT BUILDING 10. PROVIDE SPRINKLER SYSTEM, FIRE ALARM SYSTEM,
- EMERGENCY LIGHTING AND AUTOMATIC FIRE DETECTION SYSTEM AS INDICATED ON MEP/FP DRAWINGS. 11. ALL EXISTING CONSTRUCTION TO REMAIN TO RETAIN ALL HISTORICAL ELEMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO
- EXISTING CONSTRUCTION, STAIRS, HISTORIC SIGNAGE, FIRE ESCAPES, FIRE DOORS. FIRE ESCAPES AND FIRE DOORS TO BE DEACTIVATED. 12. NEW ELEVATORS TO BE ADDED AT SELECT EXISTING HOISTWAYS. NEW HOISTWAYS TO BE ADDED AS REQUIRED TO
- ACCOMODATE NEW EQUIPMENT. 13. ALL EXISTING STAIRS INCLUDING GUARDRAILTO BE RETAINED. NEW RATED FIRE DOORS TO BE ADDED AT ALL LOCATIONS INTO STAIR TOWERS. ALL EXISTING SLIDING FIRE DOORS TO BE
- CLEANED, RESTORED, AND MADE INOPERABLE. 14. ALL STAR BOLTS TO REMAIN. IN THEIR CURRENT STATE. NO SCRAPING OR PAINTING IS TO BE PERFORMED ON STAR BOLTS NOTIFY ARCHITECT IMMEDIATELY IF INDIVIDUAL STAR BOLTS
- NEED ATTENTION OR REVIEW. 15. INTERIOR BRICK AT BUILDING 21 TO BE PAINTED. ALL OTHER BRICK WILL BE EXPOSED.

#### WINDOW AND DOOR NOTES:

- 1. REPLACEMENT WINDOW AND DOOR DETAILS ARE INTENDED TO REPRESENT TYPICAL CONDITIONS. CONDITIONS AT INDIVIDUAL WINDOWS MAY VARY ACCORDING TO AREA OF CONSTRUCTION AND OTHER MITIGATING FACTORS. FIELD VERIFY ALL
- CONDITIONS. ALL WINDOWS HAVE BEEN DRAWN PER MANUFACTURER RECOMMENDATIONS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION, PER MANUFACTURERS REQUIREMENTS.
- CURRENT WINDOWS AND DOORS ARE SHOWN AS BASIS OF DESIGN INTENT. THESE ARE PLACEHOLDERS, AS FINAL DOOR AND WINDOW MANUFACTURER AND PRODUCT LINE FOR PHASES I AND II ARE TBD BY CLIENT
- 4. BASIS OF DESIGN FOR WINDOWS IN MILL 1/2/3, BUILDINGS 20 AND 21, AND THE BOILER PLANT BUILDING SINGLE HUNG WINDOWS, AND MONITOR WINDOWS ABOVE ROOFS. THERE ARE MULTUIPLE WINDOW UNITS IN THE BOILER PLANT BUILDING WHICH WILL MATCH MILLS 5 AND 6. MINIMUM REQUIRED
- SHGC: 0.5. 5. BASIS OF DESIGN FOR WINDOWS IN MILL 5 AND 6 ARE ALL LARGE SINGLE UNIT WINDOWS TO MATCH ORIGINALS. OPERABLE LOUVERS ARE TBD. MINIMUM REQUIRED U-VALUE:
- 6. ALL REPLACEMENT TRIMS AND BRICK MOLDS TO MATCH FXISTING
- 7. ALL NEW THRESHOLDS TO BE ADA COMPLIANT.





1929

ALL DIMENSIONS, MEASUREMENTS AND | STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### INTERIOR ARCHITECTURAL WOODWORK

#### 1. WORK INCLUDES:

- DOOR AND WINDOW CASINGS AND TRIM MOULDINGS, CROWN, BASEBOARD
- BUILT-IN SHELVING AND CABINETS

2. SUBMIT SHOP DRAWINGS TO ARCHITECT SHOWING LOCATION OF EACH ITEM, DIMENSIONED PLANS, ELEVATIONS AND SECTIONS, LARGE SCALE DETAILS, ATTACHMENT DEVICES AND OTHER COMPONENTS.

PROVIDE SAMPLES FOR INITIAL SELECTION CONSISTING OF SECTIONS ACTUAL MATERIAL INDICATING FULL RANGE OF COLORS, TEXTURES AND PATTERNS AVAILABLE.

4. PROVIDE SAMPLES FOR VERIFICATION OF WOOD WITH OR FOR TRANSPARENT FINISH FOR EACH SPECIES AND CUT. FINISH ONE SIDE AND ONE EDGE.

5. COMPLY WITH THE APPLICABLE REQUIREMENTS OF "ARCHITECTURAL WOODWORK QUALITY STANDARDS" PUBLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE (AWI).

6. QUALITY STANDARDS:

- 6.1. RIM AND RAILS: AWI SECTION 300 6.2. WOOD CABINETS (CASEWORK): AWI SECTION 400 AND ITS
- **DIVISION 400A** 6.3. CABINET TOPS (COUNTERTOPS): AWI SECTION 400 AND ITS
- DIVISION 400C. 6.4. WOOD PANELING: AWI SECTION 500 AND ITS DIVISION 500A.
- 6.5. MISCELLANEOUS ORNAMENTAL ITEMS: AWI SECTION 700. 6.6. DOOR FRAMES: AWI SECTION 900B
- 6.7. FACTORY FINISHING OF WOODWORK: AWI SECTION 1500. 6.8. INSTALLATION: AWI SECTION 1700.

7. LUMBER SPECIES FOR ALL TRIM. MOULDINGS AND CASINGS: POPLAR. 8. LUMBER SPECIES FOR ALL CABINETRY: BIRCH. STAIN TO BE SELECTED FROM MANUFACTURERS FULL RANGE.

9. COORDINATE FINISH HARDWARE FOR CABINETS WITH THE MANUFACTURER OF THE ARCHITECTURAL WOODWORK.

10. WHERE WOODWORK IS INDICATED TO BE FITTED TO OTHER CONSTRUCTION, CHECK ACTUAL DIMENSIONS OF OTHER BY ACCURATE FIELD MEASUREMENT BEFORE MANUFACTURING WOODWORK. INDICATE FIELD MEASURED DIMENSIONS ON FINAL SHOP DRAWINGS. COORDINATE MANUFACTURING SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAY OF WORK.

11. PROVIDE HIGH PRESSURE DECORATIVE LAMINATE MANUFACTURED BY ONE OF THE FOLLOWING: FORMICA CORP.

#### NEVAMAR CORP. WILSON PLASTICS CO.

12. COMPLY WITH REFERENCED QUALITY STANDARD FOR WOOD MOISTURE CONTENT IN RELATION TO RELATIVE HUMIDITY CONDITIONS EXISTING DURING FABRICATION AND IN INSTALLATION AREA.

13. COMPLETE FABRICATION INCLUDING ASSEMBLY FINISHING AND HARDWARE INSTALLATION TO THE GREATEST EXTENT POSSIBLE BEFORE DELIVERY TO PROJECT SITE.

14. WHERE NECESSARY FOR FITTING AT THE PROJECT SITE, PROVIDE AMPLE ALLOWANCE FOR SCRIBING, TRIMMING AND FITTING.

15. BACKOUT OR GROOVE BACKS OF FLAT TRIM MEMBERS AND KERF BACKS OF OTHER WIDE FLAT MEMBERS. EXCEPT MEMBERS WITH ENDS EXPOSED IN FINISHED WORK.

16. FINISHING: FOR TRANSPARENT OR OPAQUE FINISH SEE PAINTING AND FINISHING NOTES.

17. INSTALL WOODWORK PLUMB. LEVEL, TRUE AND STRAIGHT WITH NO DISTORTION. SHIM AS REQUIRED WITH CONCEALED SHIMS. INSTALL TO A TOLERANCE OF 1/8" IN 8'-0" FOR PLUMB AND LEVEL (INCLUDING TOPS) AND WITH NO VARIATIONS IN FLUSHNESS OF ADJOINING SURFACES.

18. SCRIBE AND CUT WOODWORK TO FIT ADJOINING WORK AND REFINISH CUT SURFACES OR REPAIR DAMAGED FINISH AT CUTS.

19. ANCHOR WOODWORK TO BUILT-IN BLOCKING OR DIRECTLY ATTACH TO SUBSTRATES SECURE TO GROUNDS. STRIPPING AND BLOCKING WITH COUNTERSUNK CONCEALED FASTENERS AND BLIND MAILING AS REQUIRED FOR A COMPLETE INSTALLATION. USE FINE FINISHING NAILS FOR EXPOSED MAILING, COUNTERSUNK AND FILLED FLUSH WITH WOODWORK AND MATCHING FINAL FINISH WHERE TRANSPARENT FINISH IS INDICATED.

20. INSTALL TRIM AND RAILS WITH MINIMUM JOINTS, USING FULL LENGTH PIECES (FROM MAXIMUM LENGTH LUMBER AVAILABLE) TO THE GREATEST EXTENT POSSIBLE. STAGGER JOINTS IN ADJACENT AND RELATED MEMBERS. COPE AT RETURNS AND MITER AT CORNERS.

21. INSTALL CABINETS WITHOUT DISTORTION SO DOORS AND DRAWERS PROPERLY FIT AND ALIGN WITH OPENINGS. ADJUST HARDWARE TO CENTER DOORS AND DRAWERS IN OPENINGS AND TO PROVIDE UNENCUMBERED OPERATION. COMPLETE INSTALLATION OF HARDWARE AND ACCESSORY ITEMS AS INDICATED.

22. CLEAN EXPOSED AND SEMI-EXPOSED SURFACES OF ARCHITECTURAL WOODWORK. TOUCH-UP FINISHES TO RESTORE DAMAGED OR SOILED AREAS.

23. PROVIDE PROTECTION AND MAINTAIN CONDITION IN A MANNER THAT ENSURES WOODWORK IS WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.

24. ALL CABINET HARDWARE TO BE MANUFACTURES STANDARD HEAVY DUTY HARDWRE. PROVIDE COLOR SAMPLES FROM MANUFACTURERS FULL RANGE PRIOR TO ORDERING.

25. ALL CABINET DOORS AND DRAWERS TO HAVE 5" WIRE PULLS. PROVIDE SAMPLE OF PULL FOR APPROVAL PRIOR TO ORDERING.

#### FIBER CEMENT SIDING

1. PROVIDE FIBER-CEMENT SIDING THAT IS TESTED AND LABELED ACCORDING TO ASTM C 1186 BY A QUALIFIED TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

2. CONDUCT PRE-INSTALLATION CONFERENCE ON SITE PRIOR TO COMMENCING WORK.

PROVIDE STANDARD WARRANTY FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE SIDING THAT FAIL(S) IN MATERIALS OR WORKMANSHIP WITHIN A 10 YEAR WARRANTY PERIOD.

4. FURNISH EXTRA MATERIALS THAT MATCH PRODUCTS INSTALLED AND THAT ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS. FURNISH FULL LENGTHS OF SIDING INCLUDING RELATED ACCESSORIES, IN A QUANTITY EQUAL TO 2 PERCENT OF AMOUNT INSTALLED.

5. PROVIDE FIBER CEMENT BOARD THAT MEETS THE REQUIREMENTS FOR ASTM C 1186, TYPE A, GRADE II, FIBER-CEMENT BOARD, NONCOMBUSTIBLE WHEN TESTED ACCORDING TO ASTM E 136; WITH A FLAME-SPREAD INDEX OF 25 OR LESS WHEN TESTED ACCORDING TO ASTM E 84.

6. SUBMIT PRODUCT SAMPLES AND CUT SHEET FOR CEMENT FIBER BOARD PRODUCTS SCHEDULED FOR THE PROJECT.

- 7. ALL COLORS TO BE SELECTED FROM MANUFACTURERS FULL RANGE.
- 8. ALL PRODUCTS TO BE PRE-FINISHED

9. MANUFACTURER: PRODUCTS THAT MAY BE USED IN THE PROJECT ARE AS FOLLOWS BUT ARE NOT LIMITED TO: 

		JAMES HARDIE.
		WWW.JAMESHARDIE.COM
		26300 LA ALAMEDA, SUITE 250
		MISSION VIELO, CA 92691
		1-866-4-HARDIE
10.	MATERIALS	
	Α.	LAP SIDING: 51/2" WIDE W/ 4" EXPOSURE, TEXTURE: SMOOTH
	В	HORIZONTAL AND VERTICAL TRIM <sup>,</sup> SIZES AS INDICATED ON

В. HURIZONTAL AND VERTICAL TRIM: SIZES AS INDICATED ON DRAWINGS, THICKNESS: 5/4 C. SOFFIT BOARD: SIZES AS INDICATED ON DRAWINGS, TEXTURE:

SMOOTH

11. PROVIDE STARTER STRIPS, EDGE TRIM, OUTSIDE AND INSIDE CORNER CAPS, AND OTHER ITEMS AS RECOMMENDED BY SIDING MANUFACTURER FOR BUILDING CONFIGURATION, PROVIDE ACCESSORIES MADE FROM SAME MATERIAL AS ADJACENT SIDING AS INDICATED ON DRAWINGS.

- 12. FLASHING: A. PROVIDE ALUMINUM FLASHING COMPLYING WITH THE
  - REQUIRMENTS AS OUTLINED IN SMACNA AT WINDOW AND DOOR HEADS AND WHERE INDICATED.
  - B. FINISH FOR ALUMINUM FLASHING: HIGH PERFORMANCE COATING SELECTED FROM MANUFACTURERS FULL
  - GAGE AS INDICATED ON DRAWINGS D. FASTENERS: USE HOT-DIP GALVANIZED FASTENERS.

13. EXAMINE SUBSTRATES FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF SIDING AND RELATED ACCESSORIES. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

14. GENERAL: COMPLY WITH SIDING MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS APPLICABLE TO PRODUCTS AND APPLICATIONS INDICATED UNLESS MORE STRINGENT REQUIREMENTS APPLY.

15. DO NOT INSTALL DAMAGED COMPONENTS

RANG

16. CENTER NAILS IN ELONGATED NAILING SLOTS WITHOUT BINDING SIDING TO ALLOW FOR THERMAL MOVEMENT.

17. INSTALL FASTENERS NO MORE THAN [16 INCHES (600 MM)] O.C.

18. BACK PRIME ALL HARDIE PLANK PRODUCTS PRIOR TO INSTALLATION.

19. FILL NAIL HOLES AND FINISH EXPOSED EDGES TO MATCH FINISH AS RECOMMENDED BY MANUFACTURER.

20. INSTALL JOINT SEALANTS AS SCHEDULED TO PRODUCE WEATHERTIGHT INSTALLATION.

21. REMOVE DAMAGED, IMPROPERLY INSTALLED, OR OTHERWISE DEFECTIVE MATERIALS AND REPLACE WITH NEW MATERIALS COMPLYING WITH SPECIFIED REQUIREMENTS.

22. CLEAN FINISHED SURFACES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND MAINTAIN IN A CLEAN CONDITION DURING CONSTRUCTION.

FLEXIBLE SHEET ROOFING NOTES:

1. MANUFACTURER: OBTAIN PRIMARY FLEXIBLE SHEET ROOFING FROM A SINGLE MANUFACTURER. PROVIDE SECONDARY MATERIALS AS RECOMMENDED BY MANUFACTURER OF PRIMARY MATERIALS.

2. INSTALLER: A FIRM WITH NOT LESS THAN 3 YEARS OF SUCCESSFUL EXPERIENCE IN INSTALLATION OF ROOFING SYSTEMS SIMILAR TO THOSE REQUIRED FOR THIS PROJECT AND WHICH IS ACCEPTABLE TO OR LICENSED BY MANUFACTURER OF PRIMARY ROOFING MATERIALS.

3. ASSIGN WORK CLOSELY ASSOCIATED WITH FLEXIBLE SHEET ROOFING, INCLUDING (BUT NOT LIMITED TO) INSULATION, FLASHING AND COUNTERFLASHING, EXPANSION JOINTS, AND JOINT SEALERS, TO INSTALLER OF FLEXIBLE SHEET ROOFING.

INSPECTION: PROVIDE WRITTEN ACCEPTANCE BY SUBCONTRACTOR OF SUBSTRATE AND WORK BY OTHERS CONSISTENT WITH THE MANUFACTURER'S WARRANTY, PRIOR TO STARTING ROOF WORK.

5. PRODUCT DATA: SUBMIT SPECIFICATIONS, INSTALLATION INSTRUCTIONS AND GENERAL RECOMMENDATIONS FROM MANUFACTURERS OF FLEXIBLE SHEET ROOFING SYSTEM MATERIALS. FOR TYPES OF ROOFING REQUIRED. INCLUDE DATA SUBSTANTIATING THAT MATERIALS COMPLY WITH REQUIREMENTS.

6. SHOP DRAWINGS: SUBMIT COMPLETE SHOP DRAWINGS SHOWING ROOF CONFIGURATION AND SHEET LAYOUT, DETAILS AT PERIMETER, SPECIAL CONDITIONS, AND ALL PENETRATIONS.

7. WARRANTY PERIOD IS 10 YEARS AFTER DATE OF SUBSTANTIAL COMPLETION.

8. PROVIDE WRITTEN PROVISION IN THE WARRANTY ACKNOWLEDGING THAT THE WARRANTY WILL REMAIN IN EFFECT AS ADDITIONAL PENETRATIONS, VENTS, CURBS AND ANY OTHER ROOFING WORK ARE INSTALLED DURING THE WARRANTY PERIOD. PROVISION SHALL STIPULATE THAT THE ORIGINAL INSTALLER SHALL PROVIDE ALL ROOFING MATERIALS AND LABOR REQUIRED BY THE OWNER AT THE NORMAL COST AT THE TIME OF THE WORK.

9. COMPATIBILITY: PROVIDE PRODUCTS WHICH ARE RECOMMENDED BY MANUFACTURERS TO BE FULLY COMPATIBLE WITH INDICATED SUBSTRATES, OR PROVIDE SEPARATION MATERIALS AS REQUIRED TO ELIMINATE CONTACT BETWEEN INCOMPATIBLE MATERIALS.

10.	EPDM FSR	MEMBRANE;
	Α.	
		UNIFORM, FLEXIBLE SHEETS, COMPLYING WITH THE
		FOLLOWING:
		-TENSILE STRENGTH (ASTM D 412): 1400 PSI.
		-ULTIMATE ELONGATION (ASTM D 412): 300%
		-BRITTLENESS TEMPERATURE (ASTM D 746): -75
		DEG. F (-59 DEG.C)
		-TEAR RESISTANCE (ASTM D 624): 125 LBS. PER LIN. INCH.
		-RESISTANCE TO OZONE AGING (ASTM D 1149):
		NO CRACKS AFTER 168 HOURS
		-EXPOSURE OF 50% ELONGATED SAMPLES AT
		104 DEG. F (40 DEG. C) AND 100 PPHM
		OZONE.
		-RESISTANCE TO HEAT AGING (ASTM D 573):
		MAXIMUM REDUCTION IN ELONGATION OF
		30% MAXIMUM LOSS OF TENSILE
		STRENGTH OF 15% 168 HOURS AT 240
		DEG. F (116 DEG. C).
		-THICKNESS: 45 MILS, NOMINAL.
		-EXPOSED FACE COLOR: BLACK
		-MANUFACTURERS: SUBJECT TO COMPLIANCE
		WITH REQUIREMENTS, PROVIDE
		PRODUCTS OF ONE OF THE FOLLOWING:
		CARLISLE SYNTEC SYSTEMS
		CELOTEX CORP.
		FIRESTONE BUILDING PRODUCTS
		CO.
11.	MANUFACT	URER'S: SUBJECT TO COMPLIANCE WITH REQUIREMENTS,
PRO\	/IDE PRODU	CTS OF ONE OF THE FOLLOWING:
	Α.	CARLISLE SYNTEC SYSTEMS
	В.	CELOTEX CORP
	C.	FIRESTONE BUILDING PRODUCTS, CO
12.	MISCELLAN	NEOUS MATERIALS FOR FSR:
	Α.	SHEETSEAMING SYSTEM: MANUFACTURER'S STANDARD
		MATERIALS FOR SEALING LAPPED JOINTS, INCLUDING
		EDGE SEALER TO COVER EXPOSED SPLICED EDGES AS
		RECOMMENDED BY MANUFACTURER OF FSR SYSTEM.
	В.	CANT STRIPS, TAPERED EDGE STRIPS AND FLASHING
		ACCESSORIES: TYPES RECOMMENDED BY
		MANUFACTURER OF FSR MATERIAL, PROVIDED AT
		LOCATIONS INDICATED AND AT LOCATIONS
		RECOMMENDED BY MFR., AND INCLUDING ADHESIVE
	0	TAPES, FLASHING CEMENT, AND SEALANTS.
	C.	SLIP SHEET: TYPE RECOMMENDED BY MANUFACTURER OF
		FSR MATERIAL FOR PROTECTION OF SHEET FROM
	_	INCOMPATIBLE SUBSTRATES.
		MECHANICAL EACTENEDO, METAL DI ATEC CADO DATTENO

D. MECHANICAL FASTENERS: METAL PLATES, CAPS, BATTENS, ACCESSORY COMPONENTS, FASTENING DEVICES, AND ADHESIVES TO SUIT SUBSTRATE AND AS RECOMMENDED BY FSR MEMBRANE MANUFACTURER. MEMBRANE ADHESIVE: AS RECOMMENDED BY FSR

MEMBRANE MANUFACTURER FOR PARTICULAR SUBSTRATE AND PROJECT CONDITIONS, FORMULATED TO WITHSTAND MIN. 90 PSF UPLIFT FORCE. F. WATER CUT-OFF MASTIC AND CAP SEALANT: AS

RECOMMENDED BY FSR MANUFACTURER AND SUITABLE FOR SPECIFIED AND APPROVED DETAILS.

PROJECT (
AND VER
CONTRACT
IN WRITIN
CONSIDER
WITH TH
SHALL BE
WORK NOT
CAUSED B
OR NOTIFI

#### 13. POLYISOCYANURATE BOARD ROOF INSULATION: RIGID, CELLULAR THERMAL INSULATION WITH POLYISOCYANURATE CLOSED-CELL FOAM CORE AND MANUFACTURER'S STANDARD FACING LAMINATED TO BOTH SIDES; COMPLYING WITH FS HH-I-1972/2, CLASS 1: AGED R-VALUES AS DESIGNATED AT MEAN TEMPERATURES INDICATED, AFTER CONDITIONING PER RIC/TIM0A BULLETIN #281-1; AND AS FOLLOWS: A. SURFACE BURNING CHARACTERISTICS: MAXIMUM FLAME SPREAD OF 25. PROVIDE 1/4" THICKNESS PROVIDE INSULATION WITH NO ASBESTOS CONTENT. APPROVALS: PROVIDE INSULATION WHICH COMPLIES WITH FM 4450 OR UL SUBJECT 1256. MISCELLANEOUS INSULATION MATERIALS: ADHESIVE FOR BONDING INSULATION: TYPE RECOMMENDED

- BY INSULATION MANUFACTURER AND COMPLYING WITH FIRE RESISTANCE REQUIREMENTS. MASTIC SEALER: TYPE RECOMMENDED BY INSULATION MANUFACTURER FOR BONDING EDGE JOINTS AND FILLING VOIDS.
- 14. MISCELLANEOUS ROOFING ACCESSORIES:

#### A. FLASHING MATERIAL: MANUFACTURER'S STANDARD SYSTEM COMPATIBLE WITH FLEXIBLE SHEET MEMBRANE. VENT PIPE FLASHING: MANUFACTURER'S STANDARD SYSTEM COMPATIBLE WITH FLEXIBLE SHEET MEMBRANE

- 15. PREPARATION OF SUBSTRATE AND INSTALLATION: A. GENERAL: COMPLY WITH MANUFACTURER'S INSTRUCTIONS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS
  - ARE INDICATED. B. INSTALL CANT STRIPS, FLASHINGS, AND ACCESSORY ITEMS AS SHOWN, AND AS RECOMMENDED BY MANUFACTURER EVEN THOUGH NOT SHOWN.
- 16. FSR MEMBRANE INSTALLATION:
  - LOOSE-LAID AND BALLASTED FSR: INSTALL MEMBRANE BY UNROLLING OVER PREPARED SUBSTRATE, FASTENING AT PERIMETER AND AT ROOFING PENETRATIONS. LAP ADJOINING SHEETS AS RECOMMENDED BY FSR
  - MANUFACTURER AND BOND AS RECOMMENDED BY MANUFACTURER, COVERING TOP EDGES OF EACH
  - SHEET AT SEAMS WITH UNIFORM FILLET OF SEALANT IF
  - RECOMMENDED BY MANUFACTURER. INSTALL FLASHINGS AND COUNTERFLASHINGS AS SHOWN AND
  - AS RECOMMENDED BY MANUFACTURER. CUT MEMBRANE SHEETS IN MAXIMUM SIZE PIECES IN ORDER TO MINIMIZE SEAMS. MEMBRANE PATCHES LESS THAN
  - 60" X 60" WILL NOT BE ACCEPTED

#### REPLACEMENT WINDOWS

- 1. BASIS OF DESIGN FOR WINDOW REPLACMENTS:
  - A. ALL WOOD DOUBLE HUNG, OVERSIZED INDUSTRIAL, ACCENT AND MONITOR PRIMED WINDOW WITH LOW-E
  - THERMALLY BROKEN GLASS. B. ALL VINYL DOUBLE HUNG, OVERSIZED INDUSTRIAL, ACCENT
  - AND MONITOR PRE-FINISHED WINDOW WITH LOW-E THERMALLY BROKEN GLASS. ALL METAL DOUBLE HUNG, OVERSIZDE INDUSTRIAL, ACCENT AND MONITOR PRE-FINISHED WINDOW WITH LOW-E
- THERMALLY BROKEN GLASS. 2. ALTERNATE MANUFACTURERS FOR ALL REPLACEMENT WINDOWS WILL BE

ACCEPTABLE IF SUBSTITUTED REPLACEMENT WINDOW MEETS THE CRITERIA FOR ALL UNITS AS DESCRIBED IN THIS SECTION.

3. ALL OPERABLE WINDOWS ARE TO MEET THE STRUCTURAL PERFORMANCE, WIND LOAD, AIRBORNE DEBRIS AND DEFLECTION REQUIREMENTS AS OUTLINED BY THE MANUFACTURER.

4. SUBMIT PRODUCT DATA INCLUDING CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, FABRICATION METHODS, DIMENSIONS OF INDIVIDUAL COMPONENTS AND PROFILES. HARDWARE, FINISHES, AND OPERATING INSTRUCTIONS FOR EACH TYPE OF WOOD WINDOW INDICATED.

5. SUBMIT SHOP DRAWINGS INCLUDING PLANS, ELEVATIONS, SECTIONS, DETAILS, HARDWARE, ATTACHMENTS TO OTHER WORK, OPERATIONAL

CLEARANCES, INSTALLATION DETAILS, AND THE FOLLOWING: MULLION DETAILS, INCLUDING REINFORCEMENT AND STIFFENERS. JOINERY DETAILS.

- EXPANSION PROVISIONS. FLASHING AND DRAINAGE DETAILS. WEATHER-STRIPPING DETAILS. THERMAL-BREAK DETAILS.
- GLAZING DETAILS. WINDOW CLEANING PROVISIONS
- 6. WINDOW SCHEDULE AS INDICATED ON DRAWINGS.

7. PROVIDE QUALIFICATION DATA: FOR INSTALLER AND MANUFACTURER. 8. PROVIDE PRODUCT TEST REPORTS: BASED ON EVALUATION OF

COMPREHENSIVE TESTS PERFORMED WITHIN THE LAST FOUR YEARS BY A QUALIFIED TESTING AGENCY FOR EACH TYPE, CLASS, GRADE, AND SIZE OF WOOD WINDOW. THE SIZE SHALL BE AT LEAST AS LARGE AS THE LARGEST UNIT OF EACH TYPE IN THE PROJECT. TEST RESULTS BASED ON USE OF DOWNSIZED TEST UNITS WILL NOT BE ACCEPTED.

 PROVIDE MAINTENANCE DATA: FOR OPERABLE WINDOW SASH, OPERATING HARDWARE, WEATHER STRIPPING AND FINISHES TO INCLUDE IN MAINTENANCE MANUALS.

 VERIFY WINDOW OPENINGS BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS.

11. PROVIDE MANUFACTURER'S STANDARD WARRANTY FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE WINDOWS THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.

- FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING FAILURE TO MEET PERFORMANCE REQUIREMENTS.
- STRUCTURAL FAILURES INCLUDING EXCESSIVE DEFLECTION, WATER LEAKAGE, OR AIR INFILTRATION, OR
- CONDENSATION. FAULTY OPERATION OF MOVABLE SASH AND HARDWAR DETERIORATION OF WOOD, METALS, VINYL, OTHER MATERIALS, AND FINISHES BEYOND NORMAL
- WEATHERING. INSULATING GLASS.

12. GLAZING: PROVIDE MANUFACTURERS STANDARD THERMALLY BROKEN LOW-E GLAZING SYSTEM FOR ALL WINDOWS

13. PROVIDE MANUFACTURERS STANDARD WINDOW HARDWARE. SUBMIT COLOR SAMPLES FOR ARCHITECTS APPROVAL PRIOR TO PURCHASING WINDOWS.

14. PROVIDE ALTERNATE FOR MANUFACTURES STANDARD ALUMINUM WINDOW SCREENS. DESIGN WINDOWS AND HARDWARE TO ACCOMMODATE SCREENS IN A TIGHT-FITTING. REMOVABLE ARRANGEMENT. WITH A MINIMUM OF EXPOSED FASTENERS AND LATCHES. FABRICATE INSECT SCREENS TO FULLY INTEGRATE WITH WINDOW FRAME. LOCATE SCREENS ON OUTSIDE OF WINDOW AND PROVIDE FOR EACH OPERABLE EXTERIOR SASH OR VENTILATOR.

ALL REPLA	CEMENT WINDOWS:
Α.	WOOD FOR SASHES AND FRAMES: CLEAR PONDEROSA PINE
	OR ANOTHER SUITABLE FINE-GRAINED LUMBER; KILN
	DRIED TO A MOISTURE CONTENT OF 6 TO 12 PERCENT
	AT TIME OF FABRICATION; FREE OF VISIBLE FINGER
	JOINTS, BLUE STAIN, KNOTS, PITCH POCKETS, AND
	SURFACE CHECKS LARGER THAN 1/32 INCH (0.8 MM)
	DEEP BY 2 INCHES (51 MM) WIDE; WATER-REPELLENT
	PRESERVATIVE TREATED.
В.	FASTENERS: ALUMINUM, NONMAGNETIC STAINLESS STEEL,
D.	EPOXY ADHESIVE, OR OTHER MATERIALS WARRANTED
	BY MANUFACTURER TO BE NONCORROSIVE AND
	COMPATIBLE WITH WOOD WINDOW MEMBERS,
	CLADDING, TRIM, HARDWARE, ANCHORS, AND OTHER
0	COMPONENTS.
С.	EXPOSED FASTENERS: UNLESS UNAVOIDABLE FOR APPLYING
	HARDWARE, DO NOT USE EXPOSED FASTENERS.FOR
	APPLICATION OF HARDWARE, USE FASTENERS THAT
	MATCH FINISH OF MEMBER OR HARDWARE BEING
-	FASTENED, AS APPROPRIATE.
D.	ANCHORS, NAIL FINS, CLIPS, AND ACCESSORIES: ALUMINUM,
	NONMAGNETIC STAINLESS STEEL, OR ZINC-COATED
	STEEL OR IRON COMPLYING WITH ASTM B 633 FOR SC 3
	SEVERE SERVICE CONDITIONS; PROVIDE SUFFICIENT
	STRENGTH TO WITHSTAND DESIGN PRESSURE
	INDICATED.
Ε.	REINFORCING MEMBERS: ALUMINUM, OR NONMAGNETIC
	STAINLESS STEEL, OR NICKEL/CHROME-PLATED STEEL
	COMPLYING WITH ASTM B 456 FOR TYPE SC 3 SEVERE
	SERVICE CONDITIONS, OR ZINC-COATED STEEL OR
	IRON COMPLYING WITH ASTM B 633 FOR SC 3 SEVERE
	SERVICE CONDITIONS; PROVIDE SUFFICIENT STRENGTH
	TO WITHSTAND DESIGN PRESSURE INDICATED
F.	COMPRESSION-TYPE WEATHER STRIPPING: PROVIDE
	COMPRESSIBLE WEATHER STRIPPING DESIGNED FOR
	PERMANENTLY RESILIENT SEALING UNDER BUMPER OR
	WIPER ACTION AND FOR COMPLETE CONCEALMENT
	WHEN WOOD WINDOW IS CLOSED
G.	WEATHER-STRIPPING MATERIAL: MANUFACTURER'S
_	STANDARD SYSTEM AND MATERIALS COMPLYING WITH
	AAMA/WDMA 101/I.S.2/NAFS.
H.	FABRICATE WOOD WINDOWS IN SIZES INDICATED. INCLUDE A
•••	COMPLETE SYSTEM FOR ASSEMBLING COMPONENTS
	AND ANCHORING WINDOWS.
I.	PROVIDE WEATHER STRIPPING ONLY AT HORIZONTAL RAILS
	OF OPERABLE SASH

15

OF OPERABLE SASH PROVIDE MANUFACTURERS FACTORY PRIME COAT FOR BOTH INTERIOR AND EXTERIOR OF WINDOW.

16.	EXAMINATIO	N
	Α.	EXAMINE OPENINGS, SUBSTRATES, STRUCTURAL SUPPORT,
		ANCHORAGE, AND CONDITIONS, WITH INSTALLER
		PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR
		INSTALLATION TOLERANCES AND OTHER CONDITIONS
		AFFECTING PERFORMANCE OF WORK. VERIFY ROUGH
		OPENING DIMENSIONS, LEVELNESS OF SILL PLATE, AND
		OPERATIONAL CLEARANCES. EXAMINE WALL
		FLASHINGS, VAPOR RETARDERS, WATER AND
		WEATHER BARRIERS, AND OTHER BUILT-IN
		COMPONENTS TO ENSURE A COORDINATED,
		WEATHERTIGHT WINDOW INSTALLATION.
	В.	MASONRY SURFACES: VISIBLY DRY AND FREE OF EXCESS
		MORTAR, SAND, AND OTHER CONSTRUCTION DEBRIS.
	C.	FRAMED WALLS: DRY, CLEAN, SOUND, WELL NAILED,
		FREE OF VOIDS, AND WITHOUT OFFSETS AT JOINTS.

ENSURE THAT MECHANICAL FASTENERS ARE DRIVEN FLUSH WITH SURFACES IN OPENING AND WITHIN 3 INCHES (76 MM) OF OPENING.

17. INSTALLATION A. COMPLY WITH DRAWINGS, SHOP DRAWINGS, AND MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLING WINDOWS, HARDWARE, ACCESSORIES, AND OTHER COMPONENTS. B. INSTALL WINDOWS LEVEL, PLUMB, SQUARE, TRUE TO LINE

	WITHOUT DISTORTION OR IMPEDING THERMAL
	MOVEMENT, ANCHORED SECURELY IN PLACE TO
	STRUCTURAL SUPPORT, AND IN PROPER RELATION TO
	WALL FLASHING AND OTHER ADJACENT
	CONSTRUCTION.
2	SILL MEMBERS SHOULD NOT BE SET IN A BED OF SEALANT.

SILL MEMBERS SHOULD NOT BE SET IN A BED OF SEALAN BUT RATHER, SILLS SHOULD BE SHIMMED AND THEN SEALED AS DESCRIBED IN PARAGRAPHS 6 AND 7 BELOW. INSTALL WINDOWS TO BE WEATHER-TIGHT AND FREELY

OPERATINGSET SILL MEMBERS IN BED OF SEALANT OR WITH GASKETS, AS INDICATED, FOR WEATHERTIGHT CONSTRUCTION.

SEPARATE ALUMINUM AND OTHER CORRODIBLE SURFACES FROM SOURCES OF CORROSION OR ELECTROLYTIC ACTION (DISSIMILAR MATERIALS, TREATED LUMBER, ETC.) AT POINTS OF CONTACT WITH OTHER MATERIALS. F. FOR FIN METHOD OF ATTACHMENT, INTEGRATE WINDOW SYSTEM INSTALLATION WITH EXTERIOR WEATHER-RESISTANT BARRIER USING FLASHING/SEALANT TAPE. APPLY AND INTEGRATE FLASHING/SEALANT TAPE WITH

WEATHER-RESISTANT BARRIER USING WATERSHED PRINCIPLES IN ACCORDANCE WITH WINDOW MANUFACTURER'S INSTRUCTIONS. G. PLACE INTERIOR SEAL AROUND WINDOW PERIMETER USING INSULATING FOAM SEALANT TO MAINTAIN CONTINUITY OF BUILDING THERMAL AND AIR BARRIER. H. SEAL WINDOW TO EXTERIOR WALL CLADDING WITH SEALANT

AND RELATED BACKING MATERIALS AT PERIMETER OF ASSEMBLY I. LEAVE WINDOW UNITS CLOSED AND LOCKED.

18. ADJUSTING, CLEANING, AND PROTECTION. A. ADJUST OPERATING SASHES AND VENTILATORS, SCREENS, HARDWARE, AND ACCESSORIES FOR A TIGHT FIT AT CONTACT POINTS AND WEATHER STRIPPING FOR SMOOTH OPERATION AND WEATHERTIGHT CLOSURE. LUBRICATE HARDWARE AND MOVING PARTS. B. CLEAN EXPOSED SURFACES IMMEDIATELY AFTER INSTALLING WINDOWS. AVOID DAMAGING PROTECTIVE COATINGS

AND FINISHES. REMOVE EXCESS SEALANTS, GLAZING MATERIALS, DIRT, AND OTHER SUBSTANCES. C. CLEAN FACTORY-GLAZED GLASS IMMEDIATELY AFTER INSTALLING WINDOWS. COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR FINAL CLEANING AND MAINTENANCE. REMOVE

NONPERMANENT LABELS, AND CLEAN SURFACES. PROTECT WINDOW SURFACES FROM CONTACT WITH CONTAMINATING SUBSTANCES RESULTING FROM CONSTRUCTION OPERATIONS. IN ADDITION, MONITOR WINDOW SURFACES ADJACENT TO AND BELOW EXTERIOR CONCRETE AND MASONRY SURFACES

> DURING CONSTRUCTION FOR PRESENCE OF DIRT. SCUM, ALKALINE DEPOSITS, STAINS, OR OTHER CONTAMINANTS. IF CONTAMINATING SUBSTANCES DO CONTACT WINDOW SURFACES, REMOVE CONTAMINANTS IMMEDIATELY ACCORDING TO MANUFACTURER'S WRITTEN RECOMMENDATIONS.

> > LANCASTER, PA 17601

No.

ISSUE DATE

FILE NUMBER 1929



ALL DIMENSIONS, MEASUREMENTS AND STAMP CONDITIONS SHALL BE CHECKED RIFIED IN THE FIELD BY THE CTOR. REFER ALL DIFFERENCES TING, TO THE ARCHITECT FOR ERATION PRIOR TO PROCEEDING HE WORK. THE CONTRACTOR BEAR THE COST OF RECTIFYING APPROVED BY THE ARCHITEC BY LACK OF COORDINATION AND IFICATION.

#### GYPSUM WALLBOARD NOTES:

1. GYPSUM WALLBOARD (GWB) SHALL BE U.S. GYPSUM OR EQUAL, INSTALLED WITH TYPE "W" DRYWALL SCREWS DRIVEN WITH AN ELECTRIC SCREW GUN. INSTALL WITH A COMPATIBLE CONSTRUCTION GRADE ADHESIVE APPLIED TO STUDS AND FURRING STRIPS PRIOR TO INSTALLATION. APPLY THREE COATS OF PREMIXED GWB COMPOUND AND SAND SMOOTH. ALL EDGES SHALL BE TAPED OR HAVE METAL GWB TRIM ACCESSORIES INSTALLED AS CONDITIONS DICTATE. ALL SURFACES SHALL BE FINISHED TRUE AND SMOOTH. PROVIDE 1/2" GWB FOR ALL INSTALLATIONS.

2. GYPSUM WALLBOARD (GWB) SHALL BE U.S. GYPSUM OR EQUAL, INSTALLED WITH TYPE "W" DRYWALL SCREWS DRIVEN WITH AN ELECTRIC SCREW GUN. INSTALL WITH A COMPATIBLE CONSTRUCTION GRADE ADHESIVE APPLIED TO STUDS AND FURRING STRIPS PRIOR TO INSTALLATION.

3. FINISH: APPLY THREE COATS OF PREMIXED GWB JOINT COMPOUND AND SAND SMOOTH. ALL EDGES SHALL BE TAPED OR HAVE METAL GWB TRIM ACCESSORIES INSTALLED AS CONDITIONS DICTATE. ALL SURFACES SHALL BE FINISHED TRUE AND SMOOTH, READY FOR PAINTED FINISH.

4. PROVIDE 5/8" GWB FOR ALL INSTALLATIONS. PROVIDE TYPE "X" WHERE INDICATED IN FIRE RESISTANT ASSEMBLIES.

5. PROVIDE MOISTURE RESISTANT GWB IN BATHROOMS, AND AT LOCATIONS INDICATED ON DRAWINGS.

GYPSUM PLASTER REPAIR AND REPLACEMENT NOTES:

1. CUT, PATCH, REPLACE, AND REPAIR PLASTER AS NECESSARY TO ACCOMMODATE OTHER WORK AND TO RESTORE CRACKS, DENTS, AND IMPERFECTIONS. REPAIR OR REPLACE WORK TO ELIMINATE LARGE CRACKS, BLISTERS, BUCKLES, DRY OUTS, EFFLORESCENCE, SWEAT OUTS, AND SIMILAR DEFECTS AND WHERE BOND TO SUBSTRATE HAS FAILED. SMALL DEFECTS IN THE ORIGINAL PLASTER ARE ACCEPTABLE.

2. SEE DRAWINGS FOR EXTENT OF SEVERELY DETERIORATED OR MISSING PLASTER THAT MUST BE REPLACED.

3. ADVISE PROJECT COORDINATOR AND ARCHITECT TO THE CAUSE OF EXISTING PLASTER DETERIORATION AND DEFECTS. COORDINATE SCOPE OF WORK TO ENSURE UNDERLYING CONSTRUCTION DEFICIENCIES HAVE BEEN CORRECTED PRIOR TO BEGINNING PLASTER REPAIRS OR REPLACEMENT.

4. MOCKUPS: BEFORE PLASTERING, INSTALL MOCKUPS OF AT LEAST 25 SQ. FT. IN SURFACE AREA TO DEMONSTRATE AESTHETIC EFFECTS AND SET QUALITY STANDARDS FOR MATERIALS AND EXECUTION. APPROVED MOCKUPS MAY BECOME PART OF THE COMPLETED WORK IF UNDISTURBED AT TIME OF SUBSTANTIAL COMPLETION.

#### 5. PLASTER REPAIR:

2

- A. REPAIR HAIRLINE CRACKS AND MINOR DEFECTS WITH APPROPRIATE PATCHING COMPOUNDS AND LIGHTLY SANDING FINISH TO BLEND WITH SURROUNDING CONSTRUCTION.
- PROVIDE JOINT COMPOUND FOR SURFACE CRACKS AND DEFECTS
  - PROVIDE PLASTER PATCH COMPOUND FOR LARGER CRACKS IN ACCORDANCE WITH
  - USG CONVENTIONAL PLASTER SYSTEMS.

6. PROVIDE PLASTER REPLACEMENT TECHNIQUES IN ACCORDANCE WITH THE CONVENTIONAL PLASTER SYSTEMS INSTALLATION, PUBLISHED BY THE UNITED STATES GYPSUM (USG) COMPANY.

7. PLASTER PATCHING AND REPLACEMENT: UNLESS OTHERWISE INDICATED PROVIDE 3-COAT WORK. FINISH GYPSUM PLASTER WITH SMOOTH-TROWELED FINISH. SAND LIGHTLY TO REMOVE TROWEL MARKS AND ARISES. CUT, PATCH, POINT-UP AND REPAIR PLASTER TO ACCOMMODATE OTHER CONSTRUCTION AND TO RESTORE CRACKS, DENTS AND IMPERFECTIONS. A. PREPARATION:

- REMOVE AREAS OF DAMAGED PLASTER. REMOVE OR REATTACH EXISTING WOOD LATH, AS REQUIRED BY CONDITIONS. FULLY SOAK ANY REMAINING WOOD LATH WITH WATER PRIOR TO INSTALLATION OF
  - PLASTER SCRATCH COAT. B. LATH: PROVIDE METAL LATH, MECHANICALLY FASTENED TO SUBSTRATE OF MASONRY, WOOD LATH OR WOOD
  - FRAME CONSTRUCTION. GALVANIZED SELF FURRING EXPANDED METAL 1
  - DIAMOND LATH FOR STUD SPACINGS UP TO 16" O.C.
  - PROVIDE 3/8" METAL RIB LATH FOR STUD SPACINGS UP TO 24" O.C.
  - C. PLASTER: PROVIDE 3 COAT PLASTER SYSTEM IN
    - ACCORDANCE WITH USG STANDARDS, AND COMPATIBLE WITH EXISTING PLASTER
    - FINISHES. TRANSITIONS TO EXISTING PLASTER WORK ARE TO BE UNNOTICEABLE.
  - PROVIDE FINISHED PLASTER SURFACE, READY 3. FOR PAINT.

8. CASING BEADS: INSTALL AT TERMINATIONS OF PLASTERWORK, EXCEPT WHERE PLASTER PASSES BEHIND AND IS CONCEALED BY OTHER WORK AND WHERE METAL SCREEDS, BASES, OR FRAMES ACT AS CASING.

9. EXPANSION JOINTS: PROVIDE AS NEEDED, AFTER DISCUSSION WITH ARCHITECT.

10. PATCH PLASTER INSTALLATION: COMPLY WITH MANUFACTURER'S INSTRUCTIONS. UNLESS OTHERWISE INDICATED PROVIDE 3-COAT WORK. FINISH GYPSUM PLASTER WITH SMOOTH-TROWELED FINISH. SAND LIGHTLY TO REMOVE TROWEL MARKS AND ARISES. CUT, PATCH, POINT-UP AND REPAIR PLASTER TO ACCOMMODATE OTHER CONSTRUCTION AND TO RESTORE CRACKS, DENTS AND IMPERFECTIONS.

11. ALL PLASTER PATCHING TO MATCH EXISTING IN COLOR, THICKNESS, TEXTURE, & INSTALLATION METHOD.

12. FEATHER PLASTER PATCHING MINIMUM 1'-0" ON EITHER SIDE OF AREA TO BE PATCHED.

SUBMIT SAMPLES FOR EACH TYPE OF PRODUCT ,COLOR AND FINISH INDICATED.

2. PREPARATION AND WORKMANSHIP TO COMPLY WITH REQUIREMENTS IN "MPI ARCHITECTURAL PAINTING SPECIFICATION MANUAL" FOR PRODUCTS AND PAINT SYSTEMS INDICATED.

3. APPLY BENCHMARK SAMPLES OF EACH PAINT SYSTEM INDICATED AND EACH COLOR AND FINISH SELECTED TO VERIFY PRELIMINARY SELECTIONS MADE UNDER SAMPLE SUBMITTALS AND TO DEMONSTRATE AESTHETIC EFFECTS AND SET QUALITY STANDARDS FOR MATERIALS AND EXECUTION.

4. OWNER WILL SELECT ONE SURFACE TO REPRESENT SURFACES AND CONDITIONS FOR APPLICATION OF EACH PAINT SYSTEM SPECIFIED IN PART 3. A. WALL SURFACES: PROVIDE SAMPLES OF AT LEAST 50 SQ. FT. B. OTHER ITEMS: OWNER WILL DESIGNATE ITEMS OR AREAS REQUIRED, MINIMUM 10 LF

5. FURNISH A MINIMUM OF AN ADDITIONAL 1 GAL. (3.8 L) OF EACH MATERIAL AND COLOR APPLIED. EXTRA MATERIALS ARE TO BE FROM SAME PRODUCTION RUN (BATCH MIX) AS MATERIALS APPLIED AND THAT ARE PACKAGED FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS.

6. AVAILABLE MANUFACTURES AND PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO THOSE LISTED IN "INTERIOR PAINT SCHEDULE."

7. SYSTEMS COULD FAIL IF PAINTS USED FOR INDIVIDUAL COATS ARE INCOMPATIBLE. MPI'S PAINT SYSTEMS MATCH PRIMERS AND TOPCOATS AND TAKE COMPATIBILITY INTO CONSIDERATION.

A. PROVIDE MATERIALS FOR USE WITHIN EACH PAINT SYSTEM THAT ARE COMPATIBLE WITH ONE ANOTHER AND SUBSTRATES INDICATED, UNDER CONDITIONS OF SERVICE AND APPLICATION AS DEMONSTRATED BY MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.

B. FOR EACH COAT IN A PAINT SYSTEM, PROVIDE PRODUCTS RECOMMENDED IN WRITING BY MANUFACTURERS OF TOPCOAT FOR USE IN PAINT SYSTEM AND ON SUBSTRATE INDICATED.

8. COLORS: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.

9. EXAMINE SUBSTRATES AND CONDITIONS, WITH APPLICATOR PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR MAXIMUM MOISTURE CONTENT AND OTHER CONDITIONS AFFECTING PERFORMANCE OF WORK.

10. MAXIMUM MOISTURE CONTENT OF SUBSTRATES: WHEN MEASURED WITH AN ELECTRONIC MOISTURE METER AS FOLLOWS: A. PERCENTAGES ARE BASED ON "MPI ARCHITECTURAL

PAINTING SPECIFICATION MANUAL." A.1. WOOD: 15 PERCENT. A.2. GYPSUM BOARD: 12 PERCENT. MASONRY: 12 PERCENT A.3.

11. VERIFY SUITABILITY OF SUBSTRATES, INCLUDING SURFACE CONDITIONS AND COMPATIBILITY WITH EXISTING FINISHES AND PRIMERS.

12. BEGIN COATING APPLICATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND SURFACES ARE DRY.

13. BEGINNING COATING APPLICATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SUBSTRATES AND CONDITIONS.

14. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS IN "MPI ARCHITECTURAL PAINTING SPECIFICATION MANUAL" APPLICABLE TO SUBSTRATES INDICATED.

15. CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF PAINTS, INCLUDING DIRT, OIL, GREASE, AND INCOMPATIBLE PAINTS AND ENCAPSULANTS.

16. APPLY PAINTS TO PRODUCE SURFACE FILMS WITHOUT CLOUDINESS, SPOTTING, HOLIDAYS, LAPS, BRUSH MARKS, ROLLER TRACKING, RUNS, SAGS, ROPINESS, OR OTHER SURFACE IMPERFECTIONS. CUT IN SHARP LINES AND COLOR BREAKS.

17. PROTECT WORK OF OTHER TRADES AGAINST DAMAGE FROM PAINT APPLICATION. CORRECT DAMAGE TO WORK OF OTHER TRADES BY CLEANING, REPAIRING, REPLACING, AND REFINISHING, AS APPROVED BY ARCHITECT, AND LEAVE IN AN UNDAMAGED CONDITION.

18. AT COMPLETION OF CONSTRUCTION ACTIVITIES OF OTHER TRADES, TOUCH UP AND RESTORE DAMAGED OR DEFACED PAINTED SURFACES.

19. CONFIRM WITH OWNER THE EXTENT OF PAINTING FOR SURFACES SHEDUALED AS "PATCH AND PAINT". FOR ALL OTHER SURFES NOT SCHEDULED AS "PATCH AND PAINT", THE ENTIRE SURFACE IS TO BE PAINTED.

20. INTERIOR PAINT SCHEDULE:

A. LATEX SYSTEM: ALL PAINT TO MATCH EXISTING IN COLOR AND SHEEN

B. WOOD SUBSTRATES, OPAQUE FINISH:

PRIME COAT: SW: PREPRITE CLASSIC LATEX PRIMER, B28W101

DUR: ACRYLIC ENAMEL UNDERCOATER, 04-123 MAB: ECLIPSE ACRYLIC PRIMER, 036-154

INTERMEDIATE COAT:

SW: PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS (B31 SERIES), DUR: SIGNATURE SELECT SEMI-GLOSS (173 SERIES),

MAB: PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS (B31 SERIES) TOPCOAT:

SW: PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS (B31 SERIE DUR: SIGNATURE SELECT SEMI-GLOSS (173 SERIES),

MAB: PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS (B31 SERIES)

C. WOOD SUBSTRATES, TRANSPARENT FINISH:

STAIN: ZAR WOOD STAIN

INTERMEDIATE COAT: ZAR ULTRA MAX WATERBOURNE OIL MODIFIED POLYURETHANE (SEMI-GLOSS)

FINISH COAT: ZAR ULTRA MAX WATERBOURNE OIL MODIFIED POLYURETHANE (SEMI-GLOSS)

TOPCOAT: SW: PROMAR 200 INTERIOR LATEX EGGSHELL (B20-200 SERIES), DUR: ULTRA DELUXE INT. EGGSHELL (36 SERIES), MAB: RICH LUX WALL SHIELD EGGSHELL (029 SERIES),

D. GYPSUM BOARD SUBSTRATES:

SW: PREPRITE 200 PRIMER, B28W200

DUR: ACRYLIC DRYWALL PRIMER, 04-124

MAB: RICH LUX LATEX SEALER UNDERCOATER, 037

DUR: ULTRA DELUXE INT. EGGSHELL (36 SERIES),

MAB: RICH LUX WALL SHIELD EGGSHELL (029 SERIES),

SW: PROMAR 200 INTERIOR EGGSHELL (B20-200 SERIES),

PRIME COAT:

INTERMEDIATE COAT:

21. EXTERIOR PAINT SCHEDULE A. WOOD SUBSTRATES, OPAQUE FINISH:

> PRIME COAT: SW: A-100 EXTERIOR LATEX WOOD PRIMER, B42W41

DUR: BOND & SEAL 08-124

MAB: SEASHORE LATEX PRIMER, 056987

INTERMEDIATE COAT: SW: A-100 EXTERIOR LATEX GLOSS (A8 SERIES)

DUR: WEATHERSHIELD, GLOSS (03 SERIES) MAB: SEASHORE LATEX GLOSS (24 SERIES)

TOPCOAT:

SW: A-100 EXTERIOR LATEX, GLOSS (A8 SERIES) WEATHERSHIELD LATEX, GLOSS (03 SERIES) MAB: SEASHORE LATEX, GLOSS (24 SERIES)

B. BRICK SUBSTRATES- OPAQUE FINISH

C. LATEX SYSTEM:

PRIME COAT:

SW: LOXON ACRYLIC MASONRY PRIMER, A24W300 DUR: DURACRETE MASONRY PRIMER, 16-200 MAB: MODAC HOTCRETE 019199

INTERMEDIATE COAT: SW: A-100 EXTERIOR LATEX, SATIN (A82 SERIES) DUR: WEATHERSHIELD LATEX, SATIN (11 SERIES),

MAB: SEASHORE LATEX, SATIN (60 SERIES) TOPCOAT:

SW: A-100 EXTERIOR LATEX, SATIN (A82 SERIES) DUR: WEATHERSHIELD LATEX, SATIN (11 SERIES) MAB: SEASHORE LATEX, SATIN (60 SERIES)

No.

LANCASTER, PA 17601

SHEET TITLE **ISSUE DATE** 

FILE NUMBER 1929



ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

TYPE	UNIT NO:
1A(B)	1104
1A(B)	1204
1A(B)	1304
1A(B)	2104
1A(B)	2204
1A(B)	2304
1A(B) ++	1101
1A(B)*	3101
1A(B)*	3108
1A(B)*	3113
1A(B)*	3201
1A(B)*	3208
1A(B)*	3213
1A(B)*	3308
1A(B)*	3313
1A(B)**	3301
1A(B)***	2102
1A(B)+	2108
1A(B)+	2308
1A(B)+*	2202
1A(B)+*	2302
1A(BR)	1105
1A(BR)	1201
1A(BR)	1205
1A(BR)	1301
1A(BR)	1305
1A(BR)	2105
1A(BR)	2111
1A(BR)	2205
1A(BR)	2211
1A(BR)	2305
1A(BR)	2311
1A(BR)	3103
1A(BR)	3105
1A(BR)	3110
1A(BR)	3203
1A(BR)	3210
1A(BR)	3303
1A(BR)	3305
1A(BR)	3310
1B(B)	1108
1B(B)	1208

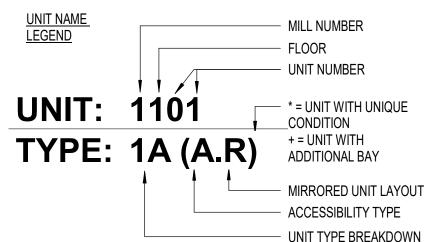
UNIT TYPE SCHEDULE BY TYPE		
TYPE	UNIT NO:	
1B(B)	1308	
1B(BR)	1110	
1B(BR)	1210	
1B(BR)	1310	
1C(A)	1103	
1C(A)	1107	

TYPE	UNIT NO:
C(A)	1111
C(A)	1203
C(A)	1207
C(A)	1303
C(A)	1307
C(A)	2106
C(A)	2206
C(A)	2306
C(A)	3104
C(A)	3111
C(A)	3204
C(A)	3211
C(A)	3304
C(A)	3311
C(A)*	1211
C(A)*	1311
C(A)*	3312
C(A.R)	2201
C(AR)	1106
C(AR)	1109
C(AR)	1206
C(AR)	1209
C(AR)	1306
C(AR)	1309
C(AR)	2101
C(AR)+*	2301
C(B)*	3112
C(B)*	3212
D (A)	5103
D (A)	5105
D (A)	5107
D (A)	5110
D (A)	5114
D (A)	5203
D (A)	5205
D (A)	5207

UNIT TYPE SCH	IEDULE BY TYPE
TYPE	UNIT NO
1D (A)	5210
1D (A)	5214
1D (A)	5303
1D (A)	5305
1D (A)	5307
1D (A)	5310
1D (A)	5314
1D (A.R)	5102
1D (A.R)	5104
1D (A.R)	5108
1D (A.R)	5111
1D (A.R)	5202
1D (A.R)	5204
1D (A.R)	5208
1D (A.R)	5211
1D (A.R)	5302
1D (A.R)	5304
1D (A.R)	5308
1D (A.R)	5311
1E (A)	6101
1E (A)	6103
1E (A)	6105
1E (A)	6201
1E (A)	6203
1E (A)	6205
1E (A)	6301
1E (A)	6303

UNIT TYPE SCHEDULE BY TYPE		
TYPE	UNIT NO:	
1E (A)	6305	
1E (A.R)	6102	
1E (A.R)	6104	
1E (A.R)	6202	
1E (A.R)	6204	
1E (A.R)	6302	
1E (A.R)	6304	
1F (B)	2208	
1G(B)	3205	
2A(B)	2103	
2A(B)	2203	
2A(B)	2303	
2A(B)	3102	
2A(B)	3202	
2A(B)*	3302	

UNIT TYPE SCHEDULE BY TYPE		
TYPE	UNIT NO:	
2B (A)	5106	
2B (A)	5113	
2B (A)	5206	
2B (A)	5213	
2B (A)	5306	
2B (A)	5313	



TOTAL:	20	TOTAL UNIT COUNT:	60
		TOTAL:	18
2-C:	1	2 BEDROOMS:	3
1-E:	5	1 BEDROOMS:	15
MILL 6 (PER FLOOR):		STUDIOS:	0
<i>Σ</i> -D.	2	MILL 6:	
1-D. 2-В:	2		74
3-0. 1-D:	9	TOTAL:	42
S-C:	1	2 BEDROOMS:	6
S-B:	2	1 BEDROOMS:	27
MILL 5 (PER FL	OOR).	MILL 5: STUDIOS:	9
UNIT COL	JNT:		
PHASE 2 APARTMENT		PHASE 2 APARTMEN	T TOTAL CO

UNIT TYPE BREAKDOWN			
PHASE 2 APARTM	ENT TOTAL CO	OUNTS:	
MILL 5: STUDIOS: 1 BEDROOMS: 2 BEDROOMS: TOTAL:	9 27 6 42	21% 64% 15%	
MILL 6: STUDIOS: 1 BEDROOMS: 2 BEDROOMS:	0 15 3	0% 83% 17%	

	NUMBERS:
0.0.00.0	00
MillFloo	r.Unit.Room

ROOM AND DOOR NUMBERS DO NOT INDICATE DIFFERENT UNIT TYPES. SEE UNIT PLAN FOR INDICATION MORE THAN 10 UNITS PER FLOOR MORE THAN 10 ROOMS PER UNIT

1.1	INDICATES: MILL 1 FLOOR 1
1.2	INDICATES: MILL 1 FLOOR 2
3.2	INDICATES: MILL 3 FLOOR 2

ROOMS WITHIN UNITS:

01 LIVING 02 BEDROOM 03 BATHROOM 3x ANY WET ROOMS / IE WASHER DRYER / BATHROOM CLOSETS 2x ANY CLOSETS IN CASE OF DOUBLE BEDROOM UNIT:

04 BEDROOM #2 06 BATHROOM #2 **REGULAR ROOMS:** FIRST DIGIT INDICATES FLOOR. SECOND INDICATES MILL. 1.001 MILL 1 - LVL 0: BASEMENT

1.101 MILL 1 - FIRST FLOOR 1.202 MILL 1 - SECOND FLOOR OTHERS: S-1 X STAIR 1 S-4 X STAIR 4

C.00X CAFETERIA ROOMS B.0XX BOILERPLANT BUILDING FIRST FLOOR B.02X BOILERPLAN BUILDING SECOND FLOOR

UNIT NR:	TYPE
1101	1A(B) ++
1102	2D (AR)
1103	1C(A)
1104	1A(B)
1105	1A(BR)
1106	1C(AR)
1107	1C(A)
1108	1B(B)
1109	1C(AR)
1110	1B(BR)
1111	1C(A)
1201	1A(BR)
1202	2D(BR)
1203	1C(A)
1204	1A(B)
1205	1A(BR)
1206	1C(AR)
1207	1C(A)
1208	1B(B)
1209	1C(AR)
1210	1B(BR)
1211	1C(A)*
1301	1A(BR)
1302	2D(BR)
1303	1C(A)
1304	1A(B)
1305	1A(BR)
1306	1C(AR)
1307	1C(A)
1308	1B(B)
1309	1C(AR)
1310	1B(BR)
1311	1C(A)*

UNIT NR:	TYPE	UNIT NR:	TYPE
2101	1C(AR)	3101	1A(B)*
2102	1A(B)***	3102	2A(B)
2103	2A(B)	3103	1A(BR)
2104	1A(B)	3104	1C(A)
2105	1A(BR)	3105	1A(BR)
2106	1C(A)	3106	SA(BR)
2107	SA(AR)	3107	SA(B)
2108	1A(B)+	3108	1A(B)*
2109	SA(B)	3109	SA(BR)
2110	SA(B)*	3110	1A(BR)
2111	1A(BR)	3111	1C(A)
2201	1C(A.R)	3112	1C(B)*
2202	1A(B)+*	3113	1A(B)*
2203	2A(B)	3201	1A(B)*
2204	1A(B)	3202	2A(B)
2205	1A(BR)	3203	1A(BR)
2206	1C(A)	3204	1C(A)
2207	SA(AR)	3205	1G(B)
2208	1F (B)	3206	SA(BR)
2209	SA(B)	3207	SA(B)
2210	SA(B)*	3208	1A(B)*
2211	1A(BR)	3209	SA(BR)
2301	1C(AR)+*	3210	1A(BR)
2302	1A(B)+*	3211	1C(A)
2303	2A(B)	3212	1C(B)*
2304	1A(B)	3213	1A(B)*
2305	1A(BR)	3301	1A(B)**
2306	1C(A)	3302	2A(B)*
2307	SA(AR)	3303	1A(BR)
2308	1A(B)+	3304	1C(A)
2309	SA(B)	3305	1A(BR)
2310	SA(B)*	3306	SA(BR)
2311	1A(BR)	3307	SA(B)
		3308	1A(B)*
		3309	SA(BR)
		3310	1A(BR)
		3311	1C(A)
		3312	1C(A)*

TYPE	UNIT NO:
2C (A)	6106
2C (A)	6206
2C (A)	6306
2D (AR)	1102
2D(BR)	1202
2D(BR)	1302
SA(AR)	2107
SA(AR)	2207
SA(AR)	2307

UNIT TYPE SCHEDULE BY TYPE		
TYPE	UNIT NO:	
SA(B)	2109	
SA(B)	2209	
SA(B)	2309	
SA(B)	3107	
SA(B)	3207	
SA(B)	3307	
SA(B)*	2110	
SA(B)*	2210	
SA(B)*	2310	
SA(BR)	3106	
SA(BR)	3109	
SA(BR)	3206	
SA(BR)	3209	
SA(BR)	3306	

UNIT TYPE SCHEDULE BY TYPE		
TYPE	UNIT NO:	
SA(BR)	3309	
SB (A)	5109	
SB (A)	5209	
SB (A)	5309	
SB (A.R)	5112	
SB (A.R)	5212	
SB (A.R)	5312	
SC (A)	5101	
SC (A)	5201	
SC (A)	5301	

### DOOR NUMBERS 0000 00

FIRST #4 DIGITS INDICATE UNIT NUMBER LAST #2 DIGITS INDICATE ROOM NUMBER

S2 12 = STAIR 2 - MILL 1 - FLOOR 2 S4 31 = STAIR 4 - MILL 3 - FLOOR 1 ETC

DOORS WITHIN UNITS: 01 LIVING 02 BEDROOM 03 BATHROOM

3x ANY WET ROOMS / IE WASHER DRYER / BATHROOM CLOSETS 2x ANY CLOSETS IN CASE OF DOUBLE BEDROOM UNIT: 04 BEDROOM #2

06 BATHROOM #2 05 ADJACENT BATHROOM DOOR CONNECTING TO LIVING

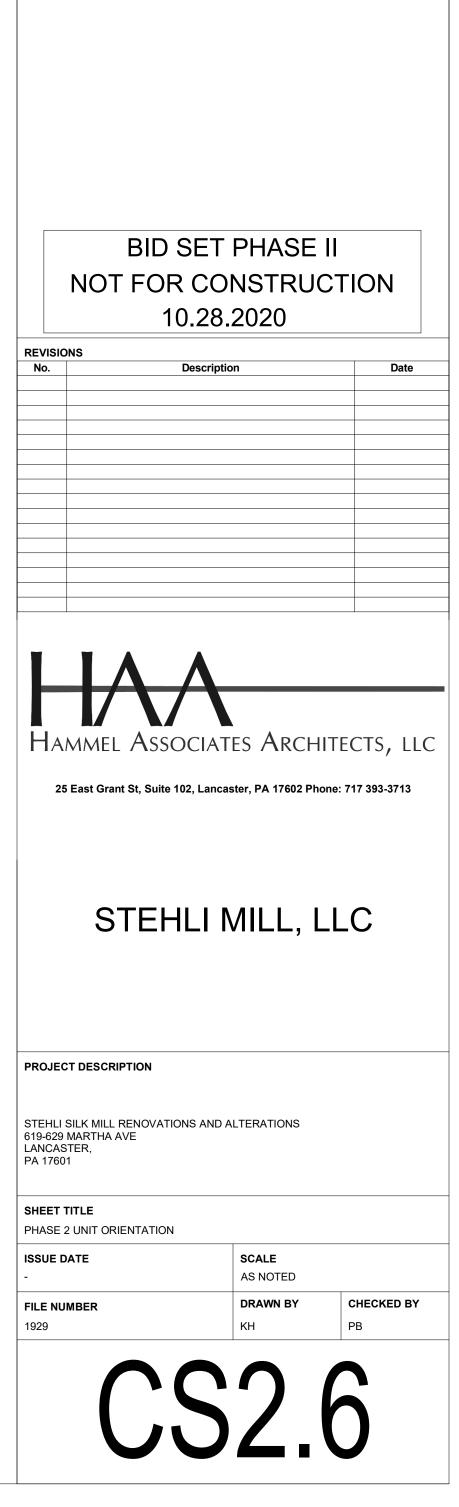
UNIT NR:	TYPE
3313	1A(B)*
5101	SC (A)
5102	1D (A.R)
5103	1D (A)
5104	1D (A.R)
5105	1D (A)
5106	2B (A)
5107	1D (A)
5108	1D (A.R)
5109	SB (A)
5110	1D (A)
5111	1D (A.R)
5112	SB (A.R)
5113	2B (A)
5114	1D (A)
5201	SC (A)
5202	1D (A.R)
5203	1D (A)
5204	1D (A.R)
5205	1D (A)
5206	2B (A)
5207	1D (A)
5208	1D (A.R)
5209	SB (A)
5210	1D (A)
5211	1D (A.R)
5212	SB (A.R)
5213	2B (A)
5214	1D (A)
5301	SC (A)
5302	1D (A.R)
5303	1D (A)
5304	1D (A.R)
5305	1D (A)
5306	2B (A)
5307	1D (A)
5308	1D (A.R)
5309	SB (A)
5310	1D (A)
5311	1D (A) 1D (A.R)
5312	SB (A.R)
5313	2B (A)

UNIT NR:	TYPE
5314	1D (A)
6101	1E (A)
6102	1E (A.R)
6103	1E (A)
6104	1E (A.R)
6105	1E (A)
6106	2C (A)
6201	1E (A)
6202	1E (A.R)
6203	1E (A)
6204	1E (A.R)
6205	1E (A)
6206	2C (A)
6301	1E (A)
6302	1E (A.R)
6303	1E (A)
6304	1E (A.R)
6305	1E (A)
6306	2C (A)

No.

SHEET TITLE ISSUE DATE

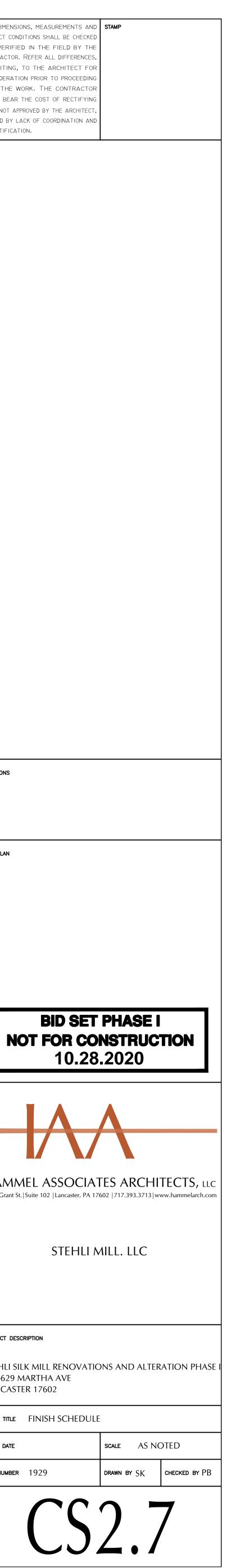
FILE NUMBER 1929

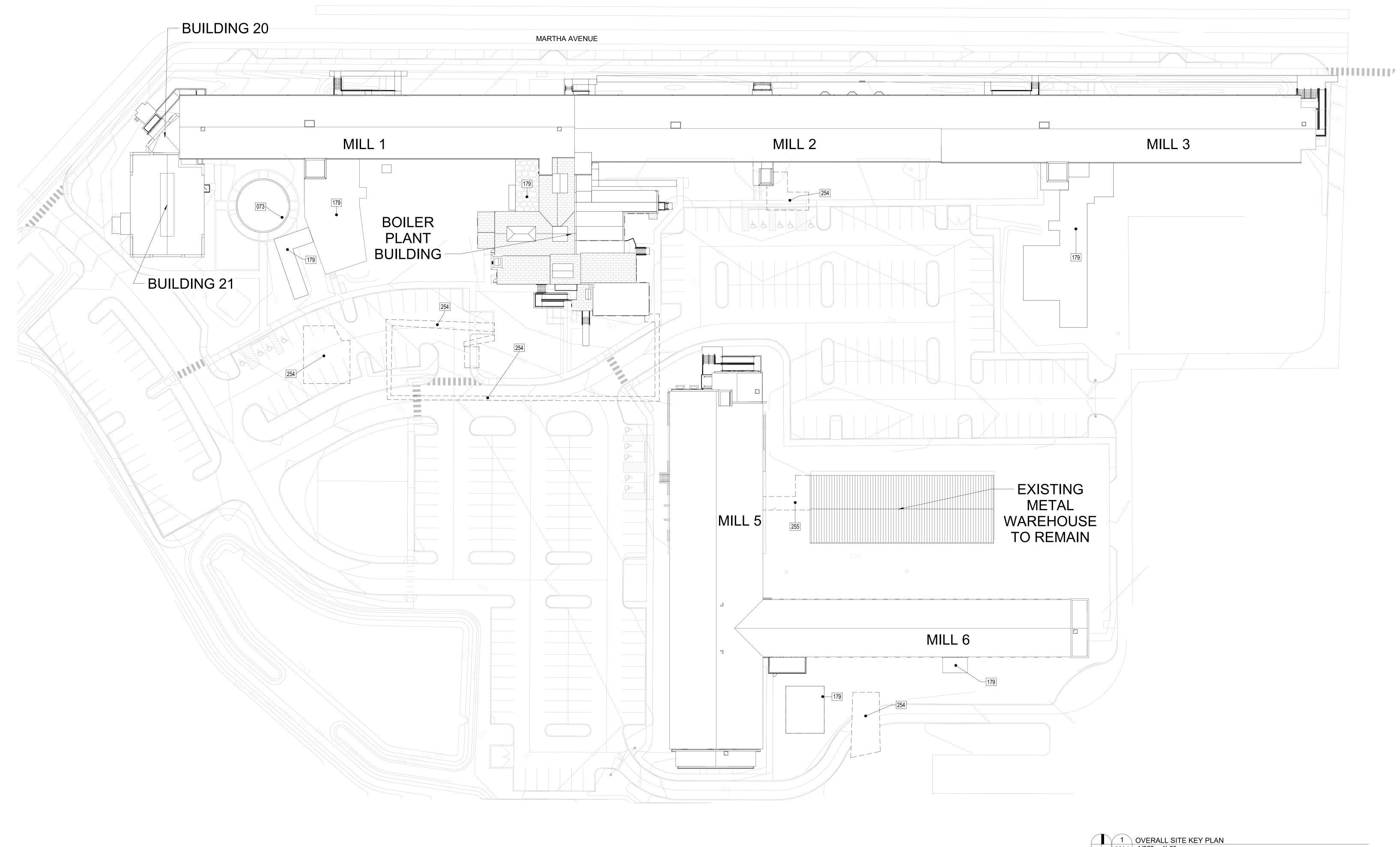


ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

ITEM / LOCATION	STEHLI SILK MILL FIN
<b>04 00 00 - STONE ASSEMBLIES</b> Residential Unit Kitchen Countertops	Black granite - selected by Client
Residential Unit Bathroom Countertops	Black granite - selected by Client
Common Area Kitchen Countertops	Black granite - selected by Client
Common Area Bathroom Countertops	Black granite - selected by Client
<b>06 22 00 - MILLWORK</b> Residential Unit Base Trim	1x5 flat stock
Common Area Base Trim	Provide wood base with dark (black or gunmetal) paint. OK if color is TBD. 1x5 flat stock
<b>07 46 00 - SIDING</b> Decorative metal siding	DMI Metals Flat-Lock (FLPA) Metal Pane color Leaf Green
08 10 00, 09 54 00 - PAINT and FINISH	
Residential Unit Paint 1 (wall)	SW Kinetic Khaki
Residential Unit Paint 1 (ceiling)	White
Residential Unit Paint 2 (wall)	SW Kinetic Khaki
Residential Unit Paint 2 (ceiling)	White
Residential Unit Paint 3 (wall)	SW Kinetic Khaki
Residential Unit Paint 3 (ceiling)	White
Interior Door Faces	SW Kinetic Khaki
Interior Face of Windows	SW Kinetic Khaki
Exposed Floor Support Beams	Exposed Wood
Exposed Floor Decking Underside	Exposed
Window Hardware Interior Door Hardware (kickplates, hinges, closers, handles, etc.)	US10B finish FINISH, Lever Style, Pulls Smart standard hardware OK as propo Schlage - Custom Northbrook Lever wit Upland Trim, Satin Nickel; 4: Square Hin Satin Nickel Entry doors - ADD Schlage - Single Cylir Deadbolt with Collins Trim, Satin Nicke
Exterior Door Hardware (kickplates, hinges, closers, handles, etc.)	FINISH, Lever Style, Pulls Smart standard hardware OK as propos US10B finish
08 11 00 - METAL DOORS AND FRAMES All Doors	Hollow metal w/ rediframe. Door to be unprimed galvanized - insulated. Allow to patina, or will apply clear coat. TRUDOOR - Flush Door
Barn doors within residential units	Client to purchase and provide
Door frames (including interior unit doors and common areas)	Rediframes throughout. <i>Rediflex Adjustable</i>
<b>09 30 00 - TILE</b> Residential Unit Kitchen Backsplash	Lungarno, Carrollton, White Gloss, 4x12 brick pattern
Common Area Kitchen Backsplash	Lungarno, Carrollton, White Gloss, 4x12 brick pattern
Residential Unit Bathroom Floor Residential Unit Bathroom Shower	Karndean Looselay LLP305 Reclaimed H Pine Swanstone subway tile panels acceptab
Common Aroo Dother are Flag	preferred in pieces as opposed to drop i (hard to handle and distribute). Swanstone, Subway Tile, White (010)
Common Area Bathroom Floor	Swanstone pans seems expensive - we request Century select a more affordab and compatible white pan. Coordinate ties in well with our shower wall tile. Sealed concrete, Ameripolish Concrete Sealant
Common Area Bathroom Shower	Swanstone, Subway Tile, White (010)

- T	SELECTIONS			STEHLI SILK MILL FINIS				STEHLI SILK MILL FINIS			PRO. AND
		Track all existing details and source, track with	ITEM / LOCATION	SELECTION	BALL IN COURT	Track all existing details and source, track with	ITEM / LOCATION	SELECTION	BALL IN COURT	Track all existing details and source, track with	h IN W
		italics and strikeout if superseded	09 61 00, 09 64 00, 09 68 00 - FLOORING	<u> </u> i		italics and strikeout if superseded	22 40 00 - PLUMBING FIXTURES			italics and strikeout if superseded	CONS
,		20191024 Unit Review: Granite countertops. 20191205 Precedent	Residential Unit Main	Karndean Looselay LLP305 Reclaimed Heart Pine	t AE/PB	20191024 Unit Review: Polished concrete. Alt: "wood" LVT.	Residential Unit Kitchen Sink Faucets	Kohler - contractor grade.	BY CENTURY	20191205 Precedent Pictures. 20200527 Precedent Pictures. 20200707_Client to	SHAI
		Pictures. 20200527 Precedent Pictures. 20200723: AE Recommendation	Residential Unit Bathroom Floor	Tile Karndean Looselay LLP305 Reclaimed Heart	AE/PB	20200527 Precedent Pictures.	Residential Unit Kitchen Sink Basins	Stainless.	BY CENTURY	provide precedent from RI. 20191024 Unit Review: Undercut sink.	OR N
		20200825: Client rejected, black granite	Common Area Corridor Floor	Pine Refinished Existing Wood	AE/PB					20200527 Precedent Pictures. 20200707_Client to provide precedent	
			Interior Existing Concrete	Sealant Shaw, Portal Tile, 5T035, Black Chocolate,	AE/PB	20200819: AE Recommendation	Common Area Kitchen Sink Faucets	Kohler - contractor grade.	BY CENTURY	from RI. 20191205 Precedent Pictures. 20200527	
	E	20191024 Unit Review: Granite countertops. 20200527 Precedent	Walk-Off Matt	34751, Monolithic Installation	AE	20200819: AE Recommendation 20200825: Basis of Design Intent	Common Area Kitchen Sink Faucets	Konier - contractor grade.	BYCENTORY	Precedent Pictures. 20200707_Client to	
		Pictures. 20200723: AE Recommendation					Common Area Kitchen Sink Basins	Stainless.	BY CENTURY	provide precedent from RI. 20191024 Unit Review: Undercut sink.	-
		20200825: Client rejected, black granite								20200527 Precedent Pictures. 20200707_Client to provide precedent	
	E	20191024 Unit Review: Granite	10 28 00 - BATHROOM ACCESSORIES	Must be from loss - Check 20200527	AF	20200707. Direction from diant 20200527	Residential Unit Bathroom Sink Faucets	Kohler - contractor grade.	BY CENTURY	from RI. 20200527 Precedent Pictures.	
		countertops. 20200527 Precedent Pictures.	Residential Unit Glass Shower Doors	<i>Must be framless.</i> Check 20200527 Precedent pictures.	AE	20200707: Direction from client. 20200527 Precedent Pictures.				20200707_Client to provide precedent from RI.	
		<i>20200723: AE Recommendation</i> 20200825: Client rejected, black granite	Residential Unit Towel Bars	Cardinal TruFit Series Allied Brass - Pipeline Collection, Satin Nicke	/ AE	20200813: Client Selection 20200527 Precedent Pictures.	Residential Unit Bathroom Sink Basins		BY CENTURY	20191024 Unit Review: Undercut sink. 20200527 Precedent Pictures.	
	F	20191024 Unit Review: Granite		SKU: P-200-18-TB-SN		20200723: AE Recommendation 20200825: Basis of Design Intent	Residential Unit Bathroom Shower Controls	Kohler - contractor grade.	BY CENTURY	20200527 Precedent Pictures. 20200707_Client to provide precedent	
	L	countertops. 20200527 Precedent	Residential Unit Mirrors	Usher Wood Framed Cottage Accent Mirror	AE	20200805: AE Recommendation 20200825: Basis of Design Intent		Kablan, as utvastan avada		from RI. 20200527 Precedent Pictures.	
		Pictures. 20200723: AE Recommendation	Residential Unit Grab Bars	Allied Brass - Pipeline Collection, Satin Nicke	/ AE	20200527 Precedent Pictures. 20200723: AE Recommendation	Drains	Kohler - contractor grade.	BY CENTURY	20200707_Client to provide precedent	
		20200825: Client rejected, black granite	Common Area Towel Bars	Show on plan for blocking purposes, but	ΔF	20200825: Basis of Design Intent 20200707: Direction from client.	Residential Unit Bathroom Toilets	Kohler - contractor grade.	BY CENTURY	from RI. 20200527 Precedent Pictures.	-
Т	E/PB	20200715: AE Recommendation		note as to be provided by owner. Allied Brass - Pipeline Collection, Satin		20200723: AE Recommendation 20200825: Basis of Design Intent				20200707_Client to provide precedent from RI.	
	Е/РВ	20200825: Client rejected, no reveal 20200715: AE Recommendation	Common Area Mirrors	Show on plan for blocking purposes, but	AE	20200707: Direction from client.	Common Area Bathroom Sink Faucets		BY CENTURY	20200527 Precedent Pictures. 20200707_Client to provide precedent	
	L/FD	20200825: Client rejected, no reveal		note as to be provided by owner. Allied Brass - Pipeline Collection, Satin		20200723: AE Recommendation 20200825: Basis of Design Intent	Common Area Bathroom Sink Basins		BY CENTURY	from RI. 20191024 Unit Review: Undercut sink.	
			Common Area Grab Bars	Nickel Show on plan for blocking purposes, but	ΔF	20200707: Direction from client.				20200527 Precedent Pictures. 20200707_Client to provide precedent	
ſ	В	20190211 Project Review: Metal siding to		note as to be provided by owner. Allied Brass - Pipeline Collection, Satin		20200707: Direction from client. 20200723: AE Recommendation 20200825: Basis of Design Intent	Common Area Bathroom Shower	Kohler - contractor grade.	BY CENTURY	from RI. 20200527 Precedent Pictures.	-
		match flat seamed fire doors. 20200616 Client review. Dark green color.		Allied Brass - Pipeline Collection, Satin Nickel		בסבסססביש. שעאוג טן שפאונוו ווונפחנ	Common Area Bathroom Shower Controls	Komer - contractor grade.		20200707_Client to provide precedent	
			10 50 00 - STORAGE SPECIALTIES Lockers	Finish/color: Storage wil	// AE	20200527 Precedent Pictures. 20200707:		Kohler - contractor grade.	BY CENTURY	from RI. 20200527 Precedent Pictures.	
Ţ	E	20200805: AE Recommendation		be via shelves or other furnishing/cube by owner.		Direction from client; Basis of Design Intent	Drains			20200707_Client to provide precedent from RI.	
	E	20200826: Per Larry's email 20200805: AE Recommendation		Standard Amazon Lockers, final size and door layout TBD			Common Area Bathroom Toilets	Kohler - contractor grade.	BY CENTURY	20200527 Precedent Pictures. 20200707_Client to provide precedent	
ļ	E	20200826: Per Larry's email 20200805: AE Recommendation	<b>11 30 00 - RESIDENTIAL EQUIPMENT (II</b> Residential Kitchen Appliances	NCLUDING HERE FOR MANAGEMENT OFFICE K Stainless. No water hookup for	AE	20191024 Unit Review: Provide hood	Common Area Bathroom Urinals	Kohler - contractor grade.	BY CENTURY	from RI. 20200527 Precedent Pictures.	
	- F	20200826: Per Larry's email 20200805: AE Recommendation		refrigerators.		over range with exhaust. 20191205 Precedent Pictures. 20200527 Precedent				20200707_Client to provide precedent from RI.	
	с Г	20200826: Per Larry's email 20200805: AE Recommendation		Dishwasher: GDT530PSPSS		Pictures.	Janitor Closet Sinks <b>23 00 00 - HVAC</b>		BY CENTURY		
	с 	20200826: Per Larry's email		Refrigerator: GTS17GSNRSS Hood: JVW5301SJSS		20200727: AE Recommendation 20200825: Client rejected, \$3,500-4,000	Registers		BY CENTURY		
,	E	20200805: AE Recommendation 20200826: Per Larry's email		Range: JBS60RKSS		for all 4 appliances; new recommendations	Diffusers Returns		BY CENTURY BY CENTURY		
	E	20200805: AE Recommendation 20200826: Per Larry's email	Residential Laundry Appliances	Stainless	AE	20200826: Basis of Design Intent20191024 Unit Review: Stack these units	26 50 00 - LIGHTING FIXTURES Interior				-
	E	20200805: AE Recommendation 20200826: Per Larry's email		<i>LG</i> : WM3499HVA		wherever possible. Ventless. 20200727: AE Recommendation	Corridor Unit Entry Sconce Corridor Main Fixture	Pendants by Hi-Lite	BY CENTURY BY CENTURY	20200707: Direction from client.	-
	E	20200805: AE Recommendation 20200826: Per Larry's email	Commercial Laundry Appliances	WhirlPool: CHW9150GW; CED9150GW	AE	20200727: AE Recommendation 20200825: Basis of Design Intent		Switched rough-in only.	BY CENTURY	20200527 Precedent Pictures. 20200707: Direction from client.	
	E	20200805: AE Recommendation 20200826: Per Larry's email	12 20 00 - WINDOW TREATMENTS	Shades at minimum. Provide rod and		20200805: AE Recommendation	Residential Unit Kitchen Pendant	Concerned kitchen configurations force too many goosenecks in certain conditions, will	BY CENTURY	20191127 Unit Review: Can be track light instead of pendants. 20191205	
T	<b>D</b>		Residential Unit Window Treatments	brackets.	AE	20200805: AE Recommendation 20200825: Basis of Design Intent		proceed with simple modern track lights as		Precedent Pictures. 20200707: Direction	REVI
ļ	e E	20191024 Unit Review:		Levolor: Cellular Shades, Light Filtering ES, Light Gray - 19E70343				a better solution for wall lighting and possible island mobile piece. We cn also		from client.	
		Minimize/eliminate hardware wherever possible. 20200527 Precedent Pictures.	Common Area Window Treatments	Levolor: Cellular Shades, Light Filtering ES, Light Gray - 19E70343	AE	20200805: AE Recommendation 20200825: Basis of Design Intent	Residential Unit Bedroom Lighting	identify as owner provided if need be. Lamps served by switched receptacle.	BY CENTURY	20200707: Direction from client.	
		<i>20200707: Direction from client.</i> 20200717: AE Recommendation	<b>12 30 00, CABINETRY</b> Residential Unit Kitchen Cabinetry	Aristokraft, Ellis, PureStyle, White	AE/PB	20191024 Unit Review: Minimize	Residential Unit Bathroom Sconce Residential Unit Bathroom Main		BY CENTURY BY CENTURY		
		20200825: Client changed finish; all unit entry doors to include seals, thresholds,				cabinetry as much as possible to maximize open space. Focus on open	Residential Unit Bathroom Fan Ceiling fans	Provide rough-in only at living room and	BY CENTURY BY CENTURY	20200707: Direction from client.	- KEY
		sweeps, closers, gaskets to ensure ideal acoustical performance				shelving. 20191205 Unit Review: Provide open cab for microwave. 20191205	-	bedrooms. May offer as option - light or	DICENTON		
						Precedent Pictures. 20200527 Precedent	Cafeteria Main Fixture	fan or fan/light combo.	BY CENTURY		
I	er window/door manu	20200707: Direction from client.				Pictures. 20200727: AE Recommendation	Cafeteria Accent Fixture Cafeteria Pendant Fixture		BY CENTURY BY CENTURY		-
			Residential Unit Shelves	Slab w/ metal straps (inspiration picture)	AE/PB	20200825: Basis of Design Intent 20200825: Basis of Design Intent	Tenant Services Main Fixture Tenant Services Accent Fixture 1		BY CENTURY BY CENTURY		
l			Common Area Kitchen Cabinetry	Aristokraft, Ellis, PureStyle, White	AE/PB	20200727: AE Recommendation 20200825: Basis of Design Intent	Tenant Services Accent Fixture 2 Tenant Services Pendant Fixture		BY CENTURY BY CENTURY		_
	E	20200707: Direction from client. 20200717: AE Recommendation	Residential Unit Bathroom Cabinetry	Aristokraft, Ellis, PureStyle, White	AE/PB	20200527 Precedent Pictures. 20200727: AE Recommendation	Utility Fixture 1 Utility Fixture 2		BY CENTURY BE CENTURY		
		20200825: Client rejected, flush door	Common Area Bathroom Cabinetry	Aristokraft, Ellis, PureStyle, White	AE/PB	20200825: Basis of Design Intent 20200727: AE Recommendation	<b>Exterior</b> Main Sconce		BY CENTURY	20190211 Project Review: Cylindrical - to	
ļ	E	20200707: Direction from client.	Hardware	Martell Hardware, Elements, Stanton	AE	20200825: Basis of Design Intent 20200825: Basis of Design Intent				be mounted between first and second floor. Up and down light.	
ľ	-	20200715: AE Recommendation 20200826: Per Larry's email	12 90 00 - OTHER FURNISHINGS	Series, Satin Nickel Finish			Accent Light 1		BY CENTURY		_
		Locoolori er Larry S Cillali	Bicycle Racks				Accent Light 2 Small Stehli Silk Letters		BY CENTURY BY CENTURY		<u> </u>
	E	20200707: Direction from client.	Trash and Litter Manufactured Planters		BY RETTEW BY RETTEW		Large Stehli Silk Letters Walkway Lighting		BY CENTURY BY CENTURY		1
		20200717: AE Recommendation 20200825: Basis of Design Intent	Site Seating and Tables 13 10 00 - SPECIAL FACILITY COMPONE	I INTS	BY RETTEW	I	Parking Lot Lighting SPECIALTY and MISCELLANEOUS ITEMS		BY CENTURY	I	┤╽╿
ſ	E	20191024 Unit Review: Swanstone used	Exterior Fountains 14 20 00 - ELEVATOR FINISHES		BY RETTEW		Electrical Outlet Covers Light Switchplates	Color: WHITE Color: WHITE	BY CENTURY BE CENTURY	20200709: Direction from client. 20200709: Direction from client.	
ĺ		here too (to match at bathrooms)? Backsplash rises to encompass extent of	Wall Finish	Raised Steel Rigidized Stainless Steel	AE	20200819: Client Selection 20200819: AE Recommendation					-
		shelves.	Handrail	Flat Handrail - Satin Stainless Steel	AE	20200825: Basis of Design Intent					H
		20200805: AE Recommendation 20200826: Per Larry's email, they want	Ceiling	6-LED Drop Ceiling - Stainless Steel	AE	20200819: AE Recommendation 20200825: Basis of Design Intent					25 E
		tile 20191024 Unit Review: Swanstone used	Door Type	Center Opening - Satin Stainless	AE	20200819: AE Recommendation 20200825: Basis of Design Intent					
		here too (to match at bathrooms)? Backsplash rises to encompass extent of	Door Opening	Front Opening	AE	20200819: AE Recommendation 20200825: Basis of Design Intent					
		shelves. 20200805: AE Recommendation	Car Fixtures	Fixtures - Luxury Swing	AE	20200819: AE Recommendation 20200825: Basis of Design Intent					
		20200826: Per Larry's email, they want tile	Hall Fixture	Integrated in Frame - Hall Button and Position Indicator - Satin Stainless	AE	20200819: AE Recommendation 20200825: Basis of Design Intent					
,	E	20200527 Precedent Pictures.	Entrance Finish	Steel - Satin Stainless Steel	AE	20200819: AE Recommendation 20200825: Basis of Design Intent					
ļ	E	20191024 Unit Review: Swanstone 'subway tile' insets at showers.	<u> </u>		•						
ĺ		20200707: Direction from client.									PRO
		20200805: AE Recommendation 20200825: Basis of Design Intent									STI
ļ	E BY CENTURY	20200527 Precedent Pictures. <i>20200707:</i> <i>Direction from client.</i>									61 <sup>.</sup> LA
											SHE
1		20191024 Unit Review: Swanstone									ISSU
		'subway tile' insets at showers. 20200527 Precedent Pictures.									FILE
		20200805: AE Recommendation									
		20200825: Basis of Design Intent									





KEYNOTE LEGEND				
Key Value	Keynote Text			
073	EXISTING CISTERN TO BE REPAIRED AND REPURPOSED FOR STORAGE OF IRRIGATION WATER (NON POTABLE), BY CONTRACTOR.			
179	APPROXIMATE EXTENTS OF EXISTING SITE CONCRETE TO REMAIN, REPAIR AS NECESSARY, BY CONTRACTOR. REFER TO CIVIL DOCUMENTS.			
254	APPROXIMATE EXTENTS OF EXISTING SITE CONCRETE TO BE REMOVED, BY CONTRACTOR. REVER TO CIVIL DOCUMENTS.			
255	EXISTING CONNECTION POINT BETWEEN MILL 5 AND EXISTING METAL WAREHOUSE TO BE DEMOLISHED. INFILL NEWLY CREATED HOLE AT EXISTING METAL WAREHOUSE TO REMAIN, BY CONTRACTOR. THAT IS NOT IN THIS PROJECT SCOPE.			

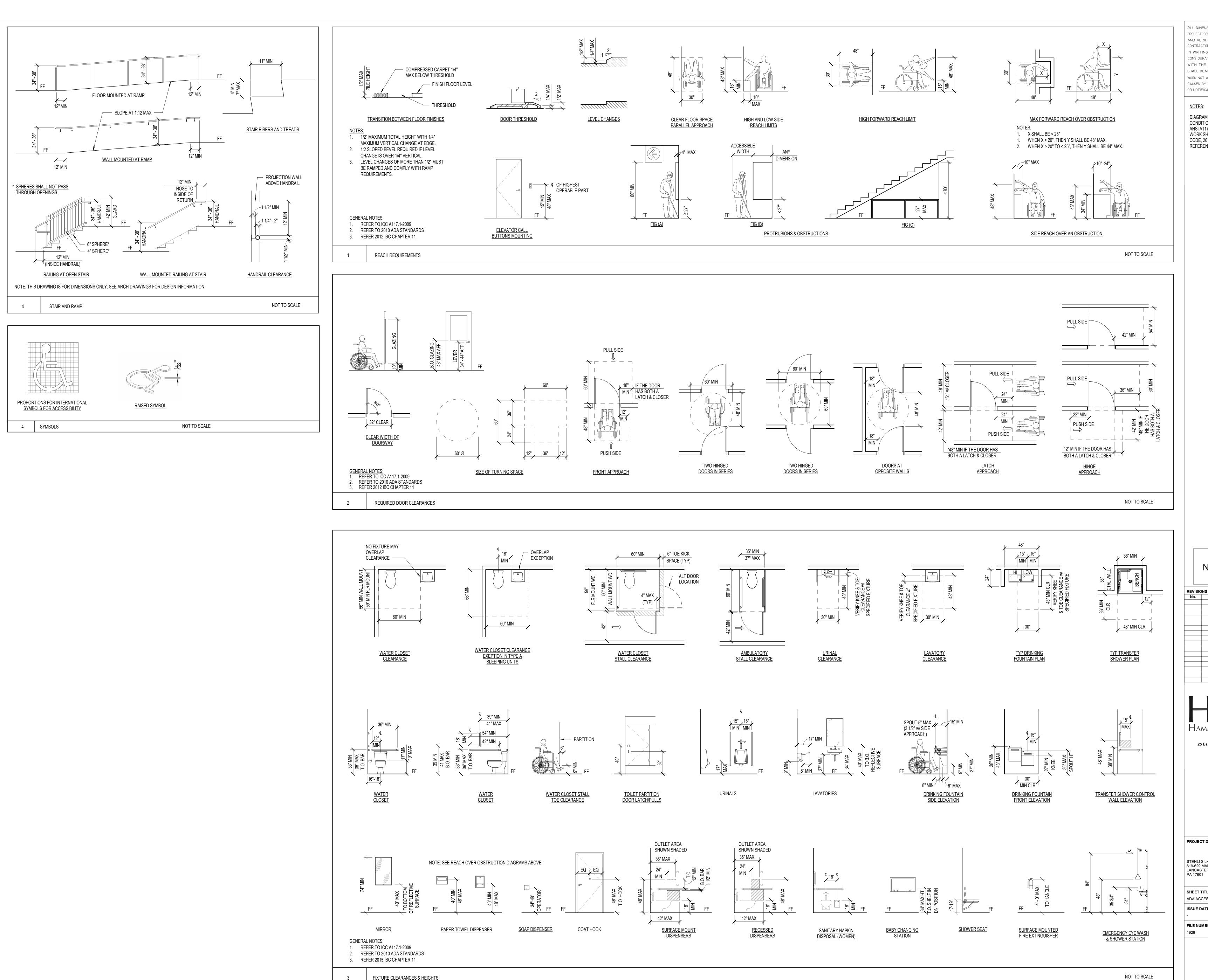
1 OVERALL SITE KEY PLAN CS2.8 1/32" = 1'-0"

	ALL DIMENSIONS, MEASUREMENTS AND	STAMP
	PROJECT CONDITIONS SHALL BE CHECKED	
	AND VERIFIED IN THE FIELD BY THE	
	CONTRACTOR. REFER ALL DIFFERENCES,	
	IN WRITING, TO THE ARCHITECT FOR	
	CONSIDERATION PRIOR TO PROCEEDING	
	WITH THE WORK. THE CONTRACTOR	
	SHALL BEAR THE COST OF RECTIFYING	
	WORK NOT APPROVED BY THE ARCHITECT,	
	CAUSED BY LACK OF COORDINATION AND	
	OR NOTIFICATION.	
I		

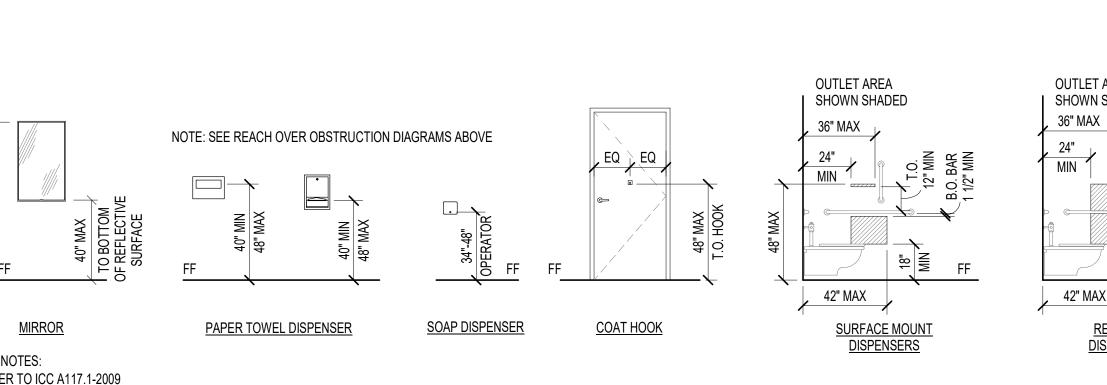
GENERAL NOTES FOR OVERALL SITE PLAN LOCATIONS OF EXISTING ELEMENTS THROUGHOUT SITE ARE APPROXIMATE, VIF.
 REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.



No.







FIXTURE CLEARANCES & HEIGHTS

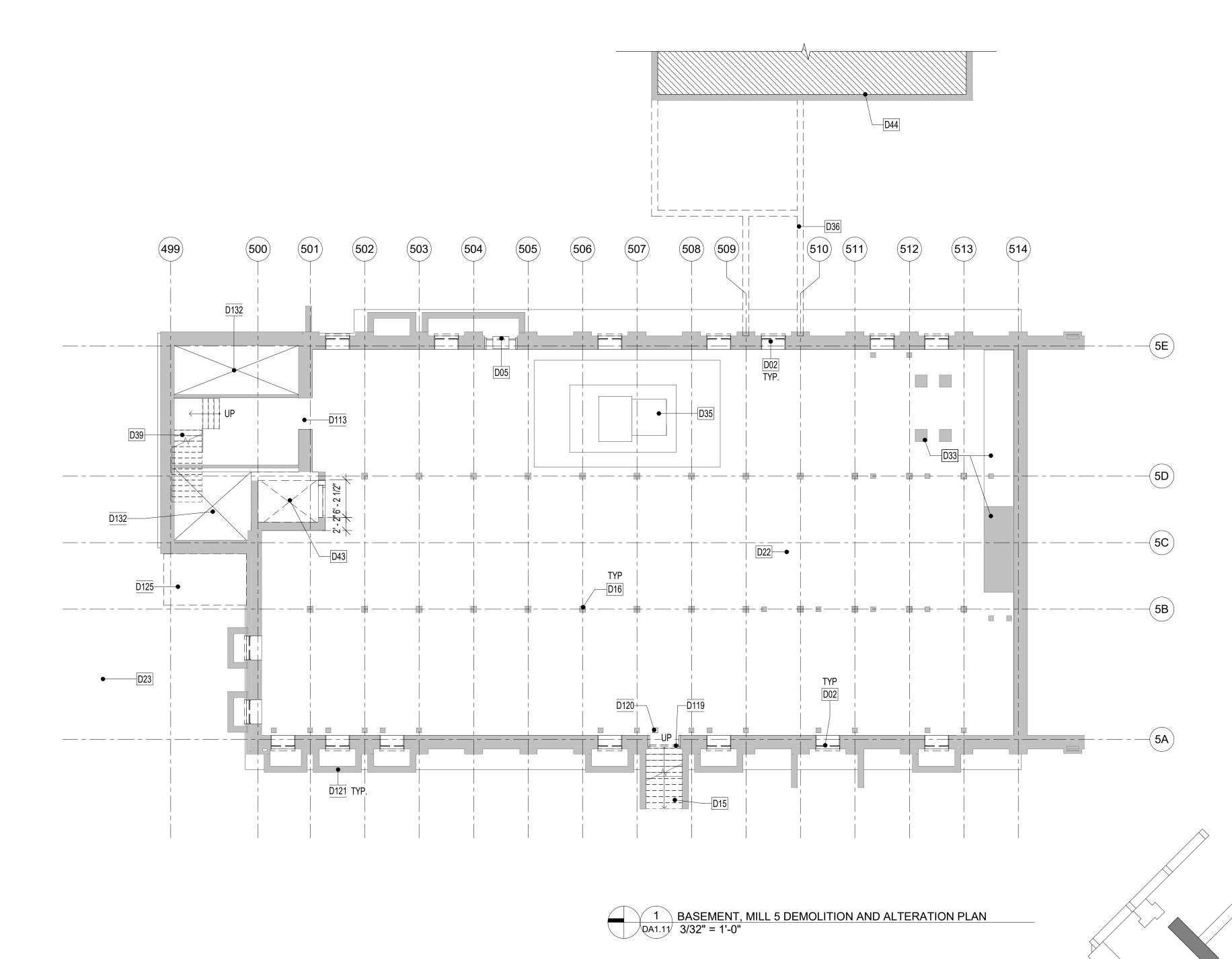
NSIONS, MEASUREMENTS AND	STAMP
CONDITIONS SHALL BE CHECKED	
IFIED IN THE FIELD BY THE	
OR. REFER ALL DIFFERENCES,	
NG, TO THE ARCHITECT FOR	
ATION PRIOR TO PROCEEDING	
E WORK. THE CONTRACTOR	
AR THE COST OF RECTIFYING	
APPROVED BY THE ARCHITECT,	
Y LACK OF COORDINATION AND	
CATION.	

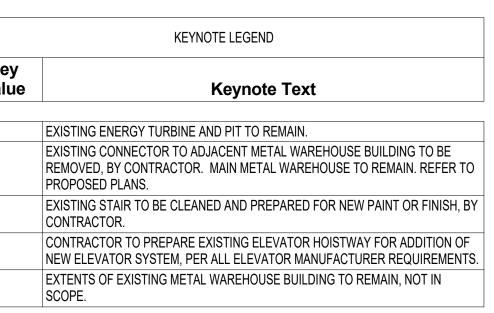
DIAGRAMS ON THIS SHEET ARE FOR REFERENCE ONLY. ALL POSSIBLE CONDITIONS OR CONFIGURATIONS ARE NOT REPRESENTED. REFER TO ANSI A117.1-2009 FOR THE COMPREHENSIVE ACCESSIBILTY CODE. ALL WORK SHALL COMPLY WITH 2015 INTERNATIONAL EXISTING BUILDING CODE, 2015 IBC CHAPTER 11 AND APPENDIX E, ANSI A117.1-2009, AND ANY REFERENCED STANDARDS, AS WELL AS ALL LOCAL CODES.

## BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

3 		
Descriptio	on	Date
A	es Arch	
	ster, PA 17602 Pho	one: 717 393-3713
ISTEHLIN	ster, PA 17602 Pho	one: 717 393-3713
ISTEHLIN STEHLIN DESCRIPTION K MILL RENOVATIONS AND A RTHA AVE	ster, PA 17602 Pho	one: 717 393-3713
MEL ASSOCIAT ast Grant St, Suite 102, Lancas STEHLIN DESCRIPTION K MILL RENOVATIONS AND A RTHA AVE R,	STERNER AND STATES	one: 717 393-3713
ISTEHLIN STEHLIN DESCRIPTION K MILL RENOVATIONS AND A RTHA AVE R,	STERNER AND STATES	one: 717 393-3713
ISTERICIAN STERIOR STERIOR STERIOR STERIOR STERIOR AND A RTHA AVE R,	STERNER SCALE	one: 717 393-3713

	KEYNOTE LEGEND			
Key Value	Keynote Text	Key Value		
		D35	$\neg$	
D02	REMOVE EXISTING WINDOW AND PREPARE OPENING FOR NEW WINDOW INSTALLATION, BY CONTRACTOR. REFER TO PROPOSED DETAILS.	D36		
D05	REMOVE EXISTING OVERHEAD DOOR AND FRAME, BY CONTRACTOR. PREPARE OPENING FOR NEW WINDOWS, REFER TO PROPOSED DETAILS.	D39		
D15	EXISTING STAIR TO REMAIN.			
D16	EXISTING WD COLUMN TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS.	D43	1	
D22	CONCRETE FLOORING TO BE CLEANED AND BE PREPARED TO BE SEALED, BY			
	CONTRACTOR.	D44		
D23	SEE CIVIL DRAWINGS FOR DEMOLITION AND ALTERATION OF EXISTING SITE COMPONENTS.			
D33	EXISTING STRUCTURE TO BE CLEANED AND TO REMAIN, BY CONTRACTOR.			





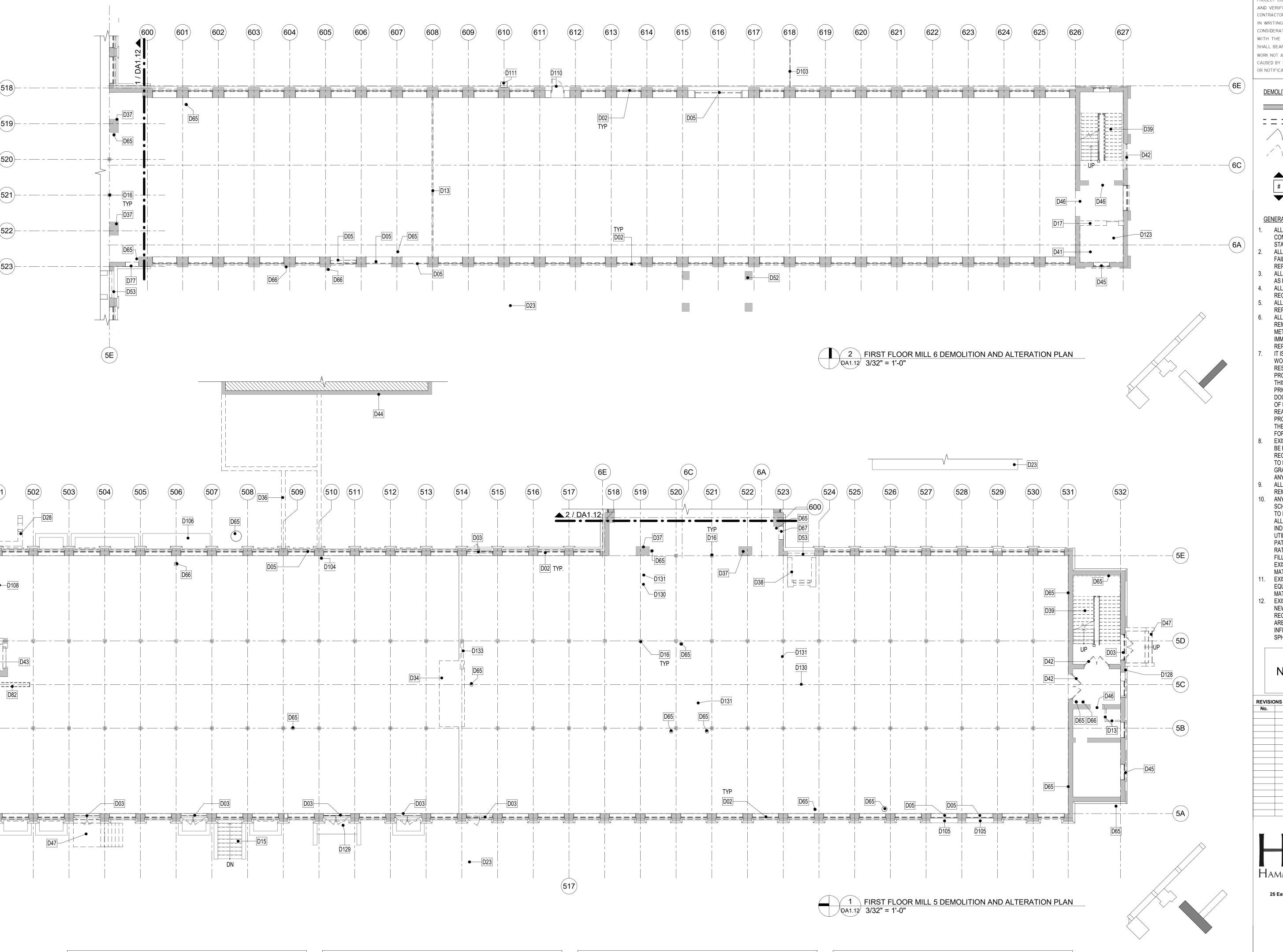
KEYNOTE LEGEND					
Key Value	Keynote Text				
D113	EXISTING OPENING TO REMAIN.				
D119	EXISTING DOOR TO BE REMOVED BY CONTRACTOR. CONTRACTOR TO PREPARE TO CONVERT TO PASSAGEWAY, REFER TO PROPOSED PLANS.				
D120	EXISTING WOOD COLUMN TO BE REMOVED, BY CONTRACTOR.				
D121	EXISTING WINDOW WELL TO REMAIN, TYP.				
D125	EXISTING OUTDOOR AREA TO BE PREPARED FOR NEW ELEMENT, BY CONTRACTOR. REFER TO CIVIL DOCUMENTS.				
D132	EXISTING INACCESSIBLE SPACE TO REMAIN.				

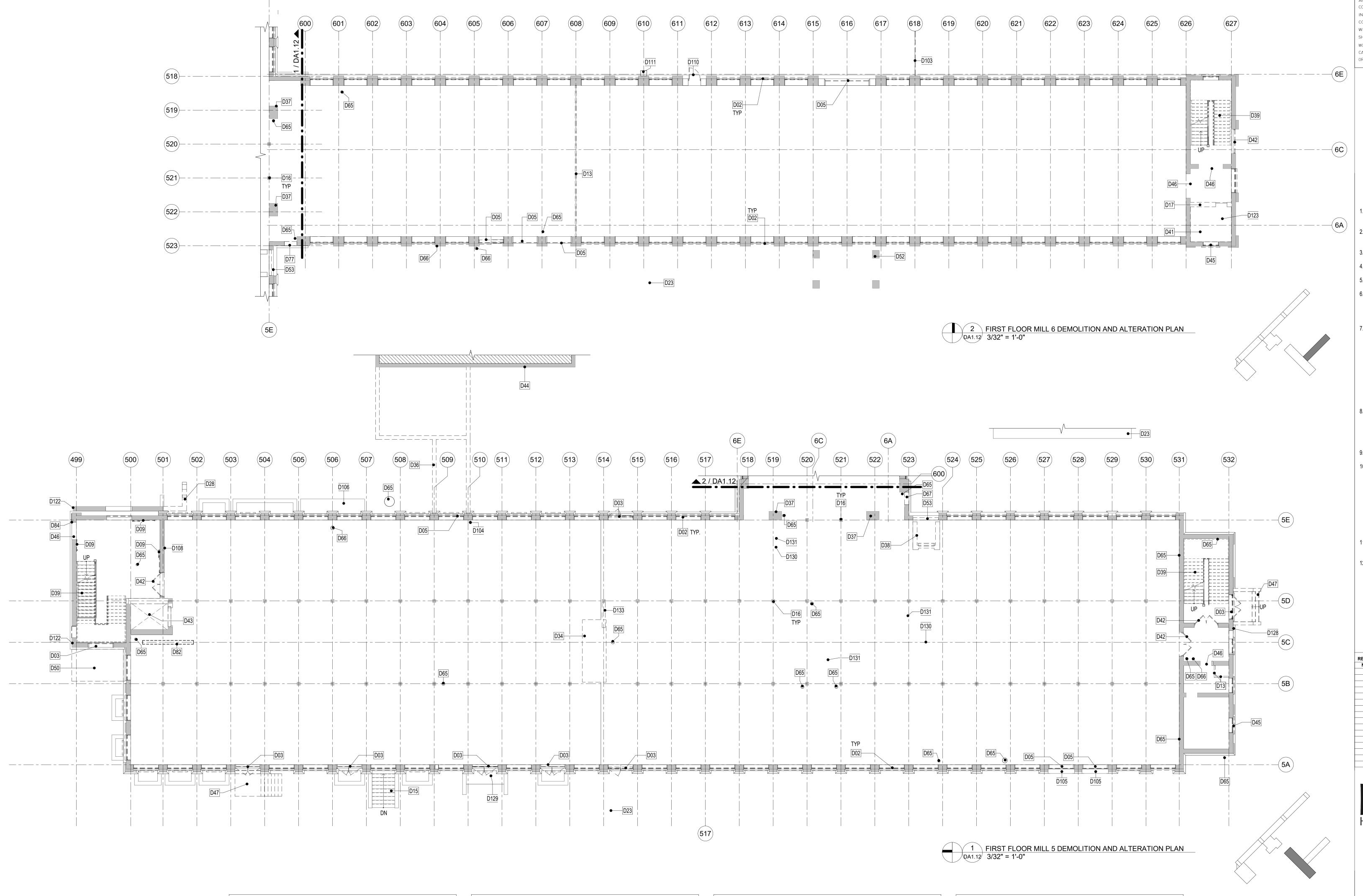
STEHLI SIL 619-629 MA LANCASTE PA 17601

**FILE NUMBI** 1929

DA1.11

PROJECT CO AND VERIF CONTRACTOF IN WRITING CONSIDERA WITH THE SHALL BEAF WORK NOT A CAUSED BY OR NOTIFICA		STAMP			
	ON & ALTERATION LEGENI	_			
= = =	EXISTING CONSTRUCT		HED		
	EXIST DOOR TO REMA	IN			
	EXIST DOOR TO BE FU SEE KEYNOTES FOR N				
	NOTE APPLIES TO CEI				
#	DEMOLITION / ALTERA				
	NOTE APPLIES TO FLC	OR			
1. ALL C CONI STAR 2. ALL C	<u>DEMOLITION &amp; ALTERATION</u> DIMENSIONS ARE APPROXI DITIONS IN FIELD PRIOR TO TOF WORK. DAMAGED, CRACKED, DELA NG BRICK TO BE REMOVED	MATE. VERIFY DIMEN ) SUBMITTING BID AN MINATED, LOOSE OF	D COMMENCING OTHERWISE		
3. ALL S AS RI 4. ALL C REQU 5. ALL E REPL	ACEMENT WITH NEW BRIC ACEMENT WITH NEW BRIC STONE FOUNDATION WORF EQUIRED TO MATCH EXIST CRACKED/DAMAGED EXIST JIRED TO BE MADE WATER EXISTING ROOFING TO REM ACEMENT OR PATCHING A EXISTING STAR BOLTS AND	CK AND MORTAR TO N TO REMAIN. PATCH ING. ING CONCRETE TO B PROOF/MATCH EXIS IAIN. AREAS REQUIR RE TO MATCH EXIST	IATCH EXISTING. AND MORTAR E PATCHED AS TING. ING NG.		
META IMME REPA	AIN. NO SCRAPING OR PAI AL STAR BOLTS OR ROOF E DIATELY IF INDIVIDUAL CO AIR. THE INTENT OF THIS PROJ	BEAM TIES. NOTIFY AF NDITIONS NEED REH	RCHITECT ABILITATION OR		
WOO REST PRO\ THIS PRIO DOCI OF R REAS	D WINDOWS DOORS, TRAI ORED AND REPAIRED IN A /IDED IN THESE DOCUMEN SCOPE SHALL SURVEY AN R TO SUBMITTING BIDS. C JMENTATION OF EXISTING EHABILITATION OF EACH C SONABLY BEYOND REPAIR POSALS SHALL STATE JUS	NSOMS AND SIDELIGH CCORDANCE WITH T TS. SUBCONTRACTO D REVIEW ALL EXIST OST PROPOSALS MU CONDITIONS AND PR PENING. IF ANY OPE AND REQUIRES REPL	ITS ARE TO BE HE GUIDELINES ORS RELATED TO NG CONDITIONS ST INCLUDE COPOSED SCOPE NING IS ACEMENT,		
THEII FOR 8. EXIS <sup>-</sup> BE PI RECE TO B	R COST PROPOSAL. EXIST OPERATING WINDOWS AT TING COLUMNS TO REMAIN ERFORMED ON COLUMNS. ENTERED. CRACKED COLL E PATCHED WITH BONDO \	ING INTERIOR SYSTE MONITORS TO REMA I. NO SCRAPING OR I COLUMNS OFF THEI IMNS WITH CROSS SI VOOD FILLER WITH M	M REMNANTS IN. PAINTING IS TO R BASES TO BE ECTION MISSING IATCHING WOOD		
ANY I 9. ALL E	N. APPLY MATTE CLEAR C REQUIRED PATCHING IS CO EXISTING BATHROOMS, PLU	OMPLETE.			
REMO 10. ANY I	OVED. PLUMBING, ELECTRICAL OI	R MECHANICAL EQUI	PMENT		
TO R	EDULE TO BE REMOVED TH EMAIN, ARE TO BE REMOV WS FOR THE CONTINUOUS	ED AND TIED OFF IN A	A MANNER THAT		
INDIC UTILI	CATED ON MEP DRAWINGS TIES, CONDUIT OR PIPING	. ANY LOCATION WHI ARE TO BE REMOVED	ERE EXISTING IS TO BE		
PATC RATII	CHED WITH MATERIAL TO M NG. INFILL IN BRICK OR ST	IATCH EXISTING IN FI ONE WALLS WHICH (	NISH AND FIRE ANNOT BE		
EXIS	ED WITH BRICKS MUST BE F TING. ANY INFILL IN WOOD CH EXISTING.	-			
11. EXIS	CH EXISTING. TING OVERHEAD PIPING, C PMENT TO BE REMOVED A				
12. MATO 12. EXIS NEW REQU ARE	CH ADJACENT ASSEMBLY. TING INTERIOR STAIRS TO FINISH. PATCH EXISTING I JIRED FOR CONTINUOUS F BELOW EXISTING HANDRA LED WITH MATERIAL THAT	REMAIN. CLEAN AND PLASTER CEILINGS A IRE RATING. IF EXIST ILS, THESE AREAS AF	PREPARE FOR BOVE STAIRS AS TING WINDOWS RE TO BE		
	BID SET	PHASE II	TION		
	10.28	2020			
REVISIONS No.	Descripti	on	Date		
$\mathbf{H}$	HА				
	MEL ASSOCIAT st Grant St, Suite 102, Lanca				
STEHLI MILL, LLC					
PROJECT DESCRIPTION					
PROJECT D	ESCRIPTION				
	( MILL RENOVATIONS AND / RTHA AVE	ALTERATIONS			
STEHLI SILF 619-629 MAI LANCASTEF PA 17601 SHEET TITL	K MILL RENOVATIONS AND A RTHA AVE R, E				
STEHLI SILF 619-629 MAI LANCASTEF PA 17601 SHEET TITL	K MILL RENOVATIONS AND A RTHA AVE R, <b>E</b> N & ALTERATION PLAN BAS				
STEHLI SILI 619-629 MAI LANCASTEF PA 17601 SHEET TITL DEMOLITIO	K MILL RENOVATIONS AND A RTHA AVE R, B R & ALTERATION PLAN BAS	EMENT MILL 5	CHECKED BY		





	KEYNOTE LEGEND	KEYNOTE LEGEND		
Key Value	Keynote Text	Key Value	Keynote Text	
D02	REMOVE EXISTING WINDOW AND PREPARE OPENING FOR NEW WINDOW	D37	EXISTING BRICK PIER TO REMAIN AND BE REPAIRED AS REQUIRED, BY CONTRACTOR.	
D03	INSTALLATION, BY CONTRACTOR. REFER TO PROPOSED DETAILS. EXISTING DOOR TO BE RESTORED AND REPAIRED, BY CONTRACTOR.	D38	EXISTING ELEVATOR SHAFT TO BE DEMOLISHED, BY CONTRACTOR. REPAIR FLOOR IN OPENING LEFT BEHIND.	
D05	REMOVE EXISTING OVERHEAD DOOR AND FRAME, BY CONTRACTOR. PREPARE OPENING FOR NEW WINDOWS, REFER TO PROPOSED DETAILS.	D39	EXISTING STAIR TO BE CLEANED AND PREPARED FOR NEW PAINT OR FINISH, BY CONTRACTOR.	
D09 EXISTING SLIDING FIRE DOOR TO BE CAREFULLY REMOVED, TEMPORARILY STORED AND SALVAGED TO BE REUSED INCLUDING ALL HARDWARE AND PARTS, ALL BY		D41	PREPARE FOR NEW ELEVATOR PIT, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS. REFER TO PROPOSED PLANS.	
D13	CONTRACTOR. EXISTING WALL TO BE REMOVED, BY CONTRACTOR.	D42	EXISTING DOOR TO BE REMOVED, BY CONTRACTOR. PREPARE OPENING FOR NEW DOOR/WINDOW, REFER TO PROPOSED DETAILS.	
D15	EXISTING WALL TO BE REMOVED, BT CONTRACTOR.	D43	CONTRACTOR TO PREPARE EXISTING ELEVATOR HOISTWAY FOR ADDITION OF NEW	
D16	EXISTING WD COLUMN TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS.	040	ELEVATOR SYSTEM, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS.	
D17	EXSTING WALL TO BE DEMOLISHED, BY CONTRACTOR. CLEAN AND PREPARE	D44	EXTENTS OF EXISTING METAL WAREHOUSE BUILDING TO REMAIN, NOT IN SCOPE.	
	OPENING.	D45	EXISTING WINDOW TO BE REMOVED, BY CONTRACTOR. PREPARE WALL FOR INFILL,	
D23	SEE CIVIL DRAWINGS FOR DEMOLITION AND ALTERATION OF EXISTING SITE		REFER TO PROPOSED DETAILS.	
	COMPONENTS.	D46	EXISTING OPENING. SEE PROPOSED PLANS FOR INFILL, BY CONTRACTOR.	
D28	PORTION OF EXISTING WALL TO BE REMOVED, BY CONTRACTOR.	D47	EXISTING STAIRS TO BE REMOVED IN ENTIRETY, BY CONTRACTOR.	
D34	EXISTING DEACTIVATED BRICK CHIMNEY TO BE REMOVED, BY CONTRACTOR.	D50	CONTRACTOR TO PREPARE FOR ADDITION OF NEW ENTRY STAIRS AND RAMP, REFER	
D36	EXISTING CONNECTOR TO ADJACENT METAL WAREHOUSE BUILDING TO BE REMOVED, BY CONTRACTOR. MAIN METAL WAREHOUSE TO REMAIN. REFER TO PROPOSED PLANS.		TO PROPOSED PLANS. EXISTING CONCRETE LANDING TO REMAIN. PATCH AS NECESSARY, BY CONTRACTOR.	

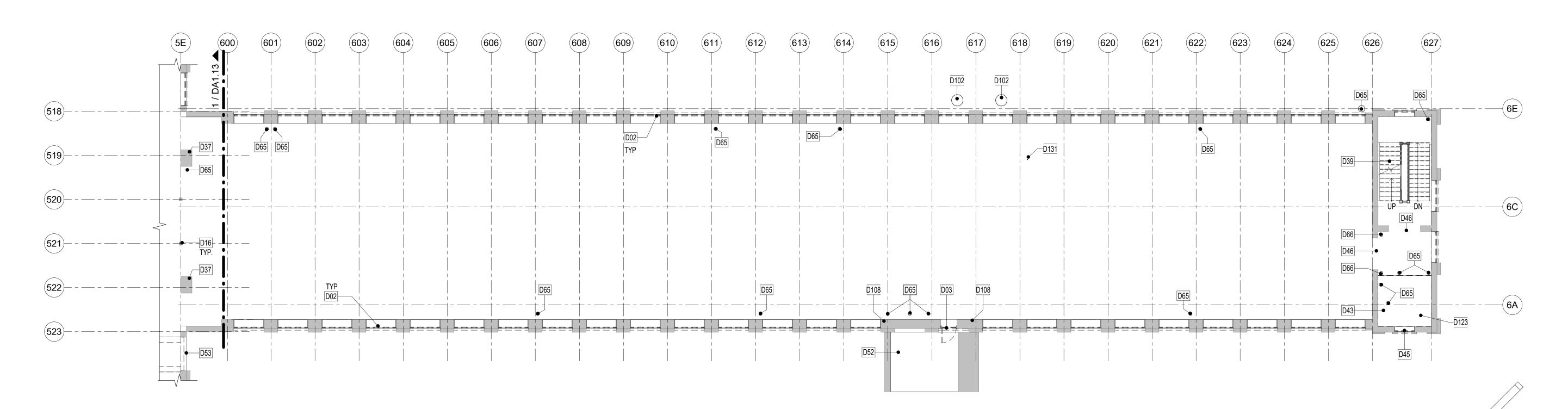
	KEYNOTE LEGEND
Key Value	Keynote Text
D52	EXISTING CONCRETE STRUCTURE AND SUPPORTS TO REMAIN. PREPA PATCHED AS NECESSARY, BY CONTRACTOR.
D53	CONTRACTOR TO REMOVE EXISTING BLOCK INFILL AND PREPARE FOR TO BE ADDED, TO MATCH TYPICAL ADJACENT CONDITIONS. REFER TO WINDOW AND DOOR DETAILS.
D65	EXISTING PIPING TO BE REMOVED, BY CONTRACTOR.
D66	EXISTING ELECTRICAL TO BE REMOVED, BY CONTRACTOR.
D67	CONTRACTOR TO ENLARGE EXISTING WINDOW OPENING TO CREATE N ENTRY, REFER TO PROPOSED DETAILS.
D77	CONTRACTOR TO REMOVE EXISTING WINDOW AND PREPARE FOR NEV TO DOOR AND WINDOW DETAILS.
D82	EXISTING STEEL CHANNEL PARTITION SILLS TO BE REMOVED, BY CON
D84	EXISTING SWING FIRE DOOR TO REMAIN. CONTRACTOR TO PREPARE OPEN POSITION.
D103	EXISTING FENCE TO BE REMOVED, BY CONTRACTOR.
D104	EXISTING ELECTRICAL UTILITY TO REMAIN. REFER TO ELECTRICAL DO
D105	EXISTING CONCRETE BUMPERS TO REMAIN.
D106	EXISTING CONCRETE BASE TO REMAIN.
D108	EXISTING BOLTS TO REMAIN.

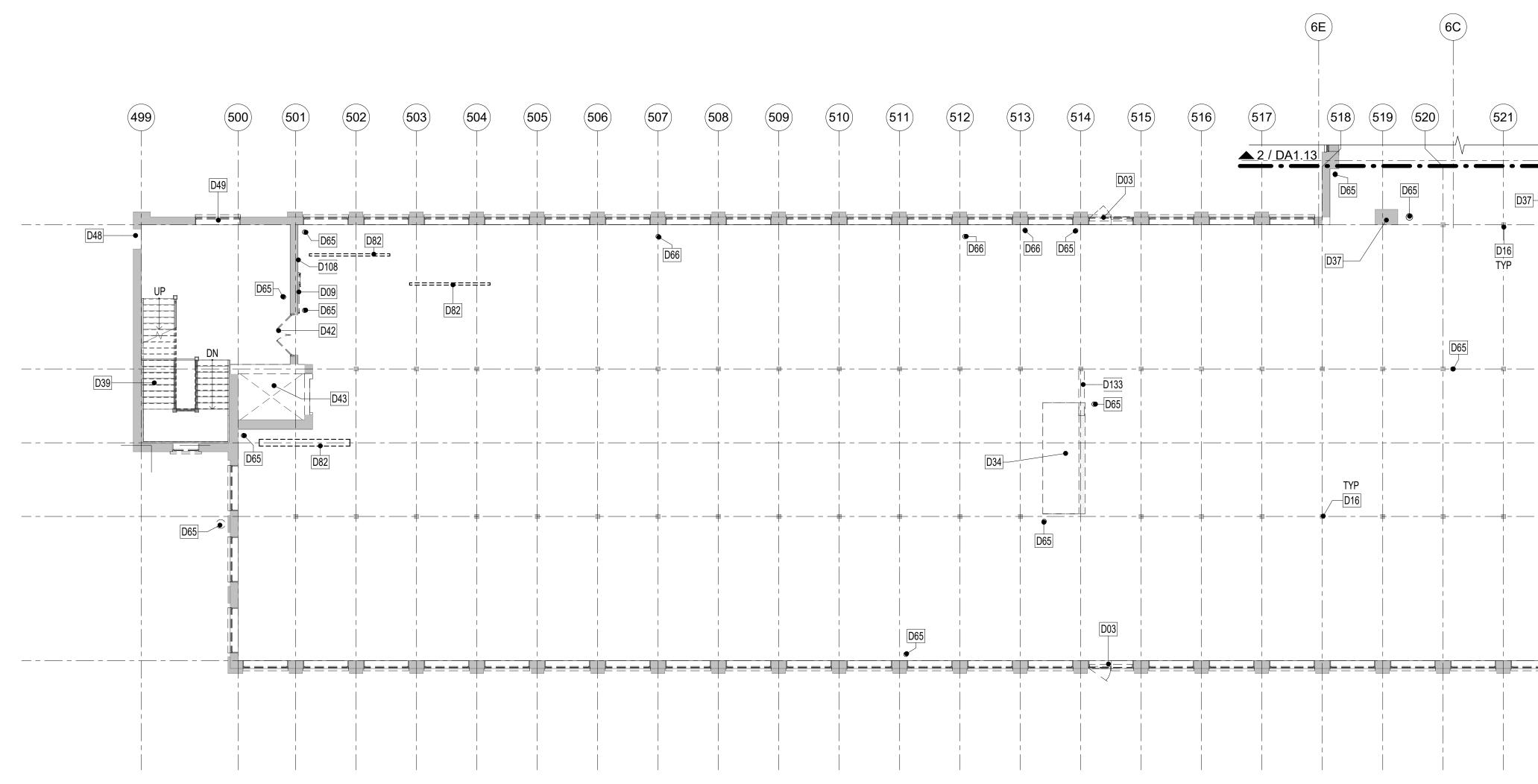
		KEYNOTE LEGEND		
	Key Value	Keynote Text		
MAIN. PREPARE TO BE	D110	EXISTING DOOR TO BE REMOVED AND REPLACED WITH BRICK INFILL, BY CONTRACTOR, PREPARE OPENING FOR NEW WINDOW TO MATCH ADJACENT		
REPARE FOR NEW WINDOW S. REFER TO PROPOSED		CONDITIONS AND BRICK INFILL AT SILL TO MATCH EXISTING ADJACENT BRICK AREAS BENEATH WINDOWS IN COURSING AND COLOR, REFER TO PROPOSED DETAILS.		
	D111	EXISTING METAL PLATFORMS TO BE REMOVED, BY CONTRACTOR.		
ξ.	D122	EXISTING ROUGH BRICK EDGES TO REMAIN. CONTRACTOR TO PREPARE TO PATCH AS NECESSARY.		
TO CREATE NEW DOOR	D123	CONTRACTOR TO PREPARE FOR ADDITION OF NEW ELEVATOR HOISTWAY, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS, REFER TO PROPOSED PLANS.		
ARE FOR NEW DOOR, REFER	D128	EXISTING METAL ACCESS PANEL TO REMAIN.		
	D129	EXISTING CONCRETE APRON TO REMAIN.		
VED, BY CONTRACTOR.	D130	EXISTING FLOOR CLEANOUT. CONTRACTOR TO PREPARE TO REMOVE AND PLUG HOLE FOR CONTINUOUS FIRE-RATED ASSEMBLY, REFER TO PROPOSED PLANS.		
	D131	EXISTING FLOOR DRAIN. CONTRACTOR TO PREPARE TO REMOVE AND PLUG HOLE FOR CONTINUOUS FIRE-RATED ASSEMBLY, REFER TO PROPOSED PLANS.		
CTRICAL DOCUMENTS.	D133	EXISTING PARTIAL BEAM TO BE REMOVED, BY CONTRACTOR, IN PREPARTION FOR FULL BEAM REPLACEMENT. REFER TO PROPOSED PLANS.		

STEHLI SIL 619-629 M/ LANCASTE PA 17601

PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION					
EXIST DOOR TO REM	EMAIN TION TO BE DEMOLISHED AIN URBISHED / REMOVED.				
<ul> <li>NOTE APPLIES TO CE</li> <li># DEMOLITION / ALTER/</li> <li>NOTE APPLIES TO FLO</li> </ul>	ILING ATION KEYNOTE				
<ul> <li>CONDITIONS IN FIELD PRIOR TO START OF WORK.</li> <li>ALL DAMAGED, CRACKED, DEL FAILING BRICK TO BE REMOVE REPLACEMENT WITH NEW BRIM</li> <li>ALL STONE FOUNDATION WOR AS REQUIRED TO MATCH EXIST REQUIRED TO BE MADE WATER</li> <li>ALL CRACKED/DAMAGED EXIST REQUIRED TO BE MADE WATER</li> <li>ALL EXISTING ROOFING TO REI REPLACEMENT OR PATCHING,</li> <li>ALL EXISTING STAR BOLTS AND REMAIN. NO SCRAPING OR PA METAL STAR BOLTS OR ROOF IMMEDIATELY IF INDIVIDUAL CO REPAIR.</li> <li>IT IS THE INTENT OF THIS PRO. WOOD WINDOWS DOORS, TRA RESTORED AND REPAIRED IN / PROVIDED IN THESE DOCUMEN THIS SCOPE SHALL SURVEY AN PRIOR TO SUBMITTING BIDS. O DOCUMENTATION OF EXISTING OF REHABILITATION OF EACH O REASONABLY BEYOND REPAIRE PROPOSALS SHALL STATE JUSS THEIR COST PROPOSAL. EXIST FOR OPERATING WINDOWS AT</li> <li>EXISTING COLUMNS TO REMAIL BE PERFORMED ON COLUMNS RECENTERED. CRACKED COLI TO BE PATCHED WITH BONDO GRAIN. APPLY MATTE CLEAR O ANY REQUIRED PATCHING IS O</li> <li>ALL EXISTING BATHROOMS, PL REMOVED.</li> <li>ANY PLUMBING, ELECTRICAL O SCHEDULE TO BE REMOVED TI TO REMAIN, ARE TO BE REMOVED ALLOWS FOR THE CONTINUOU INDICATED ON MEP DRAWINGS UTILITIES, CONDUIT OR PIPING PATCHED WITH MATERIAL TO N RATING. INFILL IN BRICKS MUST BE EXISTING ANY INFILL IN BRICK OR ST FILLED WITH BRICKS MUST BE EXISTING ANY INFILL IN WOOD MATCH EXISTING.</li> <li>EXISTING INTERIOR STAIRS TO NEW FINISH. PATCH EXISTING REQUIRED FOR CONTINUOUS ARE BELOW EXISTING HANDRA INFILLED WITH MATERIAL THAT SPHERE. FINAL FINISH MATER</li> </ul>	IMATE. VERIFY DIMENSIONS AND O SUBMITTING BID AND COMMENCING AMINATED, LOOSE OR OTHERWISE D IN PREPARATION FOR CK AND MORTAR TO MATCH EXISTING. K TO REMAIN. PATCH AND MORTAR TING. ING CONCRETE TO BE PATCHED AS RPROOF/MATCH EXISTING. MAIN. AREAS REQUIRING ARE TO MATCH EXISTING. D METAL ROOF BEAM TIES ARE TO INTING IS TO BE PERFORMED ON BEAM TIES. NOTIFY ARCHITECT DNDITIONS NEED REHABILITATION OR JECT THAT ALL EXISTING HISTORIC NSOMS AND SIDELIGHTS ARE TO BE ACCORDANCE WITH THE GUIDELINES VTS. SUBCONTRACTORS RELATED TO ND REVIEW ALL EXISTING CONDITIONS COST PROPOSALS MUST INCLUDE CONDITIONS AND PROPOSED SCOPE DENING. IF ANY OPENING IS AND REQUIRES REPLACEMENT, STIFICATION FOR REPLACEMENT, STIFICATION FOR REPLACEMENT, STIFICATION FOR REPLACEMENT, STIFICATION FOR REPLACEMENT, STIFICATION FOR REPLACEMENT, STIFICATION FOR REPLACEMENT WITH TING INTERIOR SYSTEM REMNANTS MONITORS TO REMAIN. N. NO SCRAPING OR PAINTING IS TO . COLUMNS OFF THEIR BASES TO BE UMNS WITH CROSS SECTION MISSING WOOD FILLER WITH MATCHING WOOD COAT AROUND ALL COLUMNS ONCE OMPLETE. UMBING FIXTURES AND PIPING TO BE IN MECHANICAL EQUIPMENT HAT IS TIED INTO SYSTEMS THAT ARE VED AND TIED OFF IN A MANNER THAT IS OPERATION OF THE SYSTEM AS 3. ANY LOCATION WHERE EXISTING ARE TO BE REMOVED IS TO BE WATCH EXISTING IN FINISH AND FIRE TONE WALLS WHICH CANNOT BE FILLED WITH MORTAR TO MATCH D FRAMED CONSTRUCTION MUST CONDUIT, AND MECHANICAL AT FIRE WALLS AND PATCHED TO PLASTER CEILINGS ABOVE STAIRS AS FIRE RATING. IF EXISTING WINDOWS ALS, THESE AREAS ARE TO BE TWILL NOT ALLOW PASSAGE OF 4" IAL TBD BY OWNER. <b>PHAASE II</b> <b>NSTRUCTION</b>				
REVISIONS No. Descriptio	n Date				
25 East Grant St, Suite 102, Lancas	Ster, PA 17602 Phone: 717 393-3713				
PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND A 619-629 MARTHA AVE LANCASTER, PA 17601	LTERATIONS				
SHEET TITLE         DEMOLITION & ALTERATION PLAN FIRST FLOOR MILL 5 & 6         ISSUE DATE         -         BISUE DATE         BISUE DATE         BISUE DATE         BISUE DATE         BISUE DATE         BISUE DATE					
1929	кн рв				

ALL DIMENSIONS, MEASUREMENTS AND STAMP





KEYNOTE LEGEND								
Key Value								
D02	REMOVE EXISTING WINDOW AND PREPARE OPENING FOR NEW WINDOW INSTALLATION, BY CONTRACTOR. REFER TO PROPOSED DETAILS.	D45						
D03	EXISTING DOOR TO BE RESTORED AND REPAIRED, BY CONTRACTOR.	D46						
D09	EXISTING SLIDING FIRE DOOR TO BE CAREFULLY REMOVED, TEMPORARILY STORED AND SALVAGED TO BE REUSED INCLUDING ALL HARDWARE AND PARTS, ALL BY CONTRACTOR.	D48						
D16	EXISTING WD COLUMN TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS.							
D34	EXISTING DEACTIVATED BRICK CHIMNEY TO BE REMOVED, BY CONTRACTOR.							
D37	EXISTING BRICK PIER TO REMAIN AND BE REPAIRED AS REQUIRED, BY CONTRACTOR.	D49						
D38	EXISTING ELEVATOR SHAFT TO BE DEMOLISHED, BY CONTRACTOR. REPAIR FLOOR IN OPENING LEFT BEHIND.	D52						
D39	EXISTING STAIR TO BE CLEANED AND PREPARED FOR NEW PAINT OR FINISH, BY CONTRACTOR.	D53						
D42	EXISTING DOOR TO BE REMOVED, BY CONTRACTOR. PREPARE OPENING FOR NEW DOOR/WINDOW, REFER TO PROPOSED DETAILS.	D65						
D43	CONTRACTOR TO PREPARE EXISTING ELEVATOR HOISTWAY FOR ADDITION OF NEW	D66						
	ELEVATOR SYSTEM, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS.	D82						
		D102						

	(6E)	(6C)	(6A)						
517 2 / DA		D) (521) (D) (521) (D) (D37) (D) (D16) TYP (D) (D16) TYP			25 526				532 
								D42 D42 D42 D66	$\frac{1}{DN} = -\frac{5D}{5C}$
						1			
				1 SECOND I DA1.13 3/32" = 1'-		MOLITION AND AL	TERATION PLAN	<u> </u>   	
<b></b>		) TE LEGEND				KEYNOTE LEGEND			
Key Value		Keynote Text		Key Value		Keynote	<b>Fext</b>		
F D46 E D48 C F D49 D52 E F D53 C E D65 E D66 E D82 E	EXISTING WINDOW TO BE REMOVED REFER TO PROPOSED DETAILS. EXISTING OPENING. SEE PROPOSED CONTRACTOR TO PREPARE TO REL TO EXTERIOR SIDE. PREPARE FOR PROPOSED DETAILS. EXISTING OU IN PLACE AND REMAIN. EXISTING CONCRETE STRUCTURE A PATCHED AS NECESSARY, BY CON CONTRACTOR TO REMOVE EXISTIN BE ADDED, TO MATCH TYPICAL ADJ AND DOOR DETAILS. EXISTING PIPING TO BE REMOVED, EXISTING ELECTRICAL TO BE REMOVED, EXISTING STEEL CHANNEL PARTITIC EXISTING VENT PIPING TO BE REMOVED	D PLANS FOR INFILL, BY ( LOCATE FIRE DOOR FROM ADDITION OF NEW STOR ITSWING PANEL DOOR AT AND SUPPORTS TO REMA TRACTOR. IG BLOCK INFILL AND PRE JACENT CONDITIONS. RE BY CONTRACTOR. DVED, BY CONTRACTOR. ON SILLS TO BE REMOVE	Contractor. / Interior Side and Affi Efront, refer to Exterior face to be fi Ain. Prepare to be Epare for New Window Fer to proposed Windo	XED D133	ELEVATOR MANUFACT EXISTING FLOOR DRAIN CONTINUOUS FIRE-RAT EXISTING PARTIAL BEA	Emain. Pare for addition of Ne Urer Requirements, Rei N. Contractor to Prep. Ted Assembly, Refer to Im to be removed, by co Refer to proposed plat	ER TO PROPOSED PLAN ARE TO REMOVE AND PLU PROPOSED PLANS. NTRACTOR, IN PREPARTI	S. JG HOLE FOR	

2 SECOND FLOOR MILL 6 DEMOLITION AND ALTERATION PLAN DA1.13 3/32" = 1'-0"

12. EX

REVISION No.

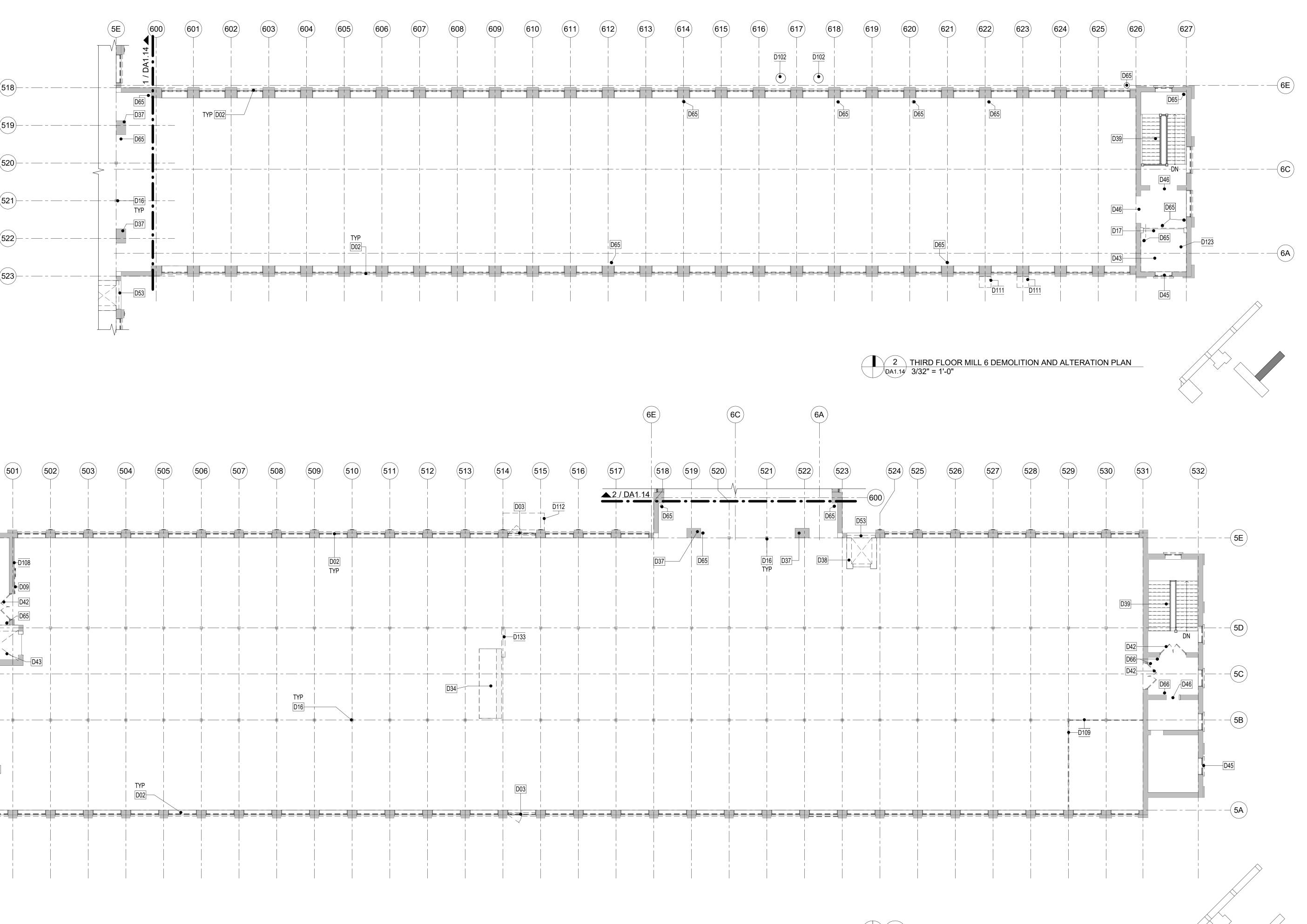
PROJECT STEHLI SILM 619-629 MAN LANCASTER PA 17601

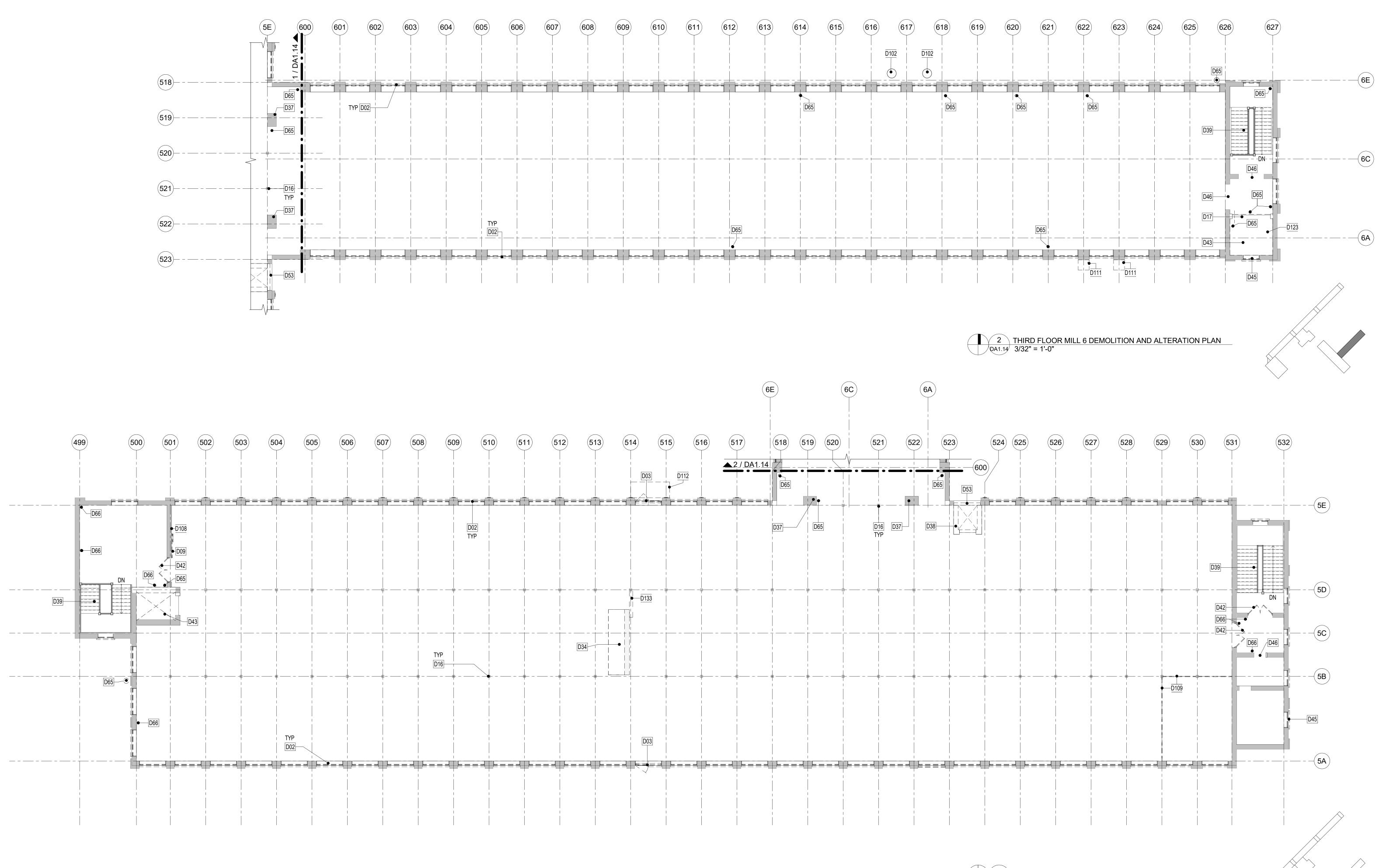
SHEET TITL DEMOLITIO 

PROJE AND CONTE IN WE CONSI WITH SHALL WORK CAUSE	DIMENSIONS, MEASUREMENTS AND ECT CONDITIONS SHALL BE CHECKED VERIFIED IN THE FIELD BY THE RACTOR. REFER ALL DIFFERENCES, RITING, TO THE ARCHITECT FOR IDERATION PRIOR TO PROCEEDING THE WORK. THE CONTRACTOR _ BEAR THE COST OF RECTIFYING NOT APPROVED BY THE ARCHITECT, ED BY LACK OF COORDINATION AND DIFFICATION.	STAMP
DEM	MOLITION & ALTERATION LEGEN	D
	EXISTING WALL TO R	EMAIN
= :		TION TO BE DEMOLISHED
/	EXIST DOOR TO REM	AIN
/	EXIST DOOR TO BE F SEE KEYNOTES FOR	URBISHED / REMOVED. MORE INFORMATION
	NOTE APPLIES TO CE	ILING
	# DEMOLITION / ALTER	
	NOTE APPLIES TO FL	OOR
<u>GEI</u>	NERAL DEMOLITION & ALTERATI	
1.		IMATE. VERIFY DIMENSIONS AND O SUBMITTING BID AND COMMENCING
2.	START OF WORK. ALL DAMAGED, CRACKED, DEL	AMINATED, LOOSE OR OTHERWISE
	FAILING BRICK TO BE REMOVE REPLACEMENT WITH NEW BRI	D IN PREPARATION FOR CK AND MORTAR TO MATCH EXISTING.
3.	ALL STONE FOUNDATION WOR AS REQUIRED TO MATCH EXIS	K TO REMAIN. PATCH AND MORTAR
4.		TING CONCRETE TO BE PATCHED AS
5.	ALL EXISTING ROOFING TO RE	MAIN. AREAS REQUIRING
6.		D METAL ROOF BEAM TIES ARE TO
	METAL STAR BOLTS OR ROOF	INTING IS TO BE PERFORMED ON BEAM TIES. NOTIFY ARCHITECT ONDITIONS NEED REHABILITATION OR
7.	IT IS THE INTENT OF THIS PRO	JECT THAT ALL EXISTING HISTORIC
	RESTORED AND REPAIRED IN	ACCORDANCE WITH THE GUIDELINES
	THIS SCOPE SHALL SURVEY AN	NTS. SUBCONTRACTORS RELATED TO
		COST PROPOSALS MUST INCLUDE G CONDITIONS AND PROPOSED SCOPE
	OF REHABILITATION OF EACH	OPENING. IF ANY OPENING IS AND REQUIRES REPLACEMENT,
	PROPOSALS SHALL STATE JUS	STIFICATION FOR REPLACEMENT WITH
•	FOR OPERATING WINDOWS AT	MONITORS TO REMAIN.
8.	BE PERFORMED ON COLUMNS	N. NO SCRAPING OR PAINTING IS TO . COLUMNS OFF THEIR BASES TO BE
		UMNS WITH CROSS SECTION MISSING WOOD FILLER WITH MATCHING WOOD
	GRAIN. APPLY MATTE CLEAR ( ANY REQUIRED PATCHING IS C	COAT AROUND ALL COLUMNS ONCE
9.		UMBING FIXTURES AND PIPING TO BE
10.	ANY PLUMBING, ELECTRICAL C	
	TO REMAIN, ARE TO BE REMOV	HAT IS TIED INTO SYSTEMS THAT ARE /ED AND TIED OFF IN A MANNER THAT
		IS OPERATION OF THE SYSTEM AS S. ANY LOCATION WHERE EXISTING
	UTILITIES, CONDUIT OR PIPING	ARE TO BE REMOVED IS TO BE MATCH EXISTING IN FINISH AND FIRE
	RATING. INFILL IN BRICK OR S	TONE WALLS WHICH CANNOT BE FILLED WITH MORTAR TO MATCH
	EXISTING. ANY INFILL IN WOOI	D FRAMED CONSTRUCTION MUST
11.	MATCH EXISTING. EXISTING OVERHEAD PIPING, (	
	EQUIPMENT TO BE REMOVED / MATCH ADJACENT ASSEMBLY.	AT FIRE WALLS AND PATCHED TO
12.	EXISTING INTERIOR STAIRS TO	REMAIN. CLEAN AND PREPARE FOR PLASTER CEILINGS ABOVE STAIRS AS

REQUIRED FOR CONTINUOUS FIRE RATING. IF EXISTING WINDOWS ARE BELOW EXISTING HANDRAILS, THESE AREAS ARE TO BE INFILLED WITH MATERIAL THAT WILL NOT ALLOW PASSAGE OF 4" SPHERE. FINAL FINISH MATERIAL TBD BY OWNER.

1	BID SET PHASE I	
	NOT FOR CONSTRUC	TION
	10.28.2020	
REV No	/ISIONS D. Description	Date
_		
Ē	Iammel Associates Archi	TECTS, LLC
	25 East Grant St, Suite 102, Lancaster, PA 17602 Phor	00. 212 303-3213
		ie. / 1/ 333-3/ 13
	STEHLI MILL, L	LC
PRC	SIEHLI MILL, L	LC
	DJECT DESCRIPTION	LC
STE 619- LAN	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER,	LC
STE 619- LAN	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE	LC
STE 619- LAN PA 1	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER,	LC
STE 619- LAN PA 1 <b>SHE</b> DEN	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 EET TITLE 10LITION & ALTERATION PLAN SECOND FLOOR MILL 5	
STE 619- LAN PA 1 <b>SHE</b> DEN	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 EET TITLE	
STE 619- LAN PA 1 DEM ISSU - FILE	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 ET TITLE MOLITION & ALTERATION PLAN SECOND FLOOR MILL 5 JE DATE SCALE AS NOTED ENUMBER DRAWN BY	& 6 CHECKED BY
STE 619- LAN PA 1 SHE DEN ISSU	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 ET TITLE MOLITION & ALTERATION PLAN SECOND FLOOR MILL 5 JE DATE SCALE AS NOTED NUMBER DRAWN BY	& 6
STE 619- LAN PA 1 DEM ISSU - FILE	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 ET TITLE MOLITION & ALTERATION PLAN SECOND FLOOR MILL 5 JE DATE SCALE AS NOTED ENUMBER DRAWN BY	& 6 CHECKED BY
STE 619- LAN PA 1 DEM ISSU - FILE	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 ET TITLE MOLITION & ALTERATION PLAN SECOND FLOOR MILL 5 JE DATE SCALE AS NOTED ENUMBER DRAWN BY	& 6 CHECKED BY
STE 619- LAN PA 1 SHE DEM ISSU - FILE	DJECT DESCRIPTION HLI SILK MILL RENOVATIONS AND ALTERATIONS 629 MARTHA AVE CASTER, 17601 ET TITLE MOLITION & ALTERATION PLAN SECOND FLOOR MILL 5 JE DATE SCALE AS NOTED ENUMBER DRAWN BY	& 6 Снескер ву РВ РВ





KEYNOTE LEGEND								
Key Value	Keynote Text							
D02	REMOVE EXISTING WINDOW AND PREPARE OPENING FOR NEW WINDOW INSTALLATION, BY CONTRACTOR. REFER TO PROPOSED DETAILS.							
D03	EXISTING DOOR TO BE RESTORED AND REPAIRED, BY CONTRACTOR.							
D09	EXISTING SLIDING FIRE DOOR TO BE CAREFULLY REMOVED, TEMPORARILY STORED AND SALVAGED TO BE REUSED INCLUDING ALL HARDWARE AND PARTS, ALL BY CONTRACTOR.							
D16	EXISTING WD COLUMN TO REMAIN. SEE STRUCTURAL DRAWINGS FOR REPAIRS.							
D17	EXSTING WALL TO BE DEMOLISHED, BY CONTRACTOR. CLEAN AND PREPARE OPENING.							
D34	EXISTING DEACTIVATED BRICK CHIMNEY TO BE REMOVED, BY CONTRACTOR.							
D37	EXISTING BRICK PIER TO REMAIN AND BE REPAIRED AS REQUIRED, BY CONTRACTOR.							
D38	EXISTING ELEVATOR SHAFT TO BE DEMOLISHED, BY CONTRACTOR. REPAIR FLOOR IN OPENING LEFT BEHIND.							

KEYNOTE LEGEND						
Key Value	Keynote Text					
D39	EXISTING STAIR TO BE CLEANED AND PREPARED FOR NEW PAINT OR FINISH, BY CONTRACTOR.					
D42	EXISTING DOOR TO BE REMOVED, BY CONTRACTOR. PREPARE OPENING FOR NEW DOOR/WINDOW, REFER TO PROPOSED DETAILS.					
D43	CONTRACTOR TO PREPARE EXISTING ELEVATOR HOISTWAY FOR ADDITION OF NEW ELEVATOR SYSTEM, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS.					
D45	EXISTING WINDOW TO BE REMOVED, BY CONTRACTOR. PREPARE WALL FOR INFILL, REFER TO PROPOSED DETAILS.					
D46	EXISTING OPENING. SEE PROPOSED PLANS FOR INFILL, BY CONTRACTOR.					
D53	CONTRACTOR TO REMOVE EXISTING BLOCK INFILL AND PREPARE FOR NEW WINDOW TO BE ADDED, TO MATCH TYPICAL ADJACENT CONDITIONS. REFER TO PROPOSED WINDOW AND DOOR DETAILS.					
D65	EXISTING PIPING TO BE REMOVED, BY CONTRACTOR.					
D66	EXISTING ELECTRICAL TO BE REMOVED, BY CONTRACTOR.					

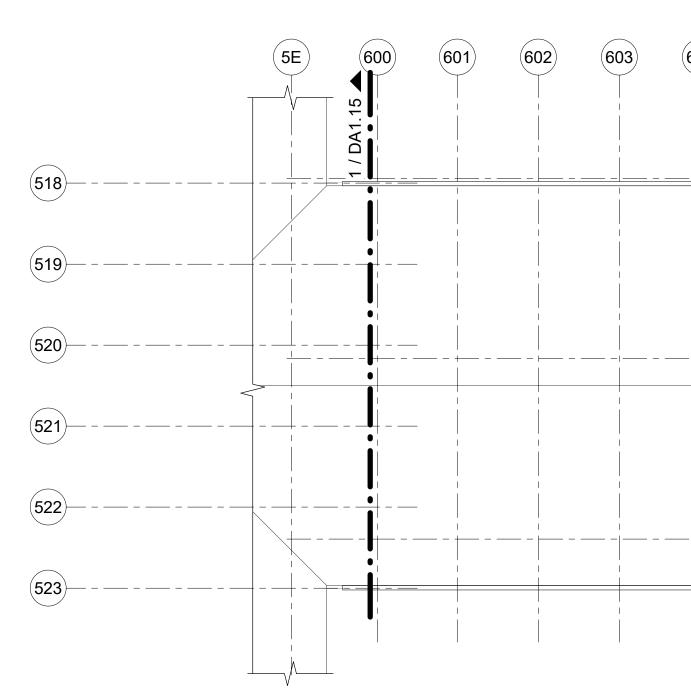
1 THIRD FLOOR MILL 5 DEMOLITION AND ALTERATION PLAN DA1.14 3/32" = 1'-0"

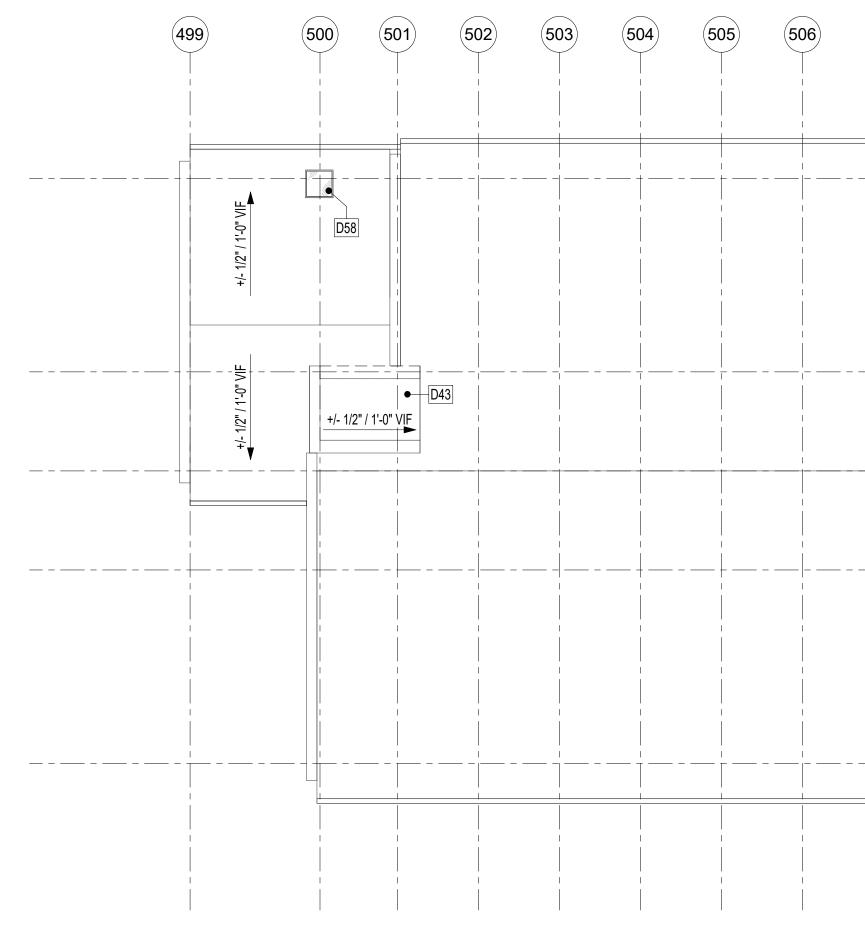
		KEYNOTE LEGEND
	Key Value	Keynote Text
FINISH,	D102	EXISTING VENT PIPING TO BE REMOVED, BY CONTRACTOR.
	D108	EXISTING BOLTS TO REMAIN.
NG FOR	D109	EXISTING FRAMING TO BE REMOVED, BY CONTRACTOR.
	D111	EXISTING METAL PLATFORMS TO BE REMOVED, BY CONTRACTOR.
DITION OF	D112	EXISTING FIRE ESCAPE TO BE REMOVED, BY CONTRACTOR.
	D123	CONTRACTOR TO PREPARE FOR ADDITION OF NEW ELEVATOR HOISTWAY,
LL FOR		ALL ELEVATOR MANUFACTURER REQUIREMENTS, REFER TO PROPOSED PLANS.
TOR.	D133	EXISTING PARTIAL BEAM TO BE REMOVED, BY CONTRACTOR, IN PREPARTIC

STEHLI SIL 619-629 MA LANCASTE PA 17601

SHEET TITI DEMOLITIO ISSUE DAT

PROJECT CONDITION AND VERIFIED IN CONTRACTOR. RE IN WRITING, TO CONSIDERATION IN WITH THE WORK SHALL BEAR THE WORK NOT APPROV	MEASUREMENTS AND ONS SHALL BE CHECKED N THE FIELD BY THE FER ALL DIFFERENCES, THE ARCHITECT FOR PRIOR TO PROCEEDING C. THE CONTRACTOR COST OF RECTIFYING VED BY THE ARCHITECT, OF COORDINATION AND	STAMP	
	& ALTERATION LEGEN EXISTING WALL TO RI		
	EXISTING CONSTRUC		DLISHED
	EXIST DOOR TO BE FI SEE KEYNOTES FOR I		
#	NOTE APPLIES TO CE DEMOLITION / ALTER/	-	
GENERAL DE	NOTE APPLIES TO FL		
1.ALL DIME CONDITION START O2.ALL DAM FAILING I REPLACE3.ALL STOM AS REQU4.ALL CRAM REQUIRE5.ALL EXIS REPLACE6.ALL EXIS REPAIR.7.IT IS THE WOOD W RESTORI PROVIDE THIS SCO PROVIDE THIS SCO PROVIDE THIS SCO PROVIDE THIS SCO PROVIDE THER CO FOR OPE8.EXISTING REASON. PROPOS THEIR CO FOR OPE8.EXISTING RECENTI TO BE PA GRAIN. A ANY REC9.ALL EXIS REMOVE10.ANY PLU SCHEDU TO REMA ALLOWS INDICATE UTILITIES PATCHEI RATING. FILLED W EXISTING MATCH A11.EXISTING REQUIRE ARE BELI INFILLED W	AGED, CRACKED, DEL BRICK TO BE REMOVEL BRICK TO BE REMOVEL EMENT WITH NEW BRIC NE FOUNDATION WOR URED TO MATCH EXIST CKED/DAMAGED EXIST CKED/DAMAGED EXIST CKED/DAMAGED EXIST CKED/DAMAGED EXIST CKED/DAMAGED EXIST CRED/DAMAGED EXIST CRED/DAMAGED EXIST CRED/DAMAGED EXIST CREDT OR PATCHING / TING STAR BOLTS AND NO SCRAPING OR PA TAR BOLTS OR ROOF TELY IF INDIVIDUAL CO INTENT OF THIS PRO. (INDOWS DOORS, TRA ED AND REPAIRED IN / DO SUBMITTING BIDS. CO INTATION OF EXISTING BILITATION OF EXISTING BILITATION OF EXISTING BILITATION OF EXISTING COLUMNS TO REMAIL ORMED ON COLUMNS ERED. CRACKED COLO APPLY MATTE CLEAR CO UNED PATCHING IS CO TO BE REMOVED TO APPLY MATTE CLEAR CO UNED PATCHING IS CO TING BATHROOMS, PL D. MBING, ELECTRICAL CO LE TO BE REMOVED TO NING BATHROOMS, PL D. MBING, ELECTRICAL CO LE TO BE REMOVED TO NING BATHROOMS, PL D. MBING, ELECTRICAL CO LE TO BE REMOVED TO NING BATHROOMS, PL D. MBING, ELECTRICAL CO LE TO BE REMOVED TO NINFILL IN BRICK OR ST (ITH BRICKS MUST BE CONDUIT OR PIPING D. WITH MATERIAL TO M INFILL IN BRICK OR ST (ITH BRICKS MUST BE CONDUIT OR PIPING D. WITH MATERIAL TO M INFILL IN BRICK OR ST (ITH BRICKS MUST BE CANY INFILL IN WOOD	IMATE. VERIFY DIM O SUBMITTING BID AMINATED, LOOSE D IN PREPARATION CK AND MORTAR T K TO REMAIN. PA TING. TING CONCRETE T RPROOF/MATCH E WAIN. AREAS REC ARE TO MATCH E VAIN. AREAS REC D METAL ROOF BE INTING IS TO BE P BEAM TIES. NOTIF DNDITIONS NEED F IECT THAT ALL EX NSOMS AND SIDE ACCORDANCE WIT NTS. SUBCONTRA D REVIEW ALL EX CONDITIONS NEED F ING INTERIOR SY CONDITIONS AND SIDE CONDITIONS AND SIDE CONDITIONS AND SIDE ACCORDANCE WIT NTS. SUBCONTRA D REVIEW ALL EX COST PROPOSALS CONDITIONS AND SIDE ACCORDANCE WIT NTS. SUBCONTRA D REVIEW ALL EX CONDITIONS AND SIDE ACCORDANCE WIT NTS. SUBCONTRA D REVIEW ALL EX CONDITIONS TO RE N. NO SCRAPING COLUMNS OFF T JMNS WITH CROS WOOD FILLER WIT COAT AROUND ALL OMPLETE. UMBING FIXTURES WOOD FILLER WIT COAT AROUND ALL OMPLETE. UMBING FIXTURES WOOD FILLER WIT COAT AROUND ALL OMPLETE. UMBING FIXTURES R MECHANICAL EN SOPERATION OF S. ANY LOCATION ARE TO BE REMO MATCH EXISTING I FONE WALLS WHIC FILLED WITH MOR D FRAMED CONST CONDUIT, AND MEC AT FIRE WALLS AN REMAIN. CLEAN AT FIRE WALLS AN ALL BD BY OWNE	AND COMMENCING COR OTHERWISE N FOR TO MATCH EXISTING. TCH AND MORTAR TO BE PATCHED AS EXISTING. QUIRING KISTING. AM TIES ARE TO ERFORMED ON Y ARCHITECT REHABILITATION OR KISTING HISTORIC LIGHTS ARE TO BE I'H THE GUIDELINES CTORS RELATED TO KISTING CONDITIONS MUST INCLUDE D PROPOSED SCOPE OPENING IS REPLACEMENT, REP
NO	T FOR CO 10.28.		
REVISIONS No.	Descriptic	n	Date
Намме		es Archi	TECTS, LLC
25 East Gra S PROJECT DESCE STEHLI SILK MILI 619-629 MARTHA LANCASTER, PA 17601 SHEET TITLE DEMOLITION & A	TEHLIN	Ster, PA 17602 Photo MILL, L LITERATIONS	ne: 717 393-3713
ISSUE DATE - FILE NUMBER		SCALE AS NOTED DRAWN BY	CHECKED BY
1929		кн	РВ

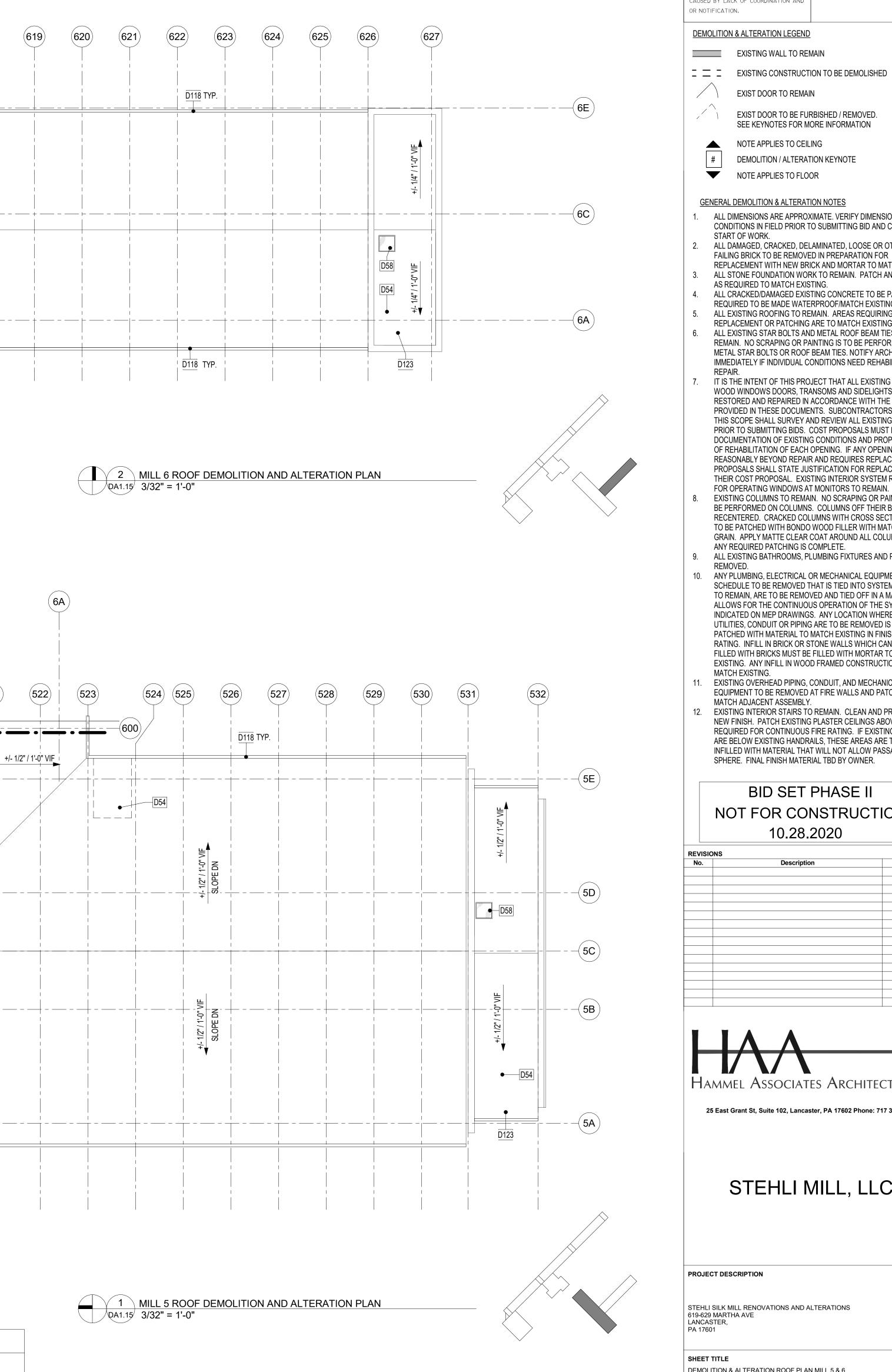




604	605	606	607	608	609	610	611	612	613	614	615	616	617	618
	+/- 1/2" / 1'-0" VIF	SLOPE DN												
		SLOPE DN												

						6	E	6C
507	508 509	( <b>510</b> ) (8	511 (512)	(513) 514)	(515) (516)   	517 2-/-DA1.15		
	D <u>118</u> TYP.						+/- 1/2" / 1'-0" +/- 1/2" / 1'-0" + + +	<u>'VIF   +/- 1/</u>
				TYP.				

	KEYNOTE LEGEND	KEYNOTE LEGEND				
Key Value	Keynote Text	Key Value	Keynote Text			
D43	CONTRACTOR TO PREPARE EXISTING ELEVATOR HOISTWAY FOR ADDITION OF NEW ELEVATOR SYSTEM, PER ALL ELEVATOR	D118	EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, CONTRACTO TO PREPARE TO REPAIR AS NECESSARY.			
	MANUFACTURER REQUIREMENTS.	D123	CONTRACTOR TO PREPARE FOR ADDITION OF NEW ELEVATOR			
D54	CONTRACTOR TO PREPARE FOR NEW ELEVATOR HOISTWAY ROOF, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS.		HOISTWAY, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS REFER TO PROPOSED PLANS.			
D58	EXISTING ROOF ACCESS HATCH TO REMAIN.	D134	EXISTING EPDM ROOFING TO REMAIN.			
D88	CONTRACTOR TO PREPARE FOR ADDITION OF NEW ROOFTOP MECHANICAL EQUIPMENT, REFER TO PROPOSED MEP DOCUMENTS.					



FILE NUMBER 1929

SHEET TITL

ALL DIMENSIONS, MEASUREMENTS AND
PROJECT CONDITIONS SHALL BE CHECKED
AND VERIFIED IN THE FIELD BY THE
CONTRACTOR. REFER ALL DIFFERENCES,
IN WRITING, TO THE ARCHITECT FOR
CONSIDERATION PRIOR TO PROCEEDING
WITH THE WORK. THE CONTRACTOR
SHALL BEAR THE COST OF RECTIFYING
WORK NOT APPROVED BY THE ARCHITECT,
CAUSED BY LACK OF COORDINATION AND
OR NOTIFICATION.

STAMP

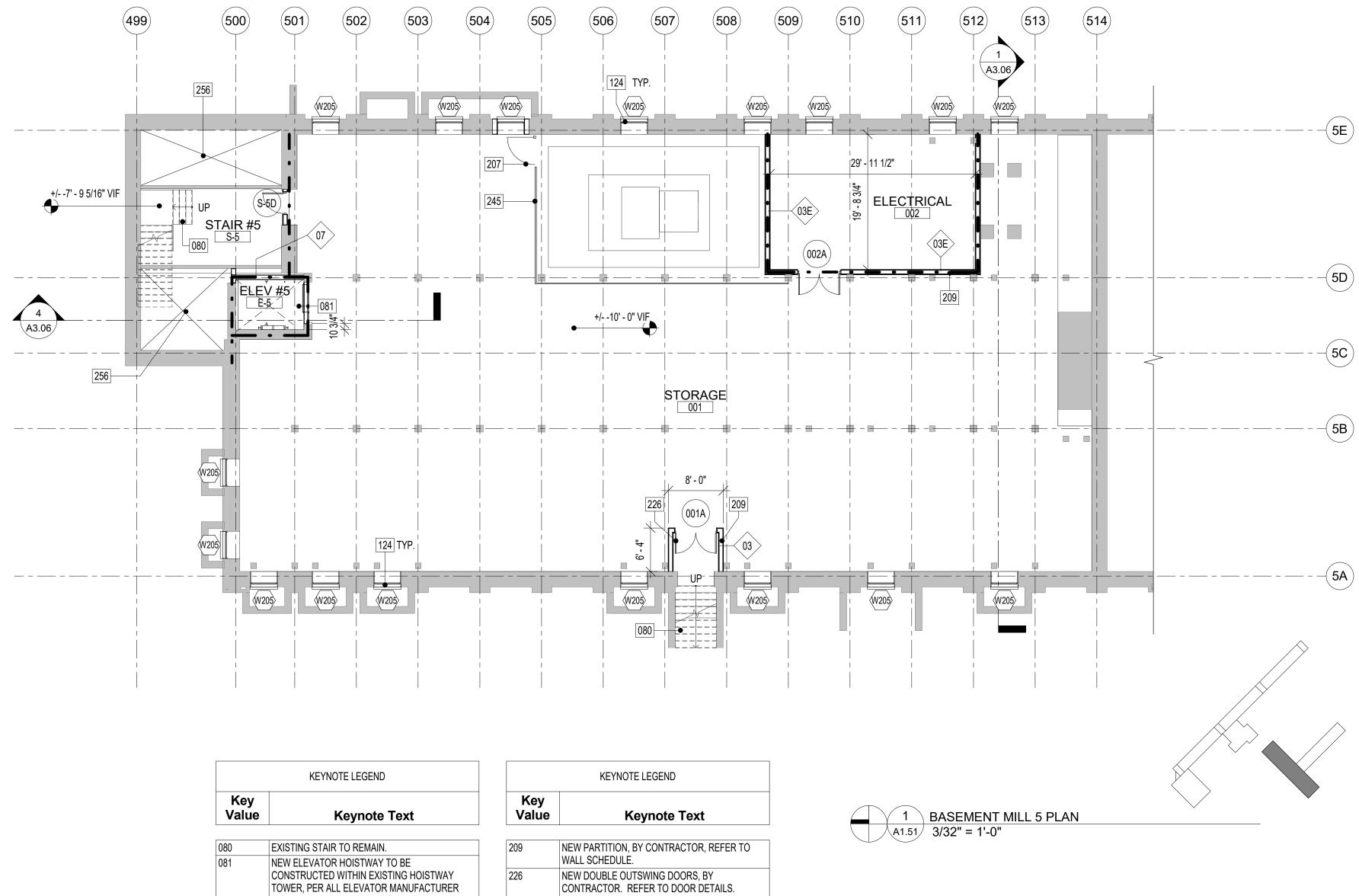
		EXIST DOOR TO REMAIN	
		EXIST DOOR TO BE FURBISHED / REMOVED. SEE KEYNOTES FOR MORE INFORMATION	
		NOTE APPLIES TO CEILING	
#		DEMOLITION / ALTERATION KEYNOTE	
		NOTE APPLIES TO FLOOR	
<u>GE</u> 1.	ALL D	DEMOLITION & ALTERATION NOTES IMENSIONS ARE APPROXIMATE. VERIFY DIMENS ITIONS IN FIELD PRIOR TO SUBMITTING BID ANI	-
2.	STAR ALL D	T OF WORK. AMAGED, CRACKED, DELAMINATED, LOOSE OR	OTHERWISE
0	REPL/	IG BRICK TO BE REMOVED IN PREPARATION FO ACEMENT WITH NEW BRICK AND MORTAR TO M	ATCH EXISTING.
3. 4.	AS RE	TONE FOUNDATION WORK TO REMAIN. PATCH QUIRED TO MATCH EXISTING. RACKED/DAMAGED EXISTING CONCRETE TO BI	
5.	REQU	IRED TO BE MADE WATERPROOF/MATCH EXIST XISTING ROOFING TO REMAIN. AREAS REQUIR	ING.
6.	ALL E	ACEMENT OR PATCHING ARE TO MATCH EXISTI XISTING STAR BOLTS AND METAL ROOF BEAM <sup>-</sup>	TIES ARE TO
	META	IN. NO SCRAPING OR PAINTING IS TO BE PERFI L STAR BOLTS OR ROOF BEAM TIES. NOTIFY AF DIATELY IF INDIVIDUAL CONDITIONS NEED REH/ IR.	CHITECT
7.	WOOE	THE INTENT OF THIS PROJECT THAT ALL EXISTIN O WINDOWS DOORS, TRANSOMS AND SIDELIGH	ITS ARE TO BE
	PROV	ORED AND REPAIRED IN ACCORDANCE WITH TI IDED IN THESE DOCUMENTS. SUBCONTRACTO SCOPE SHALL SURVEY AND REVIEW ALL EXISTI	RS RELATED TO
	PRIOF	TO SUBMITTING BIDS. COST PROPOSALS MUS	ST INCLUDE
	REAS	HABILITATION OF EACH OPENING. IF ANY OPE ONABLY BEYOND REPAIR AND REQUIRES REPL	ACEMENT,
	THEIR	OSALS SHALL STATE JUSTIFICATION FOR REPL COST PROPOSAL. EXISTING INTERIOR SYSTE	M REMNANTS
8.	EXIST	DPERATING WINDOWS AT MONITORS TO REMAI ING COLUMNS TO REMAIN. NO SCRAPING OR F RFORMED ON COLUMNS. COLUMNS OFF THEII	PAINTING IS TO
	RECE	RFORMED ON COLUMNS. COLUMNS OFF THEIR NTERED. CRACKED COLUMNS WITH CROSS SE PATCHED WITH BONDO WOOD FILLER WITH M	ECTION MISSING
	grain Any r	N. APPLY MATTE CLEAR COAT AROUND ALL CO REQUIRED PATCHING IS COMPLETE.	LUMNS ONCE
9.	all ex Remo	XISTING BATHROOMS, PLUMBING FIXTURES AN IVED.	
10.	SCHE	LUMBING, ELECTRICAL OR MECHANICAL EQUIF DULE TO BE REMOVED THAT IS TIED INTO SYST MAIN, ARE TO BE REMOVED AND TIED OFF IN A	EMS THAT ARE
	ALLO\	WAIN, ARE TO BE REMOVED AND THE OFF IN A WS FOR THE CONTINUOUS OPERATION OF THE ATED ON MEP DRAWINGS. ANY LOCATION WHE	SYSTEM AS
	UTILIT	TIES, CONDUIT OR PIPING ARE TO BE REMOVED HED WITH MATERIAL TO MATCH EXISTING IN FI	IS TO BE
	FILLE	IG. INFILL IN BRICK OR STONE WALLS WHICH C D WITH BRICKS MUST BE FILLED WITH MORTAR	TO MATCH
11.	MATC	ING. ANY INFILL IN WOOD FRAMED CONSTRUC H EXISTING. ING OVERHEAD PIPING, CONDUIT, AND MECHAI	
.	EQUIF	PMENT TO BE REMOVED AT FIRE WALLS AND P/ H ADJACENT ASSEMBLY.	
12.	EXIST	ING INTERIOR STAIRS TO REMAIN. CLEAN AND FINISH. PATCH EXISTING PLASTER CEILINGS AND	
			DUVE STAIRS AS
	REQU ARE B	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR	ING WINDOWS E TO BE
	REQU ARE B INFILL	IRED FOR CONTINUOUS FIRE RATING. IF EXIST	ING WINDOWS E TO BE
	REQU ARE B INFILL	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAY RE. FINAL FINISH MATERIAL TBD BY OWNER.	ING WINDOWS E TO BE
	REQU ARE B INFILL SPHE	IRED FOR CONTINUOUS FIRE RATING. IF EXIST ELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PA	TING WINDOWS RE TO BE SSAGE OF 4"
	REQU ARE B INFILL SPHE	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR LED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II	TING WINDOWS RE TO BE SSAGE OF 4"
REVISION	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	TING WINDOWS RE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
-	REQU ARE B INFILL SPHEI	IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	ING WINDOWS IE TO BE SSAGE OF 4"
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION Description	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION Description	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION Description	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION Description	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020 Description Description EL ASSOCIATES ARCHITEC Grant St, Suite 102, Lancaster, PA 17602 Phone: 71	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020 Description Description EL ASSOCIATES ARCHITEC Grant St, Suite 102, Lancaster, PA 17602 Phone: 71	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020 Description Description EL ASSOCIATES ARCHITEC Grant St, Suite 102, Lancaster, PA 17602 Phone: 71	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DT FOR CONSTRUCTI 10.28.2020 Description Description EL ASSOCIATES ARCHITEC Grant St, Suite 102, Lancaster, PA 17602 Phone: 71	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION CRIPTION	Date
No.		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION EL ASSOCIATES ARCHITEC GRIPTION ILL RENOVATIONS AND ALTERATIONS	Date
		IRED FOR CONTINUOUS FIRE RATING. IF EXIST BELOW EXISTING HANDRAILS, THESE AREAS AR ED WITH MATERIAL THAT WILL NOT ALLOW PAR RE. FINAL FINISH MATERIAL TBD BY OWNER. BID SET PHASE II DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION EL ASSOCIATES ARCHITEC STEHLI MILL, LLC CRIPTION	Date

ISSUE DATE

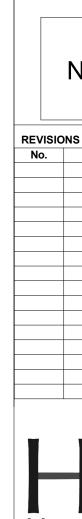
SCALE AS NOTED DRAWN BY кн

DA1.15

CHECKED BY PB



KEYNOTE		KEYNOTE LEGEND		
Ke	Key Value	Keynote Text	Key Value	
NEW PARTITION, B	209	EXISTING STAIR TO REMAIN.	080	
WALL SCHEDULE.		NEW ELEVATOR HOISTWAY TO BE CONSTRUCTED WITHIN EXISTING HOISTWAY TOWER, PER ALL ELEVATOR MANUFACTURER	081	
NEW DOUBLE OUT CONTRACTOR. RE	226			
NEW STEEL PICKE	245	REQUIREMENTS.		
3'-0" AFF, BY CONT FOREST GREEN.		NEW WINDOW, BY CONTRACTOR. REFER TO WINDOW DETAILS.	124	
EXISTING INACCES	256	NEW LOCKING ACCESS GATE, BY CONTRACTOR.	207	





SHEET TITLE ISSUE DATE

1929

KET GUARDRAIL WITH TOP RAIL NTRACTOR. GALVANIZED, PAINT

ESSIBLE SPACE TO REMAIN.

WALL .	TYPE LEGEND	
В		"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
01		01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
(01B)		01. 419. 01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
03		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
(03A)		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
03B		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
(03D)		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04		04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
(04A)		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
04B		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
(04C)	<b></b>	04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
05		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
06		INTERIOR INSULATED BRICK ON BRICK
07		8" CMU
(07A)	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
08		BRICK ON CMU
08B		BRICK ON CMU W FINISH
09		DMI FLATLOCK PANEL ON 6" MTL STUD
(09A)		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
10		10 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT

PROJECT CONDITI AND VERIFIED I CONTRACTOR. RE IN WRITING, TO CONSIDERATION WITH THE WORI SHALL BEAR THE WORK NOT APPRO	, MEASUREMENTS AND ONS SHALL BE CHECKED N THE FIELD BY THE FFER ALL DIFFERENCES, THE ARCHITECT FOR PRIOR TO PROCEEDING K. THE CONTRACTOR E COST OF RECTIFYING VED BY THE ARCHITECT, OF COORDINATION AND	STAMP
<u>GENERAL N</u>	<u>DTES</u>	
1. ALL WA ABOVE		RSIDE OF EXISTING STRUCTURE
2. ALL DIM	ENSIONS SHOWN ARE	TO FACE OF STRUCTURE U.N.O. DCATED 8" FROM THE NEAREST
CORNEI	R OR WALL U.N.O. COO	DRDINATE EXISTING CONDITIONS
ALL FIN	AL REQUIRED DOOR CL	EARANCES @ PUSH/PULL/LATCHES.
-	ED ITEMS. COORDINA	TE BLOCKING REQUIREMENTS WITH
5. ALL PLU ENCLOS	IMBING SUPPLY PIPING SED WITHIN GWB PART	AND DRAIN PIPING ARE TO BE ITIONS WHEN LOCATED IN FINISHED D ENCLOSED OR NOT. FUR WALL OR
	) FRAMING AS REQUIRE URE BY OWNER AND S	ED. HOWN FOR REFERENCE ONLY.
7. PROVID		N-UNIT LAUNDRY EQUIPMENT.
8. REFER	TO ENLARGED PLANS	FOR DIMENSIONS/WALL TYPES AT EXSTG STAIRS/RAILINGS TO REMAIN.
9. ALL GRI	D LINE DIMENSIONS BE	TWEEN COLUMN CENTER LINES TO
10. ALL EXIS BOOTS		OWNSPOUTS TO REMAIN. REPLACE DUTS IF DAMAGED OR MISSING. ALL
11. ALL EXF		L TO BE COATED WITH BLACK
12. ALL BRI	CK TO BE REPOINTED	AS NECESSARY. NSET FROM FACES OF ADJACENT
EXISTIN	G BRICKWORK. ALL EX	KISTING BRICK ARCHES TO BE
SHOWN	IN BACKGROUND BRIC	
14. REFER	TO CIVIL ENGINEERING	DOCUMENTS SEPARATELY FOR SITE.
FIRE WALL	LEGEND:	
- •	━ ● ━ =1H	IOUR RATED FIRE WALL
	• • = 2 H	IOUR RATED FIRE WALL
LEGEND		
	EXISTING WALL TO R	EMAIN
	NEW FRAME WALL	
	-	/ THERMAL OR SOUND BATT CATED ON DRAWINGS)
	PARTIAL HT STUD WA	ALL
	INDICATES MECHANIC PLUMBING, OR ELEC	
$\bigwedge$	EXIST DOOR TO REM	AIN AND REFURBISHED
	NEW DOOR	

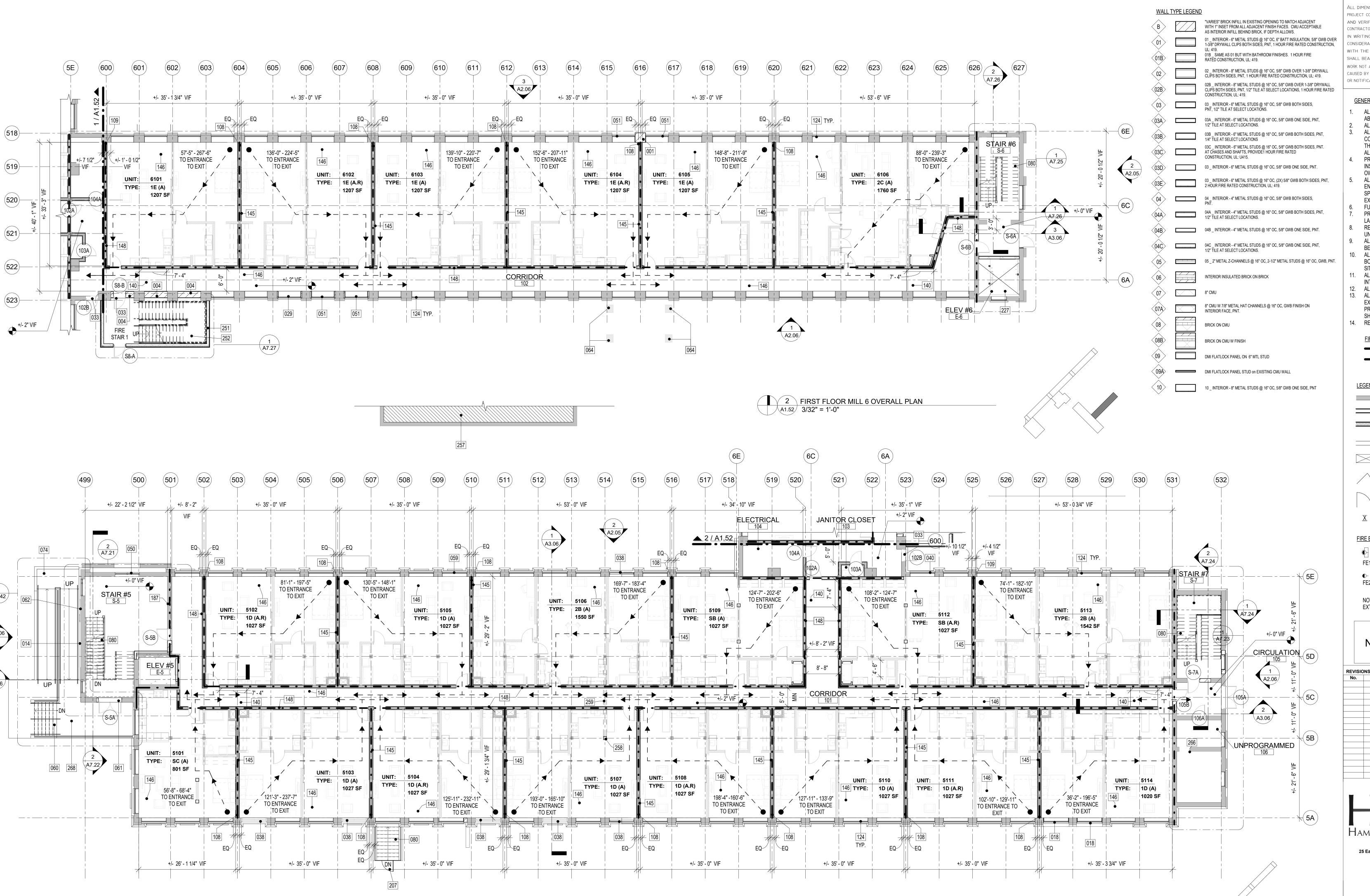
X PANEL SIGN

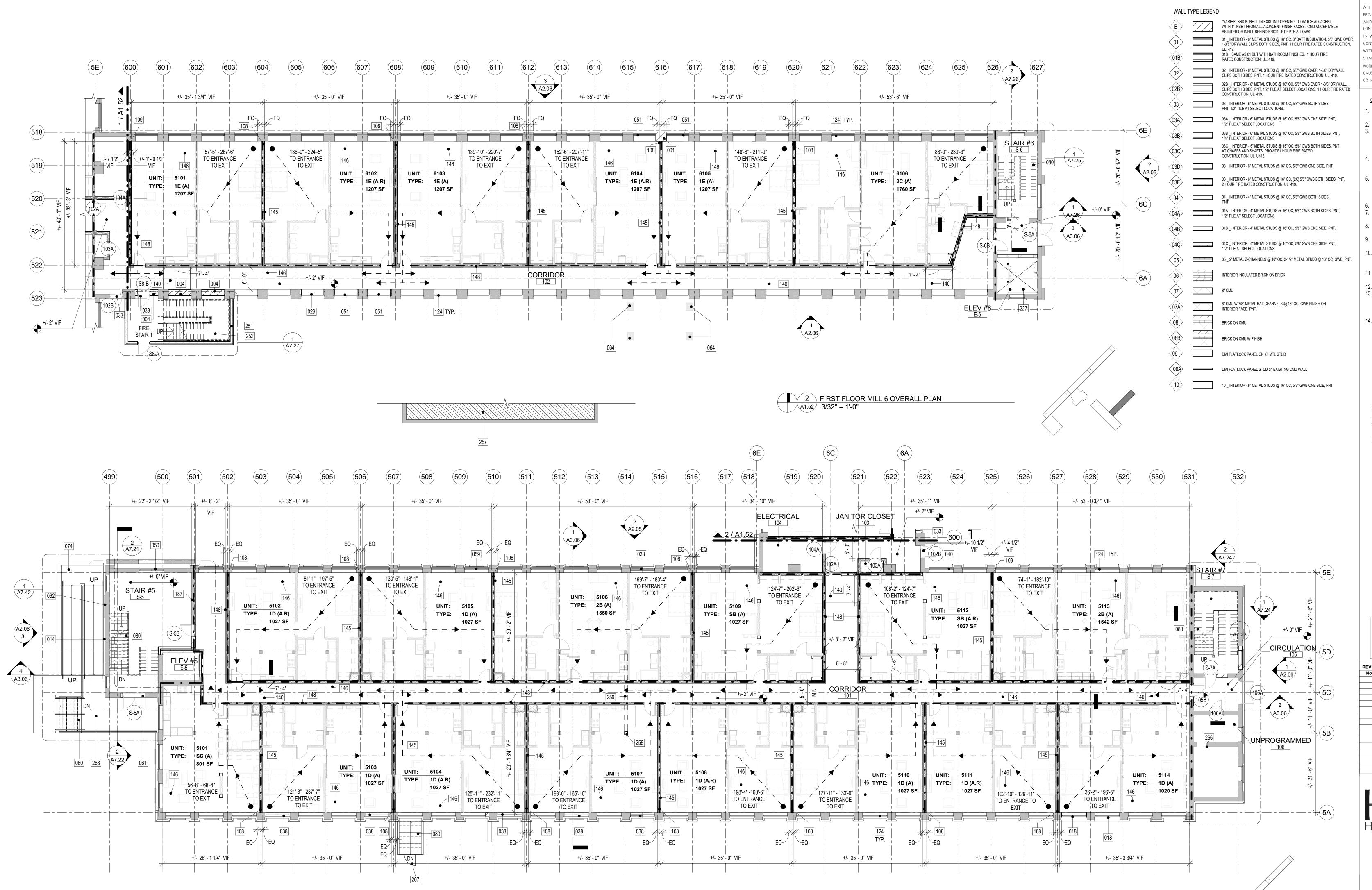
FIRE EXTINGUISHER KEY:

5-POUND TYPE ABC (MULTI-PURPOSE DRY CHEMICAL) FIRE EXTINGUISHER, SEMI-RECESSED W/ TOP AT 48" AFF.

 5-POUND TYPE ABC (MULTI-PURPOSE DRY CHEMICAL) FIRE
 FE2 EXTINGUISHER, WALL-MTD W/ TOP AT 48" AFF. NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF.

## BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 Description Date HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEHLI MILL, LLC PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 OVERALL BASEMENT FLOOR PLAN MILL 5 SCALE AS NOTED CHECKED BY FILE NUMBER DRAWN BY SK PB





	KEYNOTE LEGEND					
Key Value	Keynote Text					
001	INFILL BRICK PIER TO MATCH EXISTING. MATCH DIMENSIONS AND ALIGN COURSING.					
004	INFILL OPENING TO MATCH EXISTING IN COURSING AND COLORS. INSET NEW FINISH FACE FROM EXISTING ADJACENT, REFER TO DETAILS.					
014	EXISTING CONDITIONS OF CONSTRUCTION TO REMAIN. MAINTAIN AS MUCH OF EXISTING CHARACTER OF CONSTRUCTION AS POSSIBLE, INCLUDING SCARS AND BLEMISHES. SEAL WITH APPROVED SEALENT TO PREVENT FUTURE WATER INFILTRATION, BY CONTRACTOR.					
018	REPLACE METAL OVERHEAD DOORS WITH SASH WINDOWS.					
029	NEW SASH WINDOW(S), BY CONTRACTOR. REFER TO WINDOW DETAILS. INFILL SILL WITH MASONRY TO MATCH ADJACENT CONDITIONS IN COURSING, DIMENSIONS AND COLORS.					
033	NEW SINGLE DOOR, BY CONTRACTOR. REFER TO DOOR DETAILS.					
038	EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED, BY CONTRACTOR. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS IN KIND. DOORS TO BE MADE INOPERABLE, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE.					
040	REPLACEMENT SASH WINDOWS WHERE CMU INFILL WAS REMOVED, BY CONTRACTOR. INFILL SILL WITH MASONRY TO MATCH ADJACENT CONDITIONS IN COURSING, DIMENSIONS AND COLORS.					
050	EXISTING DOOR AND ALL ARTIFACTS TO BE DEACTIVATED AND RESTORED TO INOPERABLE CONDITION.					

	1 A2.0
	KEYNOTE LEGEND
Key Value	Keynote Text
051	REPLACEMENT SASH WINDOWS AT EXISTING OVERHEAD DOOR, BY CONTRACTOR.
059	EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED, BY CONTRACTOR. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS IN KIND. DOORS TO BE MADE INOPERABLE, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE.
060	NEW ENTRY STAIRS, BY CONTRACTOR. REFER TO DETAILS.
061	NEW MAIN ENTRY, BY CONTRACTOR. EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS IN KIND. TRANSOM TO BE RESTORED. REFER TO DOOR AND WINDOW DETAILS.
062	PREPARE TO RELOCATE FIRE DOOR FROM INTERIOR SIDE AND AFFIX TO EXTERIOR SIDE. OPENING TO RECEIVE NEW STOREFRONT TO MATCH EXISTING DOOR SIZE WITH SIDELIGHT. EXISTING OUTSWING PANEL FIRE DOOR AT EXTERIOR FACE TO BE FIXED IN PLACE IN OPEN POSITION.
064	EXISTING SUPPORTS FOR CONCRETE STRUCTURE ABOVE, TO REMAIN. PATCH AS REQUIRED.
074	NEW CONCRETE ADA RAMP AT ENTRY, BY CONTRACTOR.
080	EXISTING STAIR TO REMAIN.

KEYNOTE LEGEND			KEYNOTE LEGEND		
Key Value			e Keynote Text		
108	DWELLING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE CENTERED ON EXISTING / REPLACEMENT BRICK PIER BETWEEN WINDOWS.	227	NEW INTERNAL ELEVATOR HOISTWAY, BY CONTRACTOR, PER ALL ELEVATOR MANUFACTURER REQUIREMENTS.		
109	DWELLING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE OFF CENTER FROM EXISTING / REPLACEMENT BRICK PIER BETWEEN WINDOWS.	251	NEW CMU TOWER TO BE CLAD AT EXTERIOR WITH FLAT SEAMED METAL PANEL SYSTEM OVER WATER BARRIER AND 5/8" EXTERIOR RATED PLYWOOD SHEATHING OVER 7/8" METAL HAT		
124	NEW WINDOW, BY CONTRACTOR. REFER TO WINDOW DETAILS.	050	CHANNELS, BY CONTRACTOR. REFER TO DETAILS.		
140	PORTION OF SLOPED FLOOR TRANSITION, WITH TOPPING FEATHERED TO RECONCILE	252	NEW STAIR WITH METAL FORMS AND POURED CONCRETE TREADS, BY CONTRACTOR.		
	DIFFERENCE IN ELEVATION. APPLY FINISH FLOORING TO TRANSITION AREA TO MATCH ADJACENT. MAX SLOPE OF 3/8" IN 12".	257	EXISTING METAL WAREHOUSE BUILDING TO REMAIN.		
145	NEW PARTITION DIVIDING DWELLING UNIT FROM DWELLING UNIT, BY CONTRACTOR. REFER TO	258	NEW WOOD COLUMN TO MATCH EXISTING WHERE BRICK CHIMNEY WAS REMOVED, BY CONTRACTOR. SEAL NEW COLUMN, REFER TO FINISHES.		
	WALL TYPES.	259	NEW OVERHEAD BEAM BETWEEN COLUMNS TO MATCH EXISTING WHERE BRICK CHIMNEY AND		
146	NEW REGULAR WEIGHT CONCRETE TOPPING AT 3" THICK ATOP EXISTING FIRST FLOOR	200	PARTIAL BEAM PORTION WERE REMOVED, BY CONTRACTOR.		
	STRUCTURE (2" ON 2ND AND 3RD FLOOR), BY CONTRACTOR. ENGINEERED WOOD FLOORING TO BE APPLIED DIRECTLY OVER TOP OF CONCRETE TOPPING, BY CONTRACTOR.	266	THIS IS UNUSED SPACE AND CAN BE ACCOMMODATED INTO ADJACENT UNIT AS LIVING ROOM SPACE BY CUTTING NEW PASS THROUGH FROM UNIT SIDE, AND INFILLING DOOR TO STAIR WITH		
148	NEW PARTITION DIVIDING DWELLING UNIT FROM CIRCULATION AND SEPARATE		BRICK TO MATCH ADJACENT, INSET BY 1" AT FINISH PLANE.		
	STORAGE/MECHANICAL SPACE, BY CONTRACTOR. REFER TO WALL TYPES.	268	NEW CONCRETE LANDING, BY CONTRACTOR.		
187	SIGNIFICANT HOLE IN EXISTING BRICK WALL, PATCH AND REPAIR AS NECESSARY, BY CONTRACTOR.				
207	NEW LOCKING ACCESS GATE, BY CONTRACTOR.				

1 FIRST FLOOR MILL 5 OVERALL PLAN A1.52 3/32" = 1'-0"

SHEET TITLE ISSUE DATE

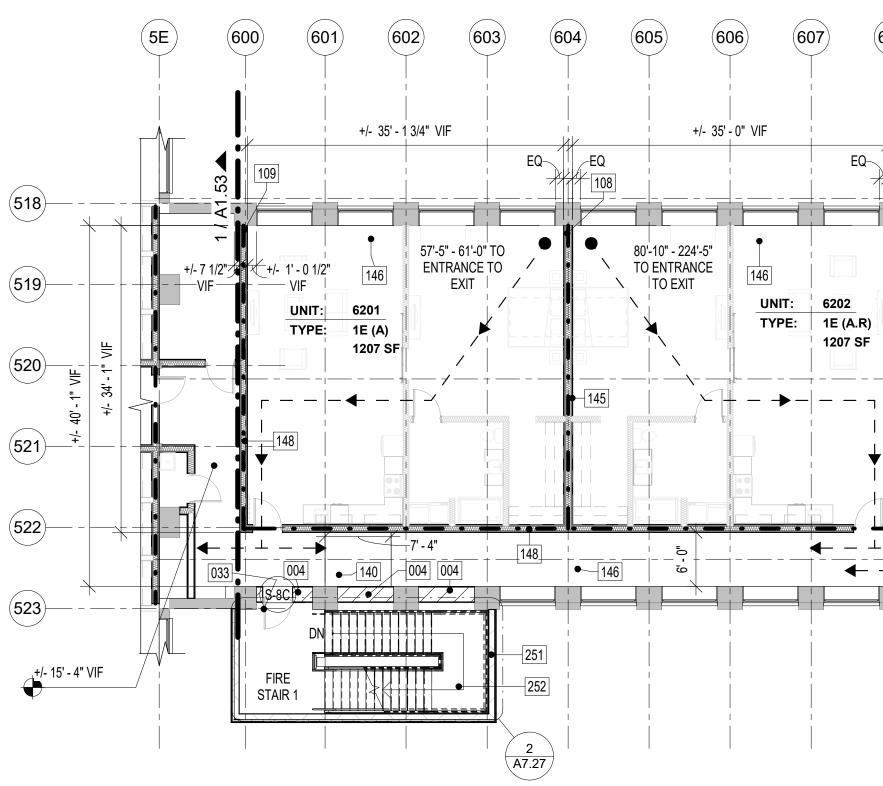
FILE NUMBER 1929

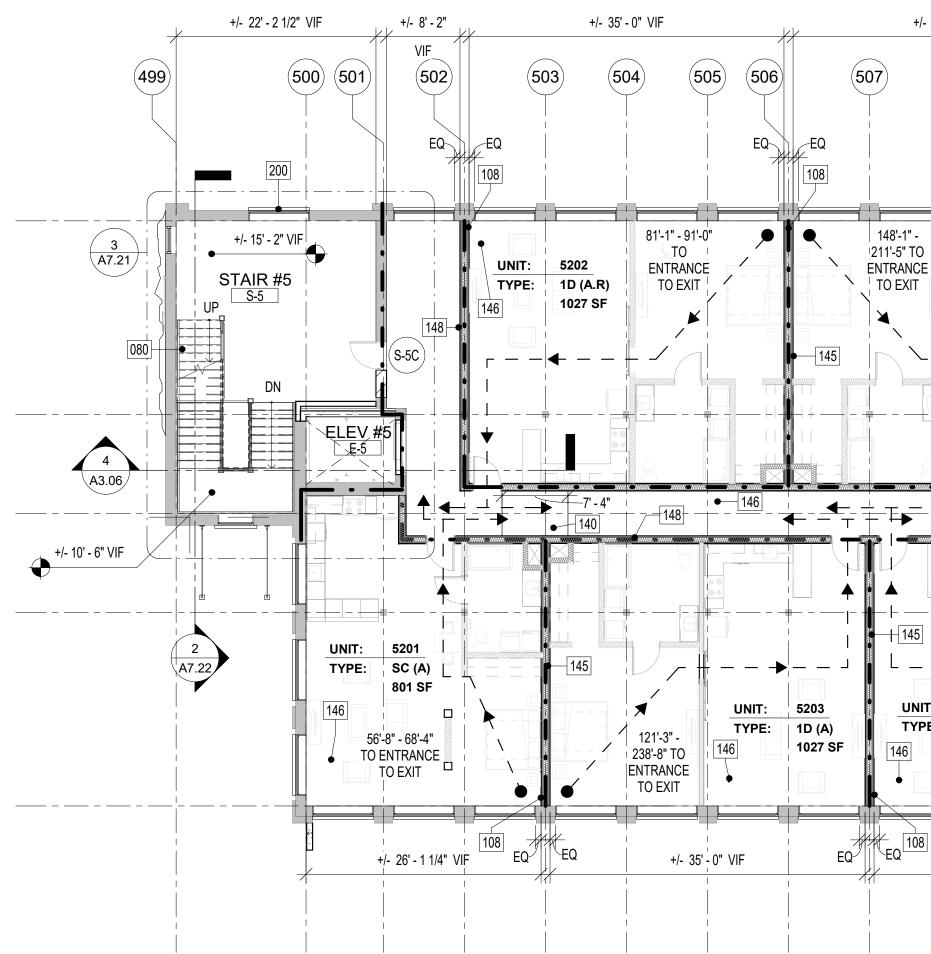
Tessions, MEASUREMENTS AND CONDITIONS SHALL BE CHECKED IRRED IN THE FIELD BY THE CTOR, REFER ALL DUFFERENCES, ING, TO THE ARCHTECT FOR REATION PRIOR TO PROCEEDING HE WORK. THE CONTRACTOR SEAT THE COST OF RECTIFYING T APROVED BY THE ARCHTECT, BY LACK OF COORDINATION AND FICATION.       STAUDES         ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL PUMENING SUPPLY DIPING AND DAIN PEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSHIPULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER.         ALL PULMEING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAINING AS REQUIRED. FURNITURES PUMENTS FOR DIMENSIONSWALL TYPES AT UNTY, STAIRS, ELEVATORS. EXSTG STAIRS/RALINGS TO REMAIN. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT.		
ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY. PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONSWALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STARS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK WORK TO DE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND! EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL W/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR	CONDITIONS SHALL BE CHECKED RIFIED IN THE FIELD BY THE CTOR. REFER ALL DIFFERENCES, TING, TO THE ARCHITECT FOR ERATION PRIOR TO PROCEEDING HE WORK. THE CONTRACTOR BEAR THE COST OF RECTIFYING DT APPROVED BY THE ARCHITECT, BY LACK OF COORDINATION AND	STAMP
ABOVE U.N.O. ALL DUMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DORO OPENINGS TO BE LOCATED & FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES POVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY. PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONSWALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STARS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND:  EXISTING WALL TO REMAIN NEW FRAME WALL  METAL STUD WALL W/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR	IERAL NOTES	
ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY. PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STARS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND: EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL W/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR	ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE ALL DOOR OPENINGS TO BE L CORNER OR WALL U.N.O. COO THROUGH DEMOLITION/ALTEF ALL FINAL REQUIRED DOOR C PROVIDE BLOCKING IN WALLS INSTALLED ITEMS. COORDINA OWNER.	TO FACE OF STRUCTURE U.N.O. OCATED 8" FROM THE NEAREST ORDINATE EXISTING CONDITIONS RATION AND NEW CONSTRUCTION FOR LEARANCES @ PUSH/PULL/LATCHES. FOR OWNER FURNISHED AND ATE BLOCKING REQUIREMENTS WITH
ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND:	ENCLOSED WITHIN GWB PART SPACE WHETHER ILLUSTRATE EXTEND FRAMING AS REQUIR FURNITURE BY OWNER AND S PROVIDE ROUGH-INS TO ALL I LAUNDRY EQUIPMENT BY OWN	TITIONS WHEN LOCATED IN FINISHED ED ENCLOSED OR NOT. FUR WALL OR ED. SHOWN FOR REFERENCE ONLY. IN-UNIT LAUNDRY EQUIPMENT. NER.
ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND:	ALL GRID LINE DIMENSIONS BE	
ALL BRICK TO BE REPOINTED AS NECESSARY. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND: = 1 HOUR RATED FIRE WALL = 2 HOUR RATED FIRE WALL = 2 HOUR RATED FIRE WALL GEND EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL W/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR	ALL EXISTING GUTTERS AND D BOOTS AT BASE OF DOWNSPO SITE DRAINAGE PER CIVIL ENO ALL EXPOSED INTERIOR STEE	OUTS IF DAMAGED OR MISSING. ALL GINEERING.
<ul> <li>= 1 HOUR RATED FIRE WALL</li> <li>= 2 HOUR RATED FIRE WALL</li> <li>EXISTING WALL TO REMAIN</li> <li>NEW FRAME WALL</li> <li>METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)</li> <li>PARTIAL HT STUD WALL</li> <li>INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE</li> <li>EXIST DOOR TO REMAIN AND REFURBISHED</li> <li>NEW DOOR</li> </ul>	ALL BRICK TO BE REPOINTED ALL NEW BRICK WORK TO BE EXISTING BRICKWORK. ALL EX PRESERVED AND BE LEFT VIS SHOWN IN BACKGROUND BRIC	INSET FROM FACES OF ADJACENT XISTING BRICK ARCHES TO BE IBLE, EVEN IF NOT SPECIFICALLY CK HATCH.
<ul> <li>= 2 HOUR RATED FIRE WALL</li> <li>GEND</li> <li>EXISTING WALL TO REMAIN</li> <li>NEW FRAME WALL</li> <li>METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)</li> <li>PARTIAL HT STUD WALL</li> <li>INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE</li> <li>EXIST DOOR TO REMAIN AND REFURBISHED</li> <li>NEW DOOR</li> </ul>	FIRE WALL LEGEND:	
GEND         EXISTING WALL TO REMAIN         NEW FRAME WALL         METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)         PARTIAL HT STUD WALL         INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE         EXIST DOOR TO REMAIN AND REFURBISHED         NEW DOOR		
<ul> <li>EXISTING WALL TO REMAIN</li> <li>NEW FRAME WALL</li> <li>METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)</li> <li>PARTIAL HT STUD WALL</li> <li>INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE</li> <li>EXIST DOOR TO REMAIN AND REFURBISHED</li> <li>NEW DOOR</li> </ul>		2 HOUR RATED FIRE WALL
<ul> <li>NEW FRAME WALL</li> <li>METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)</li> <li>PARTIAL HT STUD WALL</li> <li>INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE</li> <li>EXIST DOOR TO REMAIN AND REFURBISHED</li> <li>NEW DOOR</li> </ul>	GEND	
<ul> <li>METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)</li> <li>PARTIAL HT STUD WALL</li> <li>INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE</li> <li>EXIST DOOR TO REMAIN AND REFURBISHED</li> <li>NEW DOOR</li> </ul>	EXISTING WALL TO R	REMAIN
INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR		
INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR		
PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR	PARTIAL HT STUD W	ALL
NEW DOOR		
	EXIST DOOR TO REM	IAIN AND REFURBISHED
X PANEL SIGN	NEW DOOR	
	X PANEL SIGN	
RE EXTINGUISHER KEY:	RE EXTINGUISHER KEY:	
5-POUND TYPE ABC (MULTI-PURPOSE DRY CHEMICAL) FIRE EXTINGUISHER, SEMI-RECESSED W/ TOP AT 48" AFF.	EXTINGUISHER, SEMI-F	

●-FE2
 5-POUND TYPE ABC (MULTI-PURPOSE DRY CHEMICAL) FIRE EXTINGUISHER, WALL-MTD W/ TOP AT 48" AFF.

NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF.





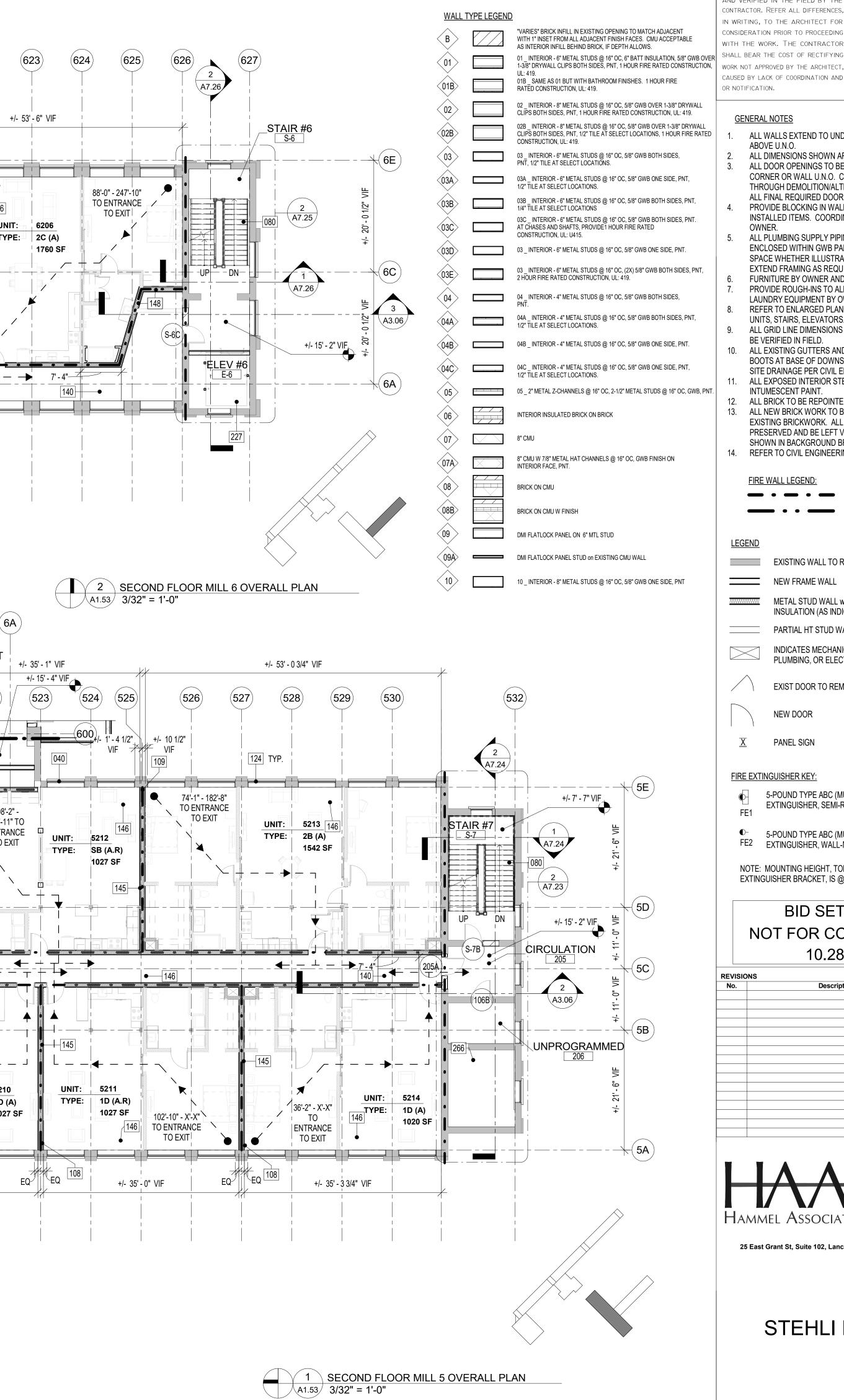


	KEYNOTE LEG
Key Value	Keyr
004	INFILL OPENING TO MATCH EXISTING FINISH FACE FROM EXISTING ADJACE
033	NEW SINGLE DOOR, BY CONTRACTO
038	EXISTING DOUBLE DOORS TO REMAI CONTRACTOR. IF DOORS CANNOT B REPLACED TO MATCH ORIGINAL DOO INOPERABLE, WITH ENTRY HARDWAF MATCHING PLATE.
040	REPLACEMENT SASH WINDOWS WHE CONTRACTOR. INFILL SILL WITH MAS IN COURSING, DIMENSIONS AND COL
080	EXISTING STAIR TO REMAIN.
108	DWELLING UNIT SEPARATION WALL F CENTERED ON EXISTING / REPLACEN

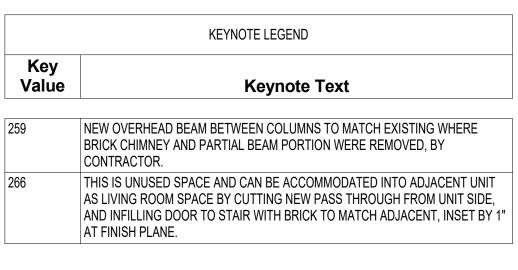
6	08 60	09 6	10 611	) (612)	613	614	615 (6	16 6	17 6	18 619	) (620)	621	622
	EQ 108	+/- 35'	- 0" VIF	N 1 1 1 /1 -	EQ 108	+/- 35' - 0" VIF	EQ	EQ 108	+/- 35'	- 0" VIF	EQ	EQ 108 12	4] TYP.
R) F 	UNIT: TYPE:	146 6203 1E (A) 1207 SF	86'-0" - 220'-7" TO ENTRANCE TO EXIT		152'-6" - 152 TO ENTRAN TO EXIT		6204 1E (A.R) 1207 SF	UNIT: TYPE:	146 6205 1E (A) 1207 SF	148'-8" - 157'-11 TO ENTRANCE TO EXIT			
	       124 TYP.				+/- 15' - 4" VIF			3313 32 GE	033				

		(6E)	(6C) (6A
+/- 35'-0" VIF	+/- 53'-3" VIF	+/- 34 <sup>'</sup> - 7" VIF	JANITOR CLOSET
508 509 510	EQ +/- 10 1/		
I" - 'TO NCE KIT UNIT: 5205 146 TYPE: 1D (A) 1027 SF 145	UNIT: 5206 146 TYPE: 2B (A) 1550 SF	UNIT: 5209 TYPE: SB (A) 1027 SF	
UNIT: 5204 TYPE: 1D (A.R) 1027 SF 125'-11" - 233 TO ENTRAN TO EXIT			145 UNIT: 5210 TYPE: 1D (A) 127'-11" - X'-X" TO ENTRANCE TO EXIT
108 +/- 35' - 0" VIF	EQ 108 +/- 35'- 0" VIF 038 EQ 10	08 +/- 35'-0" VIF EQ	EQ 108 124 TYP. +/- 35' - 0" VIF

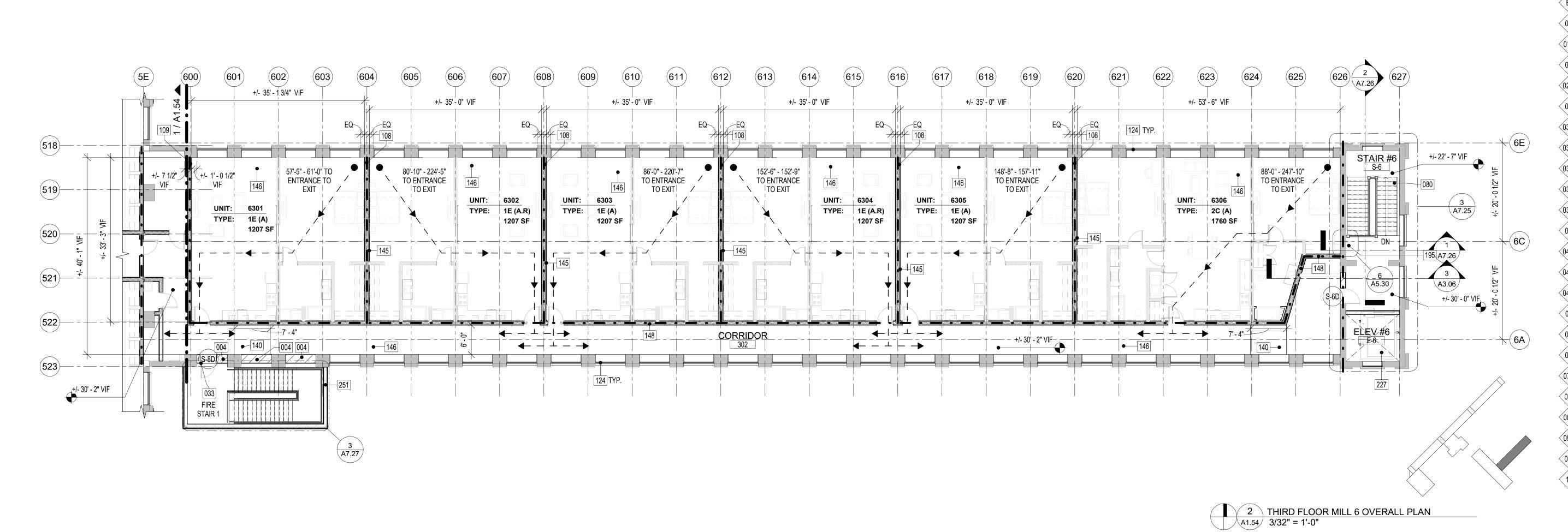
GEND		KEYNOTE LEGEND		KEYNOTE LEGEND	
note Text	Key Value Keynote Text		Key Value	Keynote Text	
G IN COURSING AND COLORS. INSET NEW ENT, REFER TO DETAILS.	109 DWELLING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE OFF CENTER FROM EXISTING / REPLACEMENT BRICK PIER BETWEEN WINDOWS.		200	EXISTING DOOR AND ALL ARTIFACTS TO BE DEACTIV INOPERABLE CONDITION, BY CONTRACTOR. RETAIN	
R. REFER TO DOOR DETAILS.	124	NEW WINDOW, BY CONTRACTOR. REFER TO WINDOW DETAILS.	007		
IN AND BE REPAIRED/RESTORED, BY BE REPAIRED/RESTORED, THEY ARE TO BE ORS IN KIND. DOORS TO BE MADE	140	PORTION OF SLOPED FLOOR TRANSITION, WITH TOPPING FEATHERED TO RECONCILE DIFFERENCE IN ELEVATION. APPLY FINISH FLOORING TO TRANSITION AREA TO MATCH ADJACENT. MAX SLOPE OF 3/8" IN 12".	227	NEW INTERNAL ELEVATOR HOISTWAY, BY CONTRACT MANUFACTURER REQUIREMENTS. NEW CMU TOWER TO BE CLAD AT EXTERIOR WITH FL	
RE REMOVED AND CAPPED WITH	145	NEW PARTITION DIVIDING DWELLING UNIT FROM DWELLING UNIT, BY CONTRACTOR. REFER TO WALL TYPES.	201	PANEL SYSTEM OVER WATER BARRIER AND 5/8" EXTERIO SHEATHING OVER 7/8" METAL HAT CHANNELS, BY CONTR	
ERE CMU INFILL WAS REMOVED, BY SONRY TO MATCH ADJACENT CONDITIONS LORS.	146	NEW REGULAR WEIGHT CONCRETE TOPPING AT 3" THICK ATOP EXISTING FIRST FLOOR STRUCTURE (2" ON 2ND AND 3RD FLOOR), BY CONTRACTOR. ENGINEERED WOOD FLOORING TO BE APPLIED DIRECTLY OVER TOP OF	252	DETAILS. NEW STAIR WITH METAL FORMS AND POURED CONCRET CONTRACTOR.	
		CONCRETE TOPPING, BY CONTRACTOR.	258	NEW WOOD COLUMN TO MATCH EXISTING WHERE BRICH	
FRAMING AT THIS LOCATION TO BE MENT BRICK PIER BETWEEN WINDOWS.	148	NEW PARTITION DIVIDING DWELLING UNIT FROM CIRCULATION AND SEPARATE STORAGE/MECHANICAL SPACE, BY CONTRACTOR. REFER TO WALL TYPES.		REMOVED, BY CONTRACTOR. SEAL NEW COLUMN, REFE	

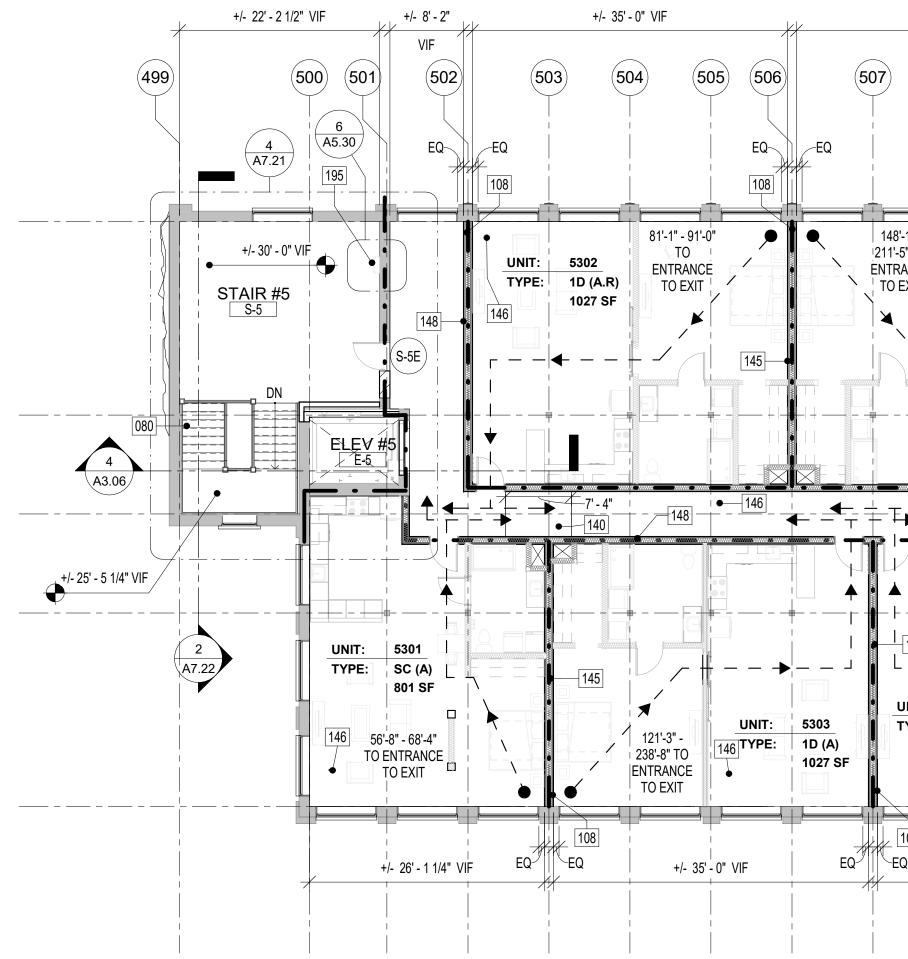


TED AND RESTORED TO HARACTER OF EXISTING DR, PER ALL ELEVATOR T SEAMED METAL RIOR RATED PLYWOOD TRACTOR. REFER TO ETE TREADS, BY CK CHIMNEY WAS FER TO FINISHES.







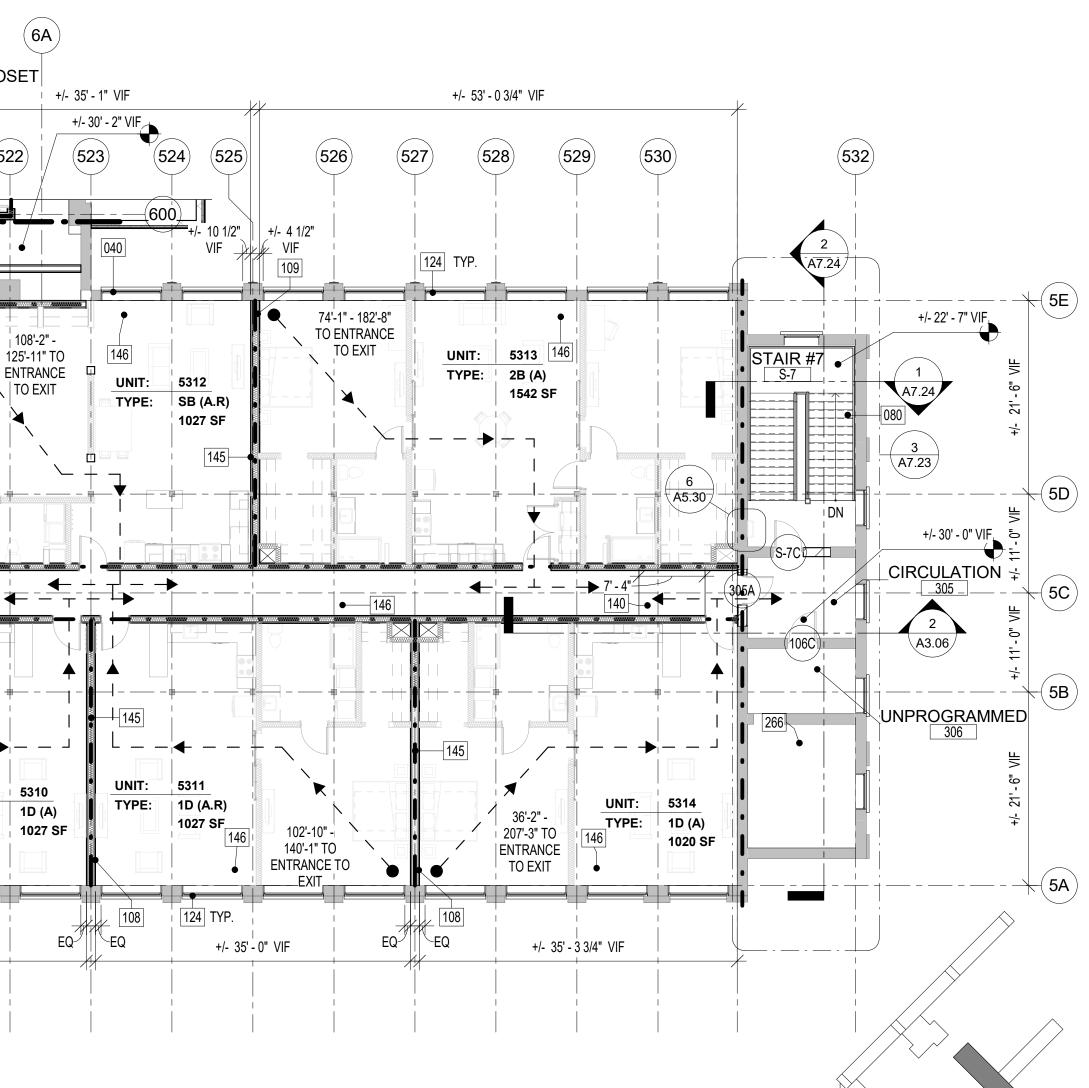


KEYNOTE LEGEND		KEYNOTE LEGEND	KEYNOTE LEGEND		
ey ue Keynote Text		Text Key Value Keynote Text		Keynote Text	
INFILL OPENING TO MATCH EXISTING IN COURSING AND COLORS. INSET NEW FINISH FACE FROM EXISTING ADJACENT, REFER TO DETAILS.	109	DWELLING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE OFF CENTER FROM EXISTING / REPLACEMENT BRICK PIER BETWEEN WINDOWS.	195	PROVIDE NEW ACCESS LADDER TO EXISTING ROOF HATCH, BY CONTRACTOR, REFER TO DETAILS. PROVIDE CATWALKS AND UPPER LADDERS AS NECESSARY.	
NEW SINGLE DOOR, BY CONTRACTOR. REFER TO DOOR DETAILS.	124	NEW WINDOW, BY CONTRACTOR. REFER TO WINDOW DETAILS.	227	NEW INTERNAL ELEVATOR HOISTWAY, BY CONTRACTOR, PER ALL	
EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED, BY CONTRACTOR. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY	140	PORTION OF SLOPED FLOOR TRANSITION, WITH TOPPING FEATHERED TO RECONCILE DIFFERENCE IN ELEVATION. APPLY FINISH FLOORING TO TRANSITION AREA TO MATCH ADJACENT. MAX SLOPE OF 3/8" IN 12".	251	ELEVATOR MANUFACTURER REQUIREMENTS. NEW CMU TOWER TO BE CLAD AT EXTERIOR WITH FLAT SEAMED METAL PANEL SYSTEM OVER WATER BARRIER AND 5/8" EXTERIOR RATED	
BE MADE INOPERABLE, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE.	145	NEW PARTITION DIVIDING DWELLING UNIT FROM DWELLING UNIT, BY CONTRACTOR. REFER TO WALL TYPES.		PLYWOOD SHEATHING OVER 7/8" METAL HAT CHANNELS, BY CONTRACTOR. REFER TO DETAILS.	
REPLACEMENT SASH WINDOWS WHERE CMU INFILL WAS REMOVED, BY CONTRACTOR. INFILL SILL WITH MASONRY TO MATCH ADJACENT	146	NEW REGULAR WEIGHT CONCRETE TOPPING AT 3" THICK ATOP EXISTING FIRST FLOOR STRUCTURE (2" ON 2ND AND 3RD FLOOR), BY	258	NEW WOOD COLUMN TO MATCH EXISTING WHERE BRICK CHIMNEY WAS REMOVED, BY CONTRACTOR. SEAL NEW COLUMN, REFER TO FINISHES.	
			259	NEW OVERHEAD BEAM BETWEEN COLUMNS TO MATCH EXISTING WHERE BRICK CHIMNEY AND PARTIAL BEAM PORTION WERE REMOVED,	
	148			BY CONTRACTOR.	
	INFILL OPENING TO MATCH EXISTING IN COURSING AND COLORS. INSET NEW FINISH FACE FROM EXISTING ADJACENT, REFER TO DETAILS. NEW SINGLE DOOR, BY CONTRACTOR. REFER TO DOOR DETAILS. EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED, BY CONTRACTOR. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS IN KIND. DOORS TO BE MADE INOPERABLE, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE. REPLACEMENT SASH WINDOWS WHERE CMU INFILL WAS REMOVED, BY	Keynote TextValueINFILL OPENING TO MATCH EXISTING IN COURSING AND COLORS. INSET NEW FINISH FACE FROM EXISTING ADJACENT, REFER TO DETAILS.109NEW SINGLE DOOR, BY CONTRACTOR. REFER TO DOOR DETAILS.124EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED, BY CONTRACTOR. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS IN KIND. DOORS TO BE MADE INOPERABLE, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE.145REPLACEMENT SASH WINDOWS WHERE CMU INFILL WAS REMOVED, BY CONTRACTOR. INFILL SILL WITH MASONRY TO MATCH ADJACENT CONDITIONS IN COURSING, DIMENSIONS AND COLORS.146EXISTING STAIR TO REMAIN.148	Keynote TextValueKeynote TextINFILL OPENING TO MATCH EXISTING IN COURSING AND COLORS. INSET NEW FINISH FACE FROM EXISTING ADJACENT, REFER TO DETAILS.109DWELLING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE OFF CENTER FROM EXISTING / REPLACEMENT BRICK PIER BETWEEN WINDOWS.NEW SINGLE DOOR, BY CONTRACTOR. REFER TO DOOR DETAILS.124NEW WINDOW, BY CONTRACTOR. REFER TO WINDOW DETAILS.EXISTING DOUBLE DOORS TO REMAIN AND BE REPAIRED/RESTORED, BY CONTRACTOR. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS IN KIND. DOORS TO BE MADE INOPERABLE, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE.140PORTION OF SLOPED FLOOR TRANSITION. WITH TOPPING FEATHERED TO RECONCILE DIFFERENCE IN ELEVATION. APPLY FINISH FLOORING TO TRANSITION AREA TO MATCH ADJACENT. MAX SLOPE OF 3/8" IN 12".REPLACEMENT SASH WINDOWS WHERE CMU INFILL WAS REMOVED, BY CONTRACTOR. INFILL SILL WITH MASONRY TO MATCH ADJACENT CONDITIONS IN COURSING, DIMENSIONS AND COLORS.146NEW REGULAR WEIGHT CONCRETE TOPPING AT 3" THICK ATOP EXISTING FIRST FLOOR STRUCTURE (2" ON 2ND AND 3RD FLOOR), BY CONTRACTOR. ENGINEERED WOOD FLOORING TO BE APPLIED DIRECTLY OVER TOP OF CONCRETE TOPPING, BY CONTRACTOR.WEULING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE148NEW PARTITION DIVIDING DWELLING UNIT FROM CIRCULATION AND	Keynote TextValueKeynote TextValueINFILL OPENING TO MATCH EXISTING IN COURSING AND COLORS. INSET NEW FINISH FACE FROM EXISTING ADJACENT, REFER TO DETAILS.109DWELLING UNIT SEPARATION WALL FRAMING AT THIS LOCATION TO BE OFF CENTER FROM EXISTING / REPLACEMENT BRICK PIER BETWEEN 	

									(6E		(	6 <b>C</b>	(
+/- 35'-0" VIF		γ		+/- 53'-3	" VIF				+/- 34'-	- 7" VIF		JANI	ITOR CLOSE
508	509 510   EQ   108	EQ	511) (5     	12 513	51		+/- 10 1/2"	5 +/- 4 1/2" VIF	17 518 2/A1.54	519 STORAGE			
148'-1" - 11'-5" TO ITRANCE O EXIT TYPE	5305 146	+/- 29'- 2" VIF			5306 2B (A) 1550 SF	133'-1" - 182'-8" TO ' ENTRANCE TO EXIT		UNIT: TYPE:	● 146 5309 SB (A) 1027 SF			148 +/- 8' - 4 1/2" VIF	(303A) 108 125- ENTH TO
UNIT: 5304 TYPE: 1D (A.R)		7		-+/- 30' - 2" VIF				5308 1D (A.R) 1027 SF	•				DR
1027 SF	125'-11" - 233 TO ENTRAN TO EXIT	ICE `\	108 EQ	166'-5" - 193'-0" TO ENTRANCE TO EXIT +/- 35' - 0'		1D (A) 1027 SF	145 108 EQ		- 0" VIF		127 TC 108 EQ	7'-11" - 134'-9" DENTRANCE TO EXIT +/- 35' -	

R	
ETAL	
WAS	
HES.	

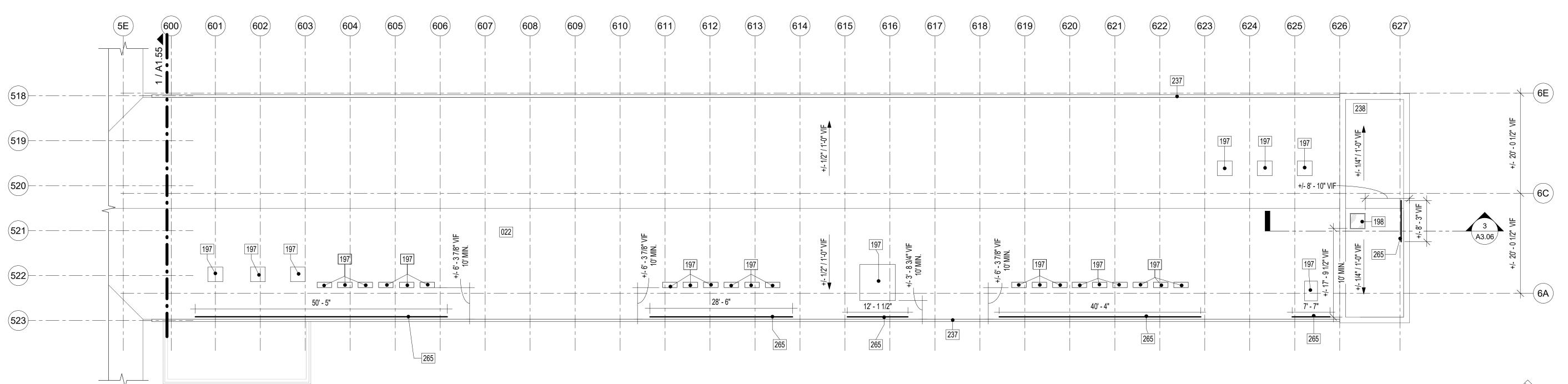
	1 A1.54	THIRD FLOOR MILL 5 OVERALL PL 3/32" = 1'-0"
	KEYNOTE LEGEND	
Key Value	Keynote Text	
266	THIS IS UNUSED SPACE AND CAN BE ACCOMMODATED INTO ADJACENT UNIT AS LIVING ROOM SPACE BY CUTTING NEW PASS THROUGH FROM UNIT SIDE, AND INFILLING DOOR TO STAIR WITH BRICK TO MATCH ADJACENT, INSET BY 1" AT FINISH PLANE.	

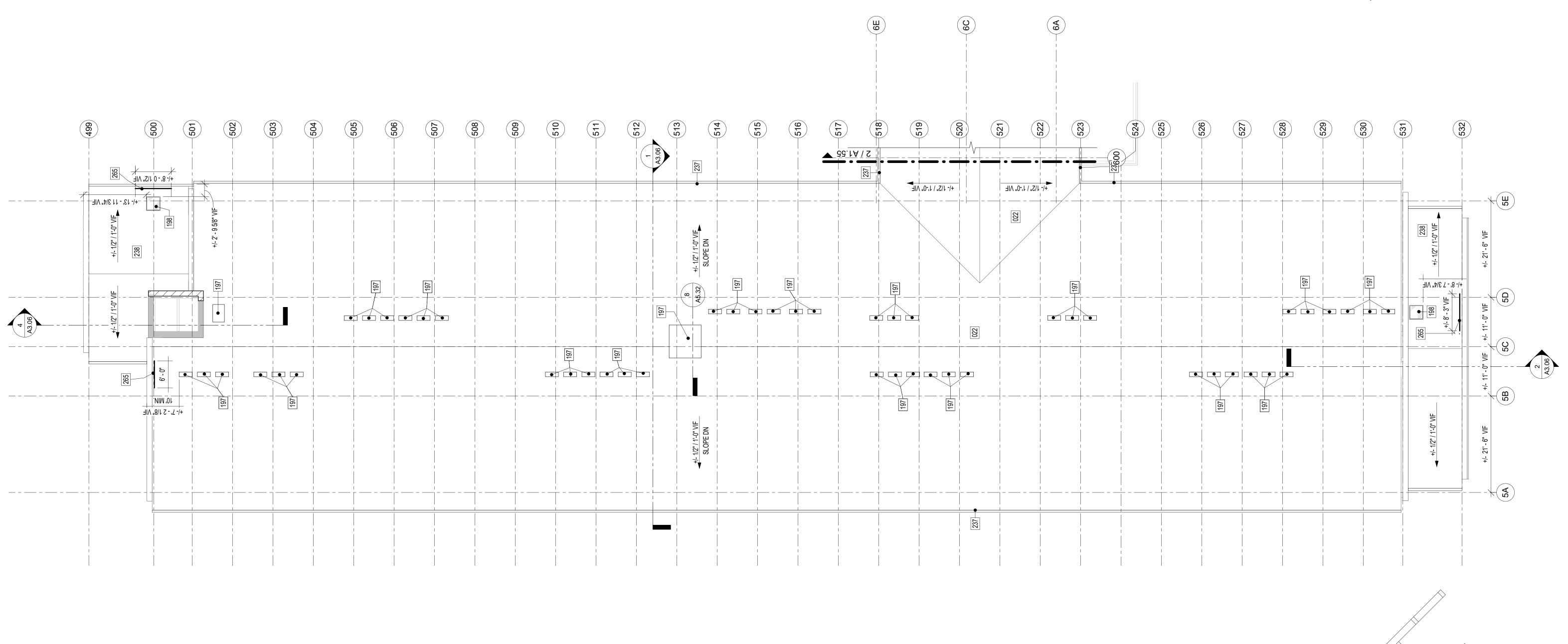


WALL T	YPE LEGEND	
В		"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
01		01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
)1B		01. 419. 01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
28		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
03		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
3A>		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
3B		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
30		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
3D		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
3E		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04		04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
4A>		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
4B		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
40		04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
05		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
06		INTERIOR INSULATED BRICK ON BRICK
07		8" CMU
ATO	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
08		BRICK ON CMU
)8B		BRICK ON CMU W FINISH
9		DMI FLATLOCK PANEL ON 6" MTL STUD
APC		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
10		10 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT

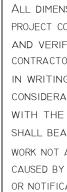
STEHLI SI 619-629 M, LANCASTE PA 17601

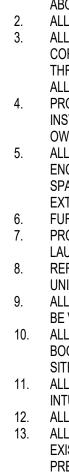
All dimensions, measurements and Project conditions shall be checked
AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES,
IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR
SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT,
CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.
GENERAL NOTES
<ol> <li>ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O.</li> <li>ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O.</li> </ol>
3. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR
ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. 4. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND
INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. 5. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE
ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED.
<ol> <li>FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.</li> <li>PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER.</li> </ol>
8. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN.
BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE
BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK
INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY. 13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT
EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH.
14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.
FIRE WALL LEGEND:
= 2 HOUR RATED FIRE WALL
LEGEND
EXISTING WALL TO REMAIN
NEW FRAME WALL         METAL STUD WALL w/ THERMAL OR SOUND BATT
INSULATION (AS INDICATED ON DRAWINGS)
INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE
EXIST DOOR TO REMAIN AND REFURBISHED
NEW DOOR
$\overline{X}$ PANEL SIGN
FIRE EXTINGUISHER KEY:
5-POUND TYPE ABC (MULTI-PURPOSE DRY CHEMICAL) FIRE EXTINGUISHER, SEMI-RECESSED W/ TOP AT 48" AFF.
<ul> <li>5-POUND TYPE ABC (MULTI-PURPOSE DRY CHEMICAL) FIRE</li> </ul>
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF.
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
NOTE: MOUNTING HEIGHT, TOP OF CABINET OR FIRE EXTINGUISHER BRACKET, IS @ 48" AFF. BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS
<form><form></form></form>
<form></form>

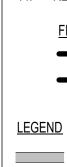




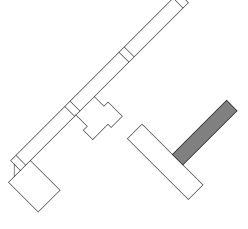
	KEYNOTE LEGEND		KEYNOTE LEGEND
Key Value	Keynote Text	Key Value	Keynote Text
	·		
022	EXISTING EPDM ROOF TO REMAIN, REPAIR WHERE NECESSARY.	238	EXISTING ROOFING TO REMAIN. REPAIR AS NECESSARY, BY CONTRACTOR.
197	MECHANICAL EQUIPMENT, BY CONTRACTOR, REFER TO MEP DOCUMENTS.	265	NEW MECHANICAL GUARD BY CONTRACTOR. 1-1/2"DIA GALVANIZED PIPE, 42" TALL, WITH
198	EXISTING ROOF HATCH TO REMAIN.		VERTICAL AND HORIZONTAL GUARD INFILLS
237	EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPAIR AS NECESSARY, BY CONTRACTOR.		SPACED AT 20" OC MAX, PAINT FOREST GREEN.

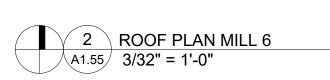






PROJEC STEHLI SIL 619-629 MA LANCASTE PA 17601

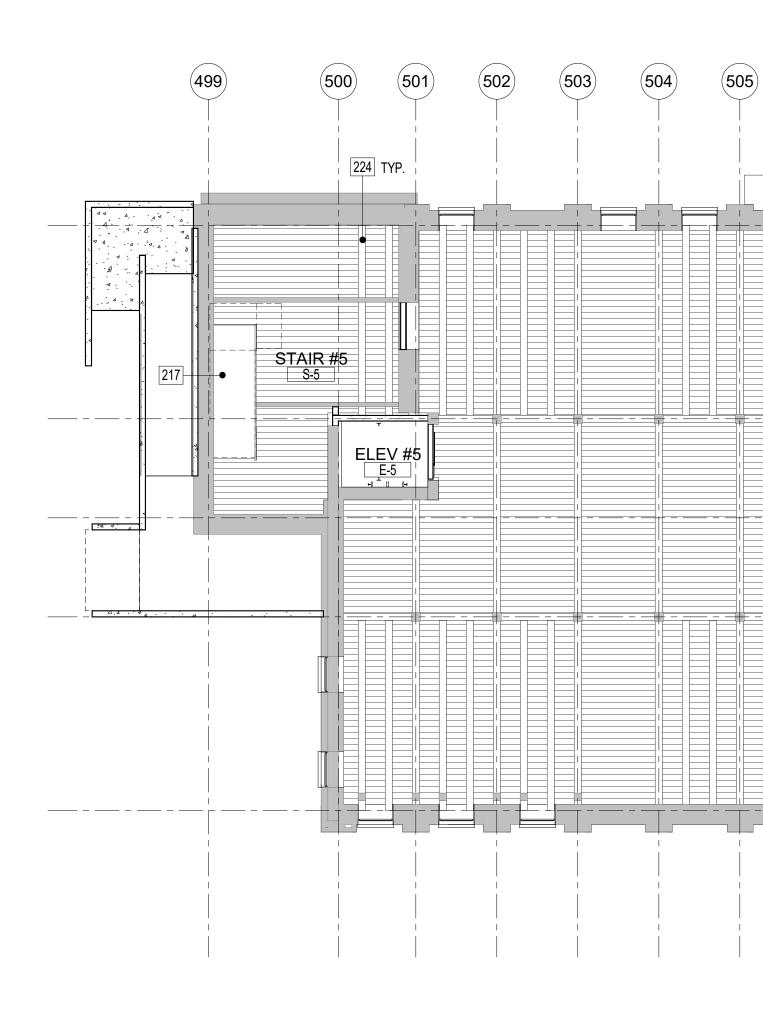




1 A1.55 ROOF PLAN MILL 5 3/32" = 1'-0"

	IONS, MEASUREMENTS AND NDITIONS SHALL BE CHECKED	STAMP	
	ED IN THE FIELD BY THE R. REFER ALL DIFFERENCES,		
CONSIDERAT	TO THE ARCHITECT FOR		
SHALL BEAF	WORK. THE CONTRACTOR		
	PPROVED BY THE ARCHITECT, LACK OF COORDINATION AND		
1. ALL	A <u>L NOTES</u> WALLS EXTEND TO UNDE	ERSIDE OF EXISTIN	NG STRUCTURE
2. ALL	DVE U.N.O. DIMENSIONS SHOWN AR DOOR OPENINGS TO BE		
CO	RNER OR WALL U.N.O. COROUGH DEMOLITION/ALTE	ORDINATE EXIST	ING CONDITIONS
4. PR	FINAL REQUIRED DOOR ( DVIDE BLOCKING IN WALL	S FOR OWNER FU	RNISHED AND
OW	TALLED ITEMS. COORDIN NER. . PLUMBING SUPPLY PIPIN		
EN	CLOSED WITHIN GWB PAR	TITIONS WHEN LO	OCATED IN FINISHED
6. FUI	END FRAMING AS REQUIR RNITURE BY OWNER AND	SHOWN FOR REF	
LAL	DVIDE ROUGH-INS TO ALL INDRY EQUIPMENT BY OW FER TO ENLARGED PLANS	VNER.	
9. ALL	TS, STAIRS, ELEVATORS. . GRID LINE DIMENSIONS E		
10. ALL	VERIFIED IN FIELD. . EXISTING GUTTERS AND DTS AT BASE OF DOWNSF		
SIT 11. ALL	E DRAINAGE PER CIVIL EN . EXPOSED INTERIOR STE	IGINEERING.	
12. ALL	UMESCENT PAINT. . BRICK TO BE REPOINTED . NEW BRICK WORK TO BE	-	
EXI	STING BRICKWORK. ALL E SERVED AND BE LEFT VI	EXISTING BRICK A	RCHES TO BE
SH	OWN IN BACKGROUND BR FER TO CIVIL ENGINEERIN	ICK HATCH.	
<u>FII</u>	RE WALL LEGEND:		
	- · · ·	= 1 HOUR RATED = 2 HOUR RATED	
			· · · · <b>· · ·</b>
LEGEND	EXISTING WALL TO REI	MAIN	
	NEW FRAME WALL		
******	METAL STUD WALL w/ 1 INSULATION (AS INDICA		
	PARTIAL HT STUD WAL		
$\searrow$	INDICATES MECHANICA PLUMBING, OR ELECTR		
$\land$	EXIST DOOR TO REMAI	N AND REFURBIS	HED
	NEW DOOR		
\ X	PANEL SIGN		
<u> </u>	PANEL SIGN		
<u>FIRE EXTI</u>	NGUISHER KEY:		
년 551	5-POUND TYPE ABC (MUL EXTINGUISHER, SEMI-RE		
€ FE1 €-	EXTINGUISHER, SEMÌ-RE	CESSED W/ TOP A	T 48" AFF. ´
		CESSED W/ TOP A .TI-PURPOSE DRY	T 48" AFF. Ó CHEMICAL) FIRE
€- FE2 NOTE:	EXTINGUISHER, SEMÌ-RE 5-POUND TYPE ABC (MUL	CESSED W/ TOP A .TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR	T 48" AFF. ´ CHEMICAL) FIRE AFF.
€- FE2 NOTE:	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4	CESSED W/ TOP A .TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF.	T 48" AFF. ´ CHEMICAL) FIRE AFF. FIRE
€- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE	T 48" AFF. ´ CHEMICAL) FIRE AFF. FIRE
€- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC	CESSED W/ TOP A .TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU(	T 48" AFF. ´ CHEMICAL) FIRE AFF. FIRE
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
€- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. ´ CHEMICAL) FIRE AFF. FIRE
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
P- FE2 NOTE: EXTING	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRU( .2020	T 48" AFF. CHEMICAL) FIRE AFF. FIRE TI CTION
	EXTINGUISHER, SEMÌ-REG 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC .2020	T 48" AFF. ´ CHEMICAL) FIRE AFF. FIRE II CTION Date Date
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descript	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION Date Date
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 44 BID SET OT FOR CC 10.28 Descripti	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION Date Date
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 44 BID SET OT FOR CC 10.28 Descripti	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION Date Date
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descript Descript St Grant St, Suite 102, Lanca	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 44 BID SET OT FOR CC 10.28 Descripti	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descript Descript St Grant St, Suite 102, Lanca	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descript Descript St Grant St, Suite 102, Lanca	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descript Descript St Grant St, Suite 102, Lanca	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REI 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP O UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descripti Descripti STEHLI I STEHLI I	CESSED W/ TOP A TI-PURPOSE DRY ID W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE ONSTRUC 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REI 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CO 10.28 Descripti Descripti STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE NSTRU( 2020 ion CES ARCH aster, PA 17602 Pho NILL, L	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMÌ-REI 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CO 10.28 Descripti Descripti STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I STEHLI I	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE NSTRU( 2020 ion CES ARCH aster, PA 17602 Pho NILL, L	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMİ-REN 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS (()) 44 BID SET OT FOR CO 10.28 Descript Descript Descript STEHLII STEHLII STEHLII	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE NSTRUC 2020 ion CES ARCH aster, PA 17602 Pho NILL, L	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMİ-REN 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MI MOUNTING HEIGHT, TOP ( UISHER BRACKET, IS @ 4 BID SET OT FOR CC 10.28 Descript Descript Descript STEHLII	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE NSTRU( .2020 ion 	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION
	EXTINGUISHER, SEMI-REA 5-POUND TYPE ABC (MUL EXTINGUISHER, WALL-MT MOUNTING HEIGHT, TOP O UISHER BRACKET, IS (2) 44 BID SET OT FOR CO 10.28 Descript Descript Descript COT FOR CO 10.28 Descript STEHLII STE	CESSED W/ TOP A TI-PURPOSE DRY TD W/ TOP AT 48" A OF CABINET OR 8" AFF. PHASE DNSTRU( 2020	T 48" AFF. ' CHEMICAL) FIRE AFF. FIRE II CTION

SK PB A1.55



## 215 224 TYP. 5D <u>\_\_\_\_\_</u> • 215 TYP. STORAGE ------(**5C**) \_ 001\_ \_ • \_\_\_\_\_ 224 TYP. -----(5A)

(514)

(513)

(512)

(507)

(508)

(509)

(510)

(511)

(506)

KEYNOTE LEGEND Key Value Keynote Text EXISTING TONGUE AND GROOVE WOOD TO REMAIN, AND STAY EXPOSED. 215 EXISTING PLASTER CEILING TO REMAIN. PATCH AS REQUIRED, PAINT, BY CONTRACTOR. EXISTING FLOOR SUPPORT BEAM TO REMAIN AND STAY EXPOSED. 224

 1
 REFLECTED CEILING PLAN MILL 5 BASEMENT

 A1.70
 3/32" = 1'-0"

REVISIONS No.

RCP LEGEND TONGUE & GROOVE WOOD DECKING

ALL DIMENSIONS, MEASUREMENTS AND PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

5/8" GYPSUM WALL BOARD, PNT

OPEN TO STRUCTURE ABOVE

1. ALL ELEVATIONS RELATIVE TO FINISHED FLOOR, EXCEPT WHEN

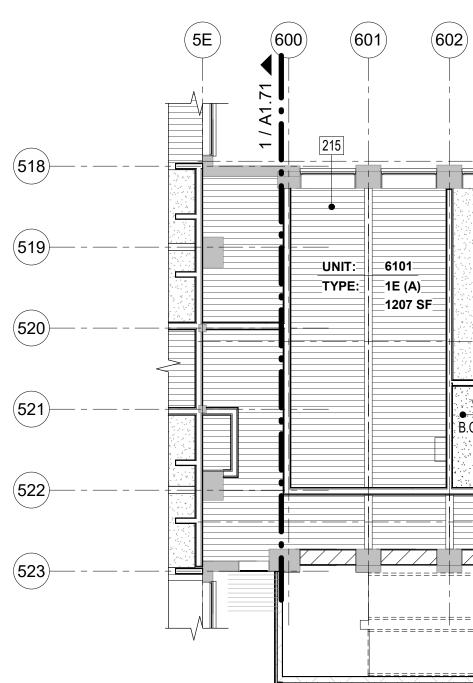
TILE LAYOUT ORIGIN POINT

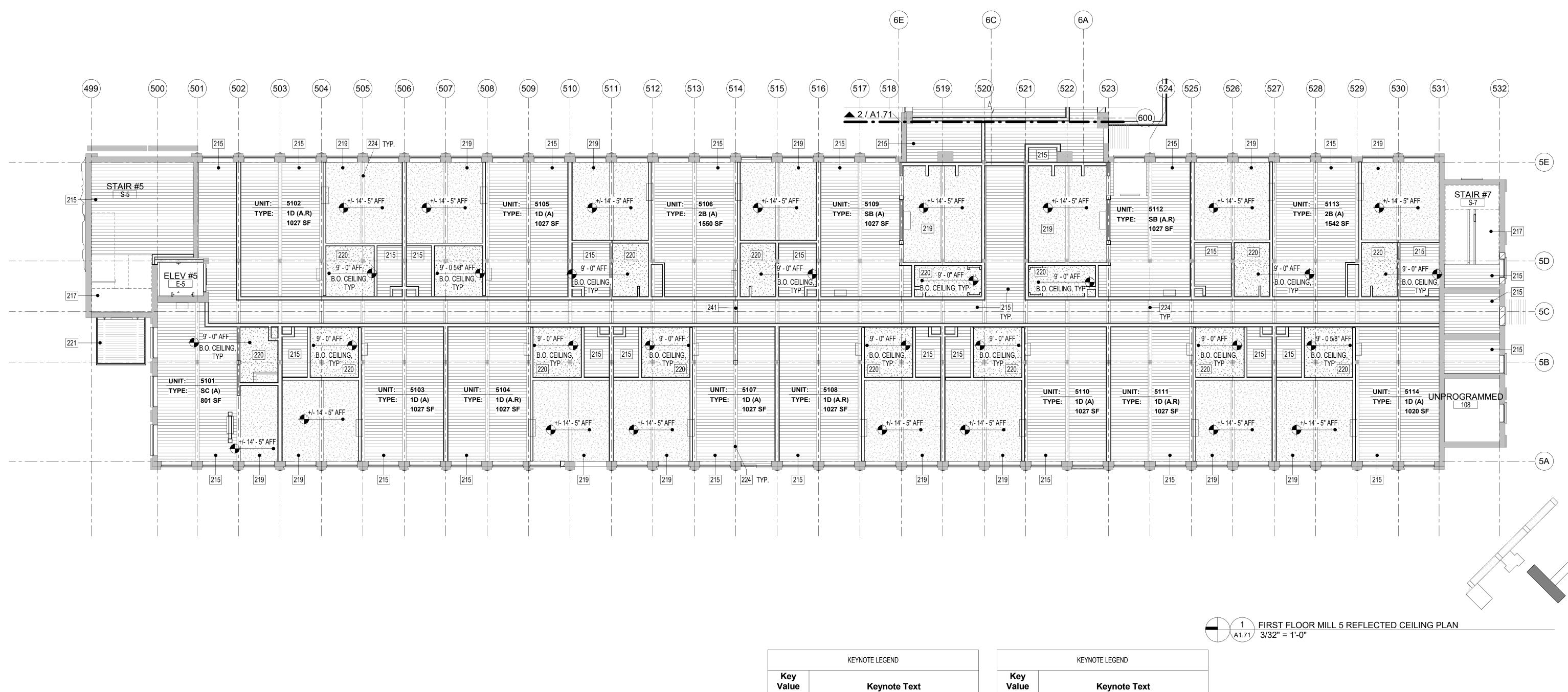
RCP GENERAL NOTES:

NOTED OTHERWISE.

BID SET PHASE II
NOT FOR CONSTRUCTION
10.28.2020
e

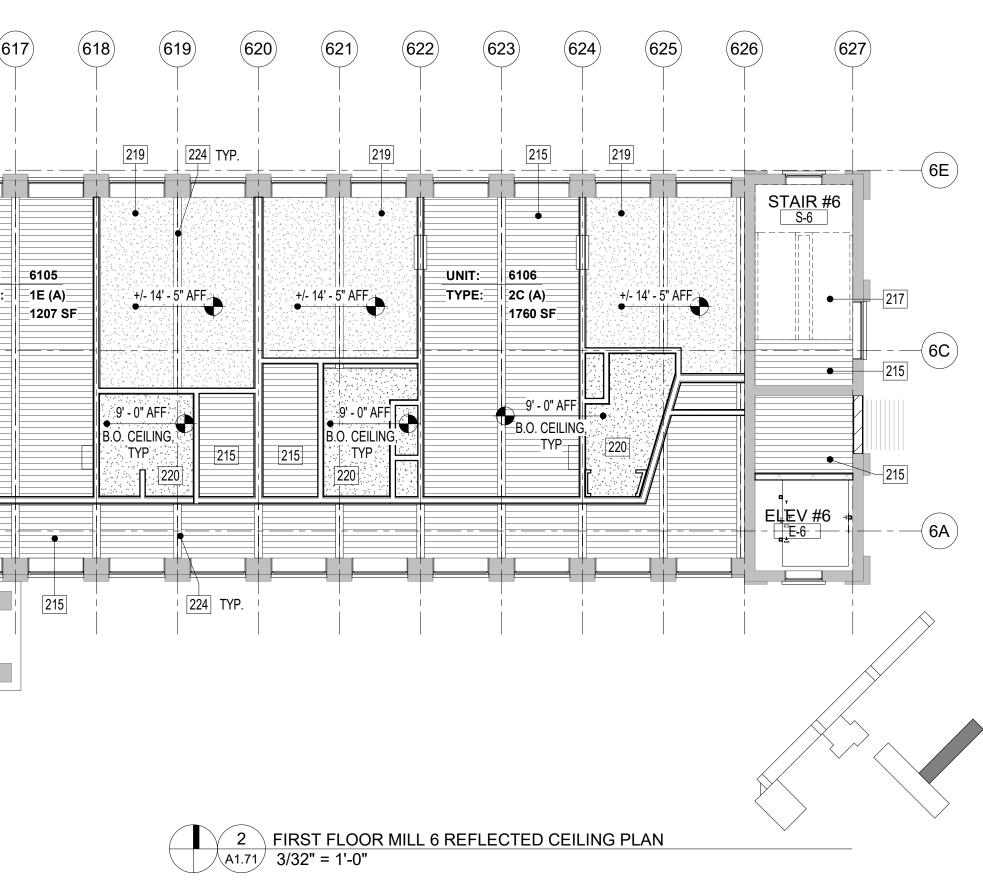
No.		000			Date
			cription		
		$\Delta scoord$			ECTS, LLC
IIA	VIVIEL	13300			ECIS, LLC
25	East Grant S	it, Suite 102, I	Lancaster, PA 17	602 Phone	e: 717 393-3713
	СТ	- LU	I N / II I		$\sim$
	ST	EHL	I MILL	_, LI	LC
	ST	EHL	I MILL	_, LI	LC
	ST	EHL	I MILL	_, LI	LC
	ST	EHL	I MILL	_, LI	LC
	ST	EHL	I MILL	., LI	LC
	ST	EHL	I MILL	., LI	LC
	ST	EHL	I MILL	., LI	LC
	ST		IMILL	., LI	LC
PROJEC	ST		I MILL	., LI	LC
PROJEC	ST T DESCRIPT		IMILL	., LI	LC
		ION			LC
STEHLI S	SILK MILL RE	ION	<b>I MILL</b>		LC
STEHLI S 619-629 I LANCAS	SILK MILL RE MARTHA AVI TER,	ION			LC
STEHLI S 619-629 I LANCAS	SILK MILL RE MARTHA AVI TER,	ION			LC
STEHLI S	SILK MILL RE MARTHA AVI TER,	ION			LC
STEHLI S 619-629 I LANCAS PA 17601	SILK MILL RE MARTHA AVI TER, I	ION			LC
STEHLI S 619-629 I LANCAS PA 17601 SHEET T	Silk Mill Re Martha Avi Ter, I I	ION NOVATIONS	AND ALTERATIO		LC
STEHLI S 619-629 I LANCAS PA 17601 SHEET T	Silk Mill Re Martha Avi Ter, I I	ION NOVATIONS			LC
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/	SILK MILL RE MARTHA AVI TER, I I T <b>ILE</b> ASEMENT R	ION NOVATIONS	AND ALTERATIO		LC
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/	SILK MILL RE MARTHA AVI TER, I I T <b>ILE</b> ASEMENT R	ION NOVATIONS	AND ALTERATIO	NS	
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ -	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS	
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ -	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS	LC CHECKED BY
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ - FILE NUI	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS	СНЕСКЕД ВУ
STEHLI S 619-629 I LANCAS PA 17601 SHEET T	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS	
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ - FILE NUI	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS	
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ - FILE NUI	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS ED BY	РВ
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ - FILE NUI	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS EFLECTED CI	AND ALTERATIO	NS ED BY	РВ
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ - - FILE NUI	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS EFLECTED CI	AND ALTERATIO	NS ED BY	РВ
STEHLI S 619-629 I LANCAS PA 17601 SHEET T MILL 5 B/ ISSUE D/ - -	SILK MILL RE MARTHA AVI TER, I T <b>ITLE</b> ASEMENT RI ATE	ION NOVATIONS	AND ALTERATIO	NS	РВ





+/- 14' - 5" AFF	+/- 14' - 5" AFF	E: 1E (A.R) TYPE: 1E	03 (A) 07 SF		UNIT: 6104 TYPE: 1E (A.R) 1207 SF
9' - 0" AFF B.O. CEILING TYP 215	9' - 0" AFF B.O. CEILING, 215 220		9' - 0" AFF B.O. CEILING, TYP 220	215 220	

	KEYNOTE LEGEND			
Key Value	Keynote Text	Key Value		
215	EXISTING TONGUE AND GROOVE WOOD TO REMAIN, AND STAY EXPOSED.	221	NEW TONG BY CONTRA	
217	EXISTING PLASTER CEILING TO REMAIN. PATCH AS REQUIRED, PAINT, BY CONTRACTOR.	224	EXISTING F EXPOSED.	
219	NEW DRYWALL CEILING ABOVE BEDROOM/CLOSET, PAINT, BY CONTRACTOR, REFER TO DETAILS.	241	NEW PORT CONTRACT	
220	NEW MOLD RESISTANT DRYWALL CEILING ABOVE BATHROOM, PAINT, BY CONTRACTOR.			



NGUE AND GROOVE WOOD AT NEW CANOPY/BAY, IRACTOR. SEALED. REFER TO FINISHES. G FLOOR SUPPORT BEAM TO REMAIN AND STAY

ORTION OF BEAM TO MATCH EXISTING, BY ACTOR, REFER TO STRUCTURAL DOCUMENTS.

All dimensions, measurements and STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

RCP LEGEND

5/8" GYPSUM WALL BOARD, PNT OPEN TO STRUCTURE ABOVE

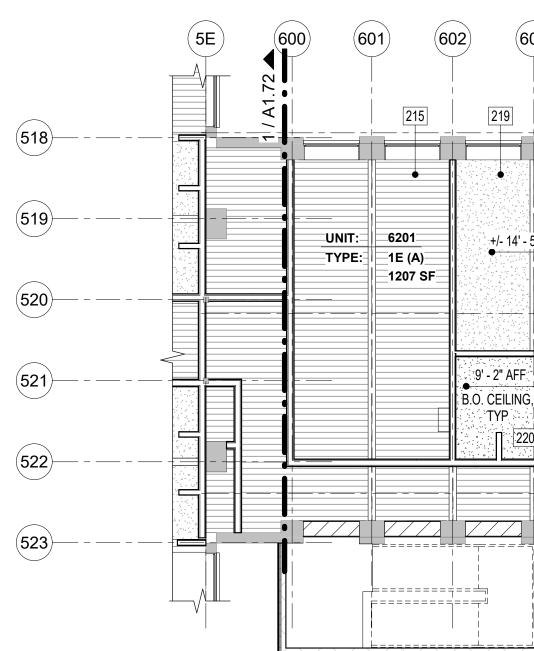
TONGUE & GROOVE WOOD DECKING

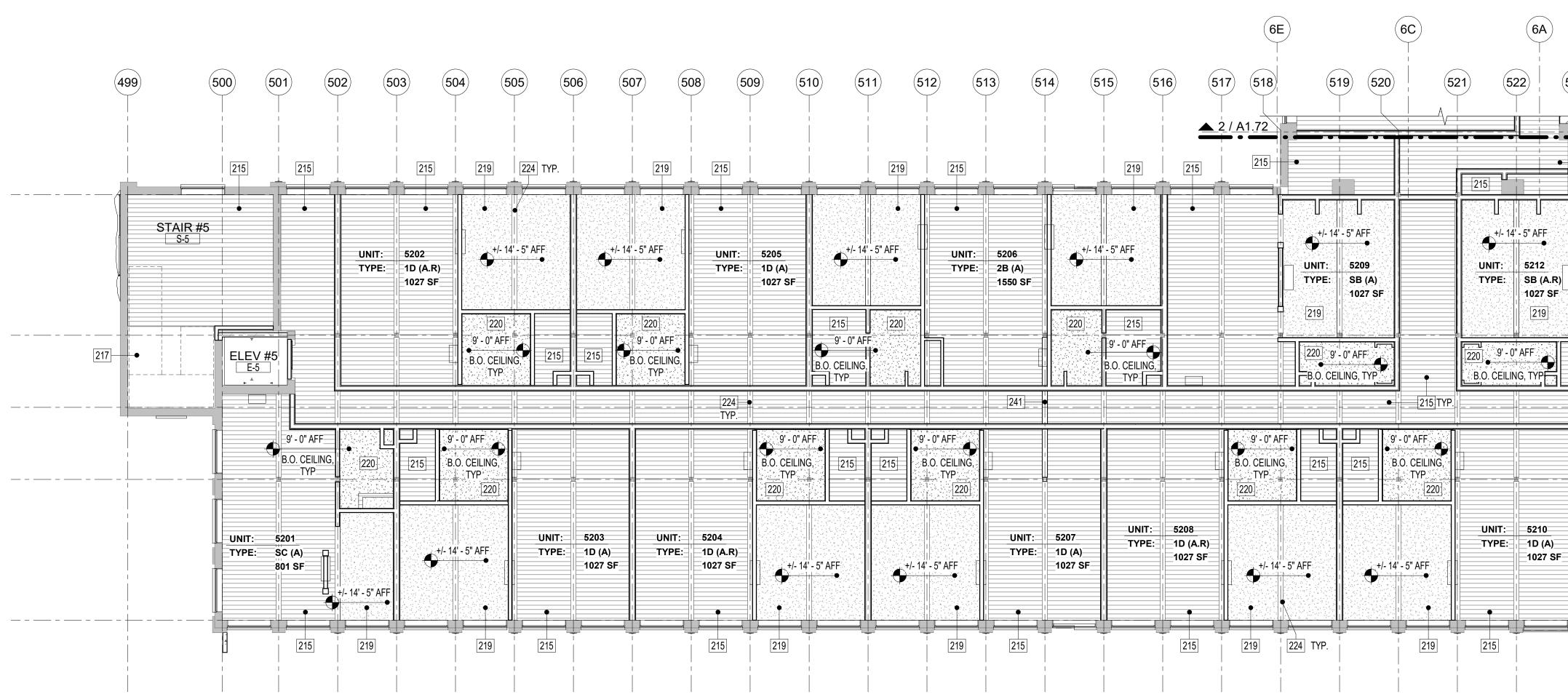
TILE LAYOUT ORIGIN POINT

#### RCP GENERAL NOTES:

1. ALL ELEVATIONS RELATIVE TO FINISHED FLOOR, EXCEPT WHEN NOTED OTHERWISE.







603 (60	4 605 60	6 607 6	08 609 6			4 615 616	617
						215 224 TYP.	
+/- 14' - 5" AFF	+/- 14' - 5" AFF	UNIT: 6202 TYPE: 1E (A.R) 1207 SF	UNIT: 6203 TYPE: 1E (A) 1207 SF	+/- 14' - 5" AFF	+/- 14' - 5" AFF	UNIT: 6204 TYPE: 1E (A.R) 1207 SF	UNIT: 620 TYPE: 1E 120
- 2" AFF CEILING, TYP 220	215 220 220			9' - 2" AFF B.O. CEILING, TYP 220	9' - 2" AFF B.O. CEILING, TYP 220		
				215 TYP.	224 TYP.		

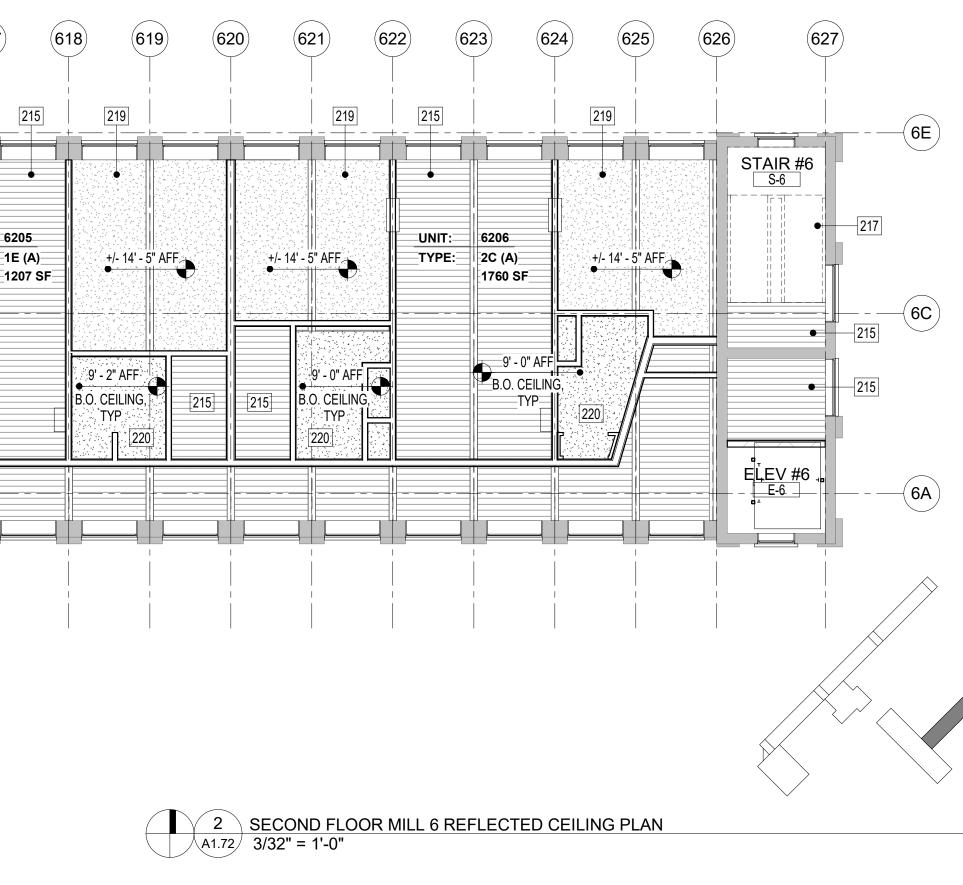
	KEYNOTE LEGEND	KEYNOTE L			
Key Value	Keynote Text	Key Value	Key		
215	EXISTING TONGUE AND GROOVE WOOD TO REMAIN, AND STAY EXPOSED.	220	NEW MOLD RESISTAN BATHROOM, PAINT, B		
217	EXISTING PLASTER CEILING TO REMAIN. PATCH AS REQUIRED, PAINT, BY CONTRACTOR.	224	EXISTING FLOOR SUF AND STAY EXPOSED.		
219	NEW DRYWALL CEILING ABOVE BEDROOM/CLOSET, PAINT, BY CONTRACTOR, REFER TO DETAILS.	241	NEW PORTION OF BE CONTRACTOR, REFEI DOCUMENTS.		

TANT DRYWALL CEILING ABOVE , BY CONTRACTOR. JPPORT BEAM TO REMAIN BEAM TO MATCH EXISTING, BY FER TO STRUCTURAL

## EGEND

eynote Text

523 524 525 526 527 528 (529) 530 532 531 **•** 215 219 215 219 215 - - **(5E**) • • STAIR #7 +/- 14' - 5" AFF +/- 14' - 5" AFF UNIT: 5213 TYPE: 2B (A) 1542 SF • 217 1027 SF 219 215 220 220 215 - - (5D) 9' - 0" AFF B.O. CEILING, TYP 9' - 0" AFF • 215 ु∳े,∤∦≣ B.O. CEILING, • <u>215</u> <u>5C</u> \_\_\_\_\_ 9' - 0" AFF B.O. CEILING, TYP 220 B.O. CEILING, 215 • 215 ----(5B) UNIT: 5214 UNPROGRAMMED 215 108 108 1D (A) 1027 SF +/- 14' - 5" AFF +/- 14' - 5" AFF 1027 SF 1020 SF N.∯K. ∑t(∳s≓ -**(5A**) • • 219 215 219 215 1 SECOND FLOOR MILL 5 REFLECTED CEILING PLAN A1.72 3/32" = 1'-0"



OR NOTIFICATION.

RCP LEGEND

REVISIONS No.

ISSUE DATE

FILE NUMBER 1929

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND

(	1 - + 1	-	

5/8" GYPSUM WALL BOARD, PNT

OPEN TO STRUCTURE ABOVE

TONGUE & GROOVE WOOD DECKING

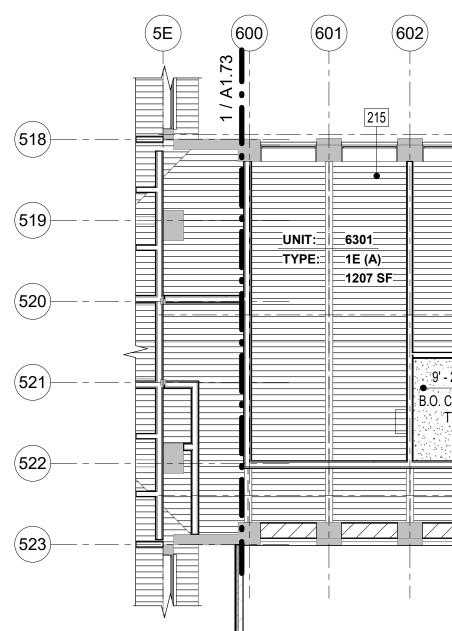
TILE LAYOUT ORIGIN POINT

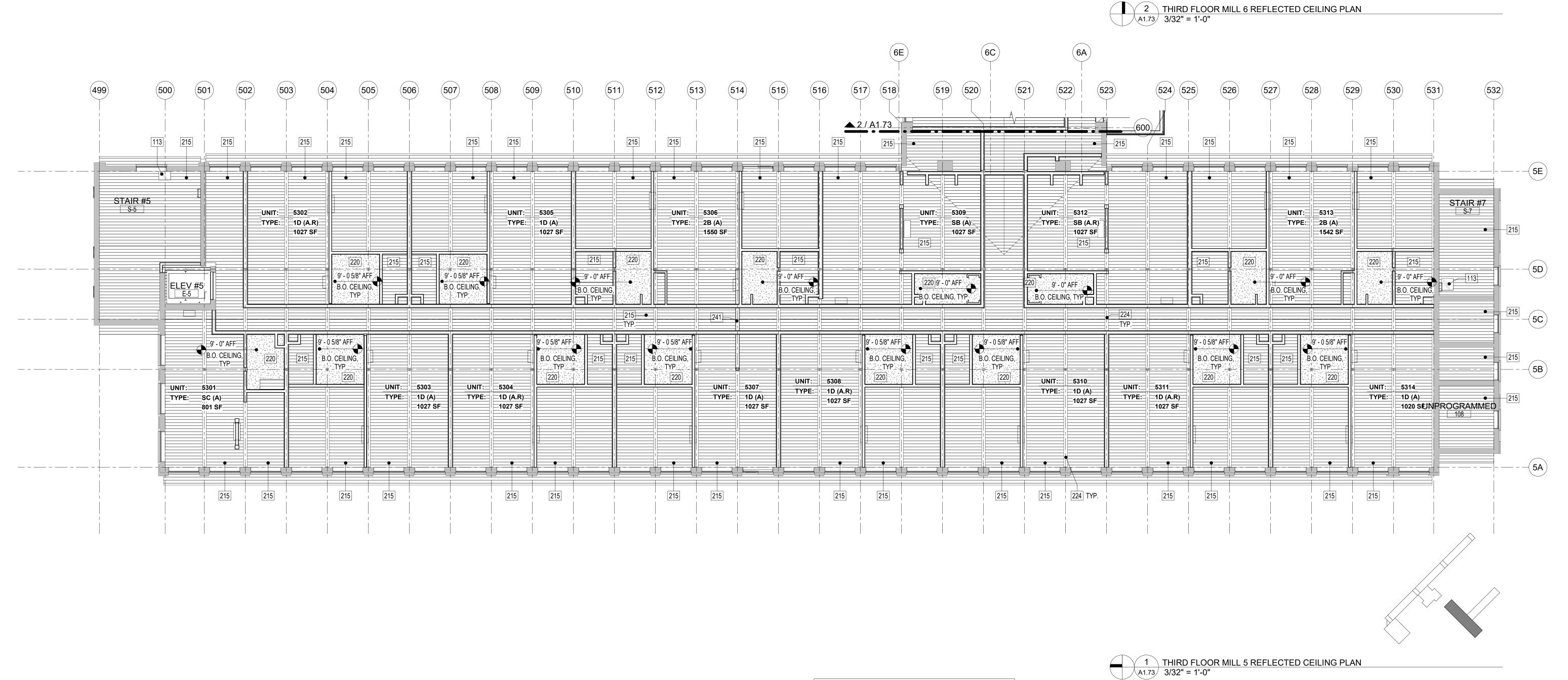
#### RCP GENERAL NOTES:

1. ALL ELEVATIONS RELATIVE TO FINISHED FLOOR, EXCEPT WHEN NOTED OTHERWISE.



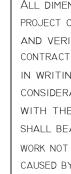
BID SET PHASE II

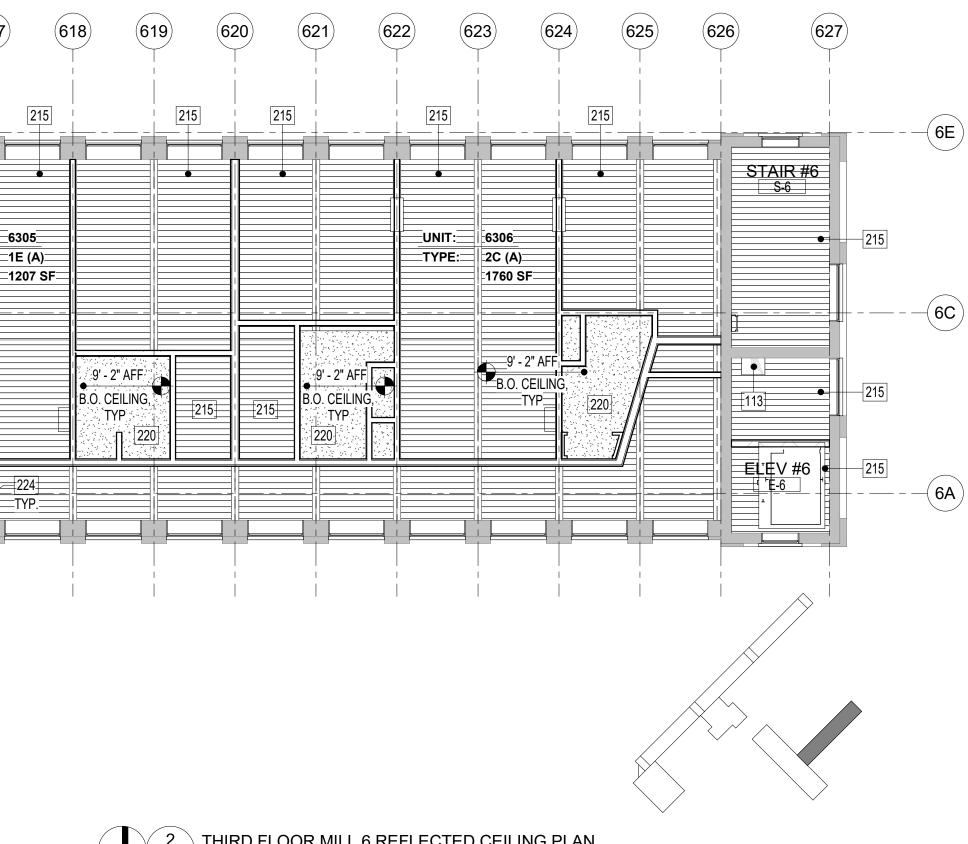




603 (60	04 605 6					4 615 616 6	617
		215	215	215	215	215 224 TYP.	
		UNIT: 6302 TYPE: 1E (A.R) 1207 SF	UNIT:= 6303 TYPE: 1E (A) 1207 SF			UNIT::::::::::::::::::::::::::::::::::::	
- 2" AFF CEILING, TYP 220	9' - 2" AFF B.O. CEILING 215 220			9' - 2" AFF B.O. CEILING, TYP [220]	215 220 220		
			215 TYP.				

Key Value	Keynote Text									
113	EXISTING ROOF HATCH TO REMAIN. REPAIR AS NECESSARY.									
215	EXISTING TONGUE AND GROOVE WOOD TO REMAIN, AND STAY EXPOSED.									
220	NEW MOLD RESISTANT DRYWALL CEILING ABOVE BATHROOM, PAINT, BY CONTRACTOR.									
224	EXISTING FLOOR SUPPORT BEAM TO REMAIN AND STAY EXPOSED.									
241	NEW PORTION OF BEAM TO MATCH EXISTING, BY CONTRACTOR, REFER TO STRUCTURAL DOCUMENTS.									





No.

ISSUE DATE

1929

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### RCP LEGEND

------

	-		,	, ,		

5/8" GYPSUM WALL BOARD, PNT

OPEN TO STRUCTURE ABOVE

TONGUE & GROOVE WOOD DECKING

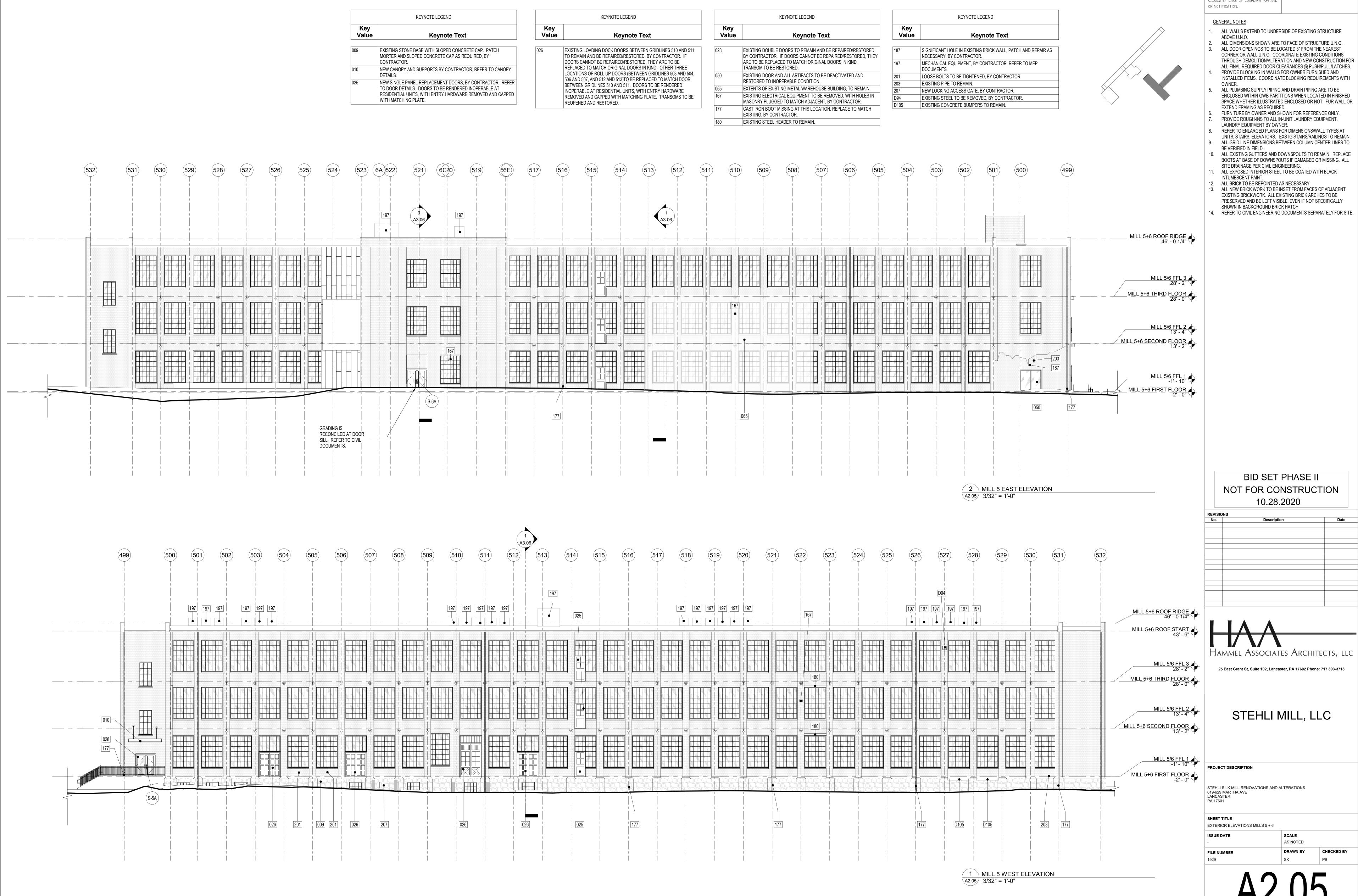
TILE LAYOUT ORIGIN POINT

#### RCP GENERAL NOTES:

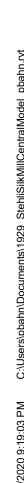
1. ALL ELEVATIONS RELATIVE TO FINISHED FLOOR, EXCEPT WHEN NOTED OTHERWISE.

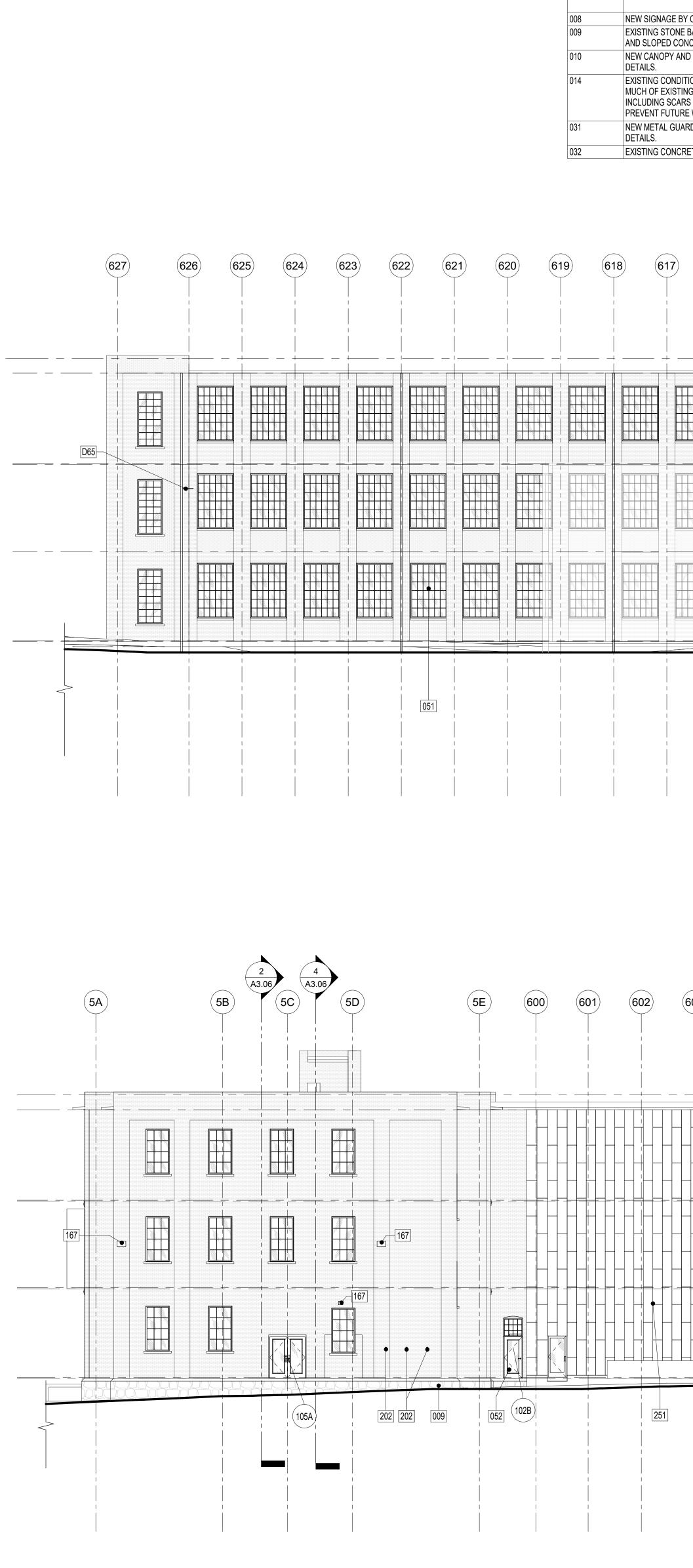


Key



All dimensions, measurements and STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND



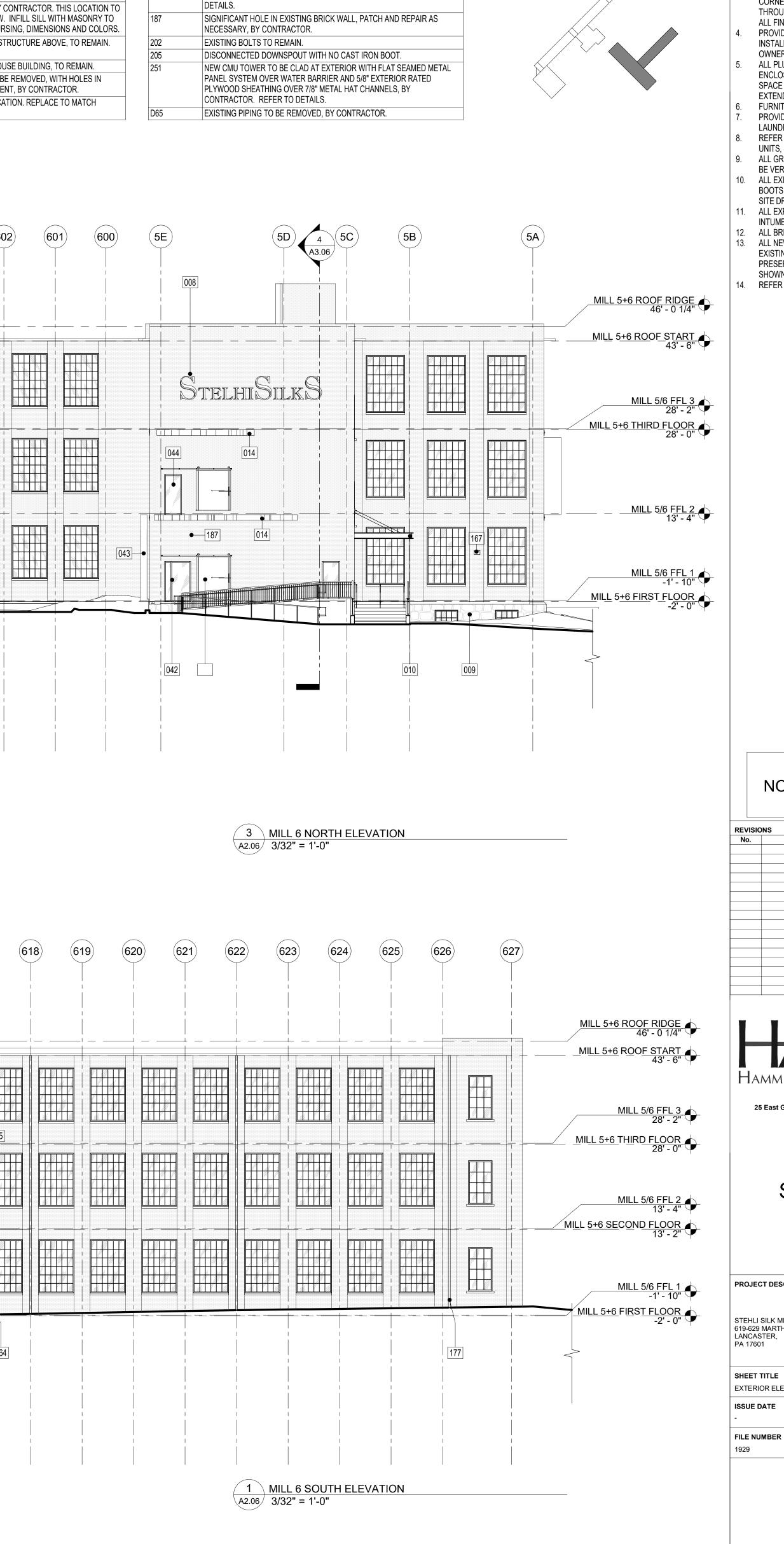


Key Value NEW SIGNAGE BY EXISTING STONE BA AND SLOPED CONC NEW CANOPY AND EXISTING CONDITIC MUCH OF EXISTING INCLUDING SCARS PREVENT FUTURE NEW METAL GUARD

KEYNOTE LEGEND		KEYNOTE LEGEND	KEYNOTE LEGEND				
Keynote Text	Key Value	Keynote Text	Key Value	Keynote Text			
	034	EXISTING BRICK INFILL TO REMAIN. PATCH AND REPOINT AS NECESSARY.	052	RELOCATED DOOR FROM GRIDLINES 6A AND 605 AND 606 TO BE REINSTALLED HERE, BY CONTRACTOR.			
CONTRACTOR, REFER TO EXTERIOR SIGNAGE DETAILS. BASE WITH SLOPED CONCRETE CAP. PATCH MORTER ICRETE CAP AS REQUIRED, BY CONTRACTOR. D SUPPORTS BY CONTRACTOR, REFER TO CANOPY	042	NEW INOPERABLE STOREFRONT WITH SIDELIGHT, BY CONTRACTOR. SINGLE PANEL DOOR TO BE AFFIXED IN OPEN POSITION (TO LEFT), AND FIRE DOOR TO BE AFFIXED IN OPEN POSITION (TO RIGHT). REFER TO DETAILS.	063	EXISTING DOOR TO BE RELOCATED, BY CONTRACTOR. THIS LOCAT RECEIVE REPLACEMENT SASH WINDOW. INFILL SILL WITH MASONF MATCH ADJACENT CONDITIONS IN COURSING, DIMENSIONS AND CO			
TIONS OF CONSTRUCTION TO REMAIN. MAINTAIN AS	043	VISUAL EVIDENCE OF PREVIOUS CONNECTION TO MILL 4 TO REMAIN WHERE POSSIBLE. SEAL WITH APPROVED SEALENT TO PREVENT FUTURE	064	EXISTING SUPPORTS FOR CONCRETE STRUCTURE ABOVE, TO REM PATCH AS REQUIRED.			
NG CHARACTER OF CONSTRUCTION AS POSSIBLE,		WATER INFILTRATION, AND PRESERVE CHARACTER OF EXISTING CONDITIONS, BY CONTRACTOR.	065	EXTENTS OF EXISTING METAL WAREHOUSE BUILDING, TO REMAIN.			
RS AND BLEMISHES. SEAL WITH APPROVED SEALENT TO E WATER INFILTRATION, BY CONTRACTOR.	044	NEW INOPERABLE STOFREFRONT AT EXISTING DOOR OPENING, BY	167	EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED, WITH HOLES I MASONRY PLUGGED TO MATCH ADJACENT, BY CONTRACTOR.			
RDRAIL AND INFILL, BY CONTRACTOR. REFER TO		CONTRACTOR. RELOCATED FIRE DOOR TO BE FIXED IN PLACE IN OPEN POSITION ON EXTERIOR FACE OF WALL. REFER TO DETAILS.	177	CAST IRON BOOT MISSING AT THIS LOCATION. REPLACE TO MATCH EXISTING, BY CONTRACTOR.			
RETE STRUCTURE TO REMAIN, PATCH AS NECESSARY.	051	REPLACEMENT SASH WINDOWS AT EXISTING OVERHEAD DOOR, BY CONTRACTOR.					

7 6	16 6	15 6	14 6	13 61		11 (6	10 60	09 (60	08 60	07 60	6 60	95 60	04 60	602
					184									

6		05 60						14 6	15 6		17
		063	051	051				064	034 031	032	2 064



KEYNOTE LEGEND

Keynote Text

EXISTING DOOR TO BE REMOVED AND REPLACED WITH WINDOW, BY

CONTRACTOR, TO MATCH EXISTING CONDITIONS. REFER TO WINDOW

Key Value

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### GENERAL NOTES

ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE

ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.

PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT

UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE

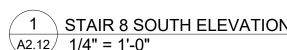
BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT.

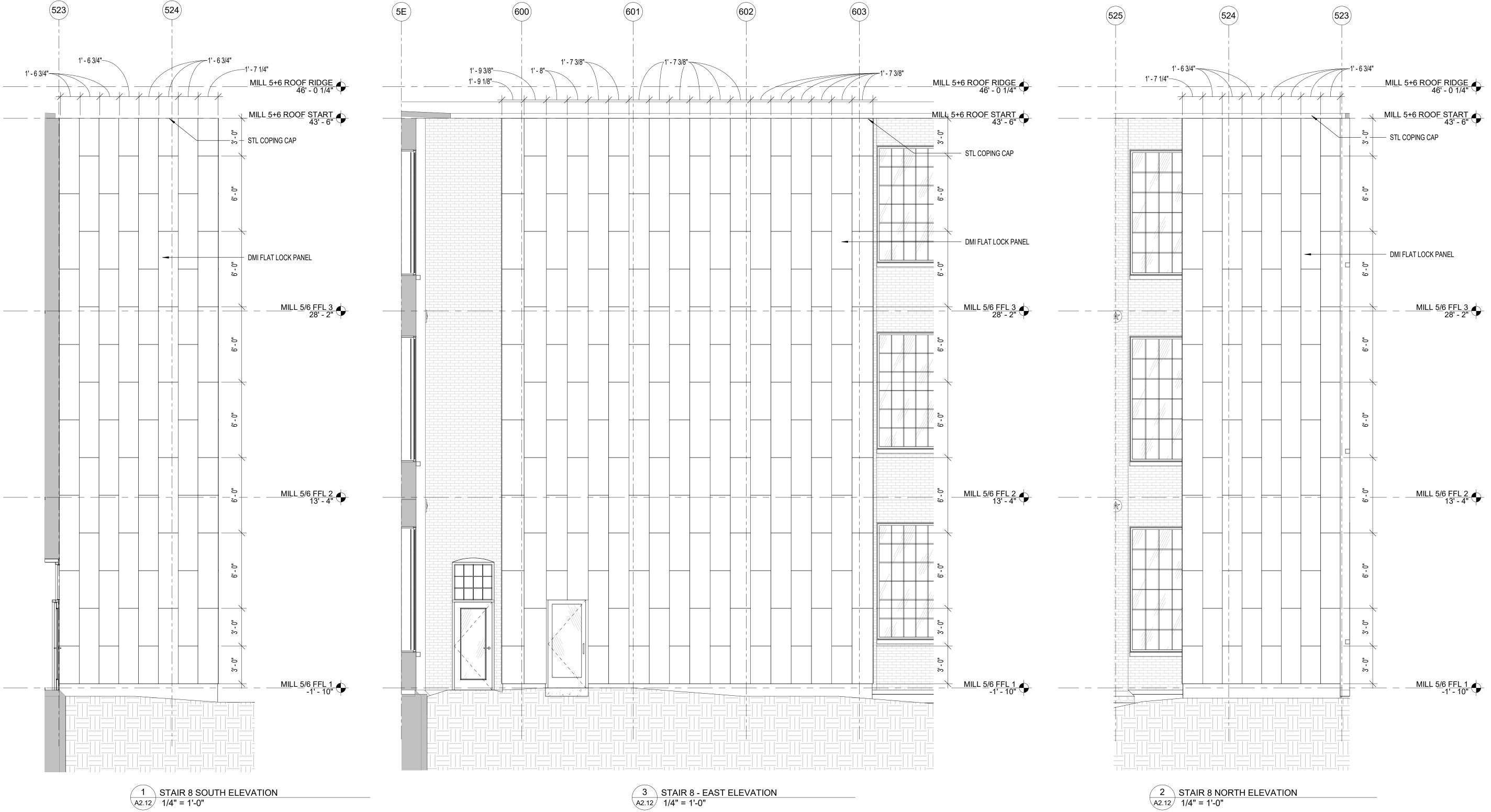
12. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE

PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

### BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

Description HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEHLI MILL, LLC PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE EXTERIOR ELEVATIONS MILLS 5 + 6 SCALE AS NOTED DRAWN BY CHECKED BY SK PB





ABOVE U.N.O. OWNER.

Description 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEHLI MILL, LLC SCALE AS NOTED DRAWN BY CHECKED BY кн PB

PROJECT DESCRIPTION SHEET TITLE STAIR #8 ELEVATIONS ISSUE DATE FILE NUMBER 1929

10.28.2020 HAMMEL ASSOCIATES ARCHITECTS, LLC STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### GENERAL NOTES

1. ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE

2. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. 3. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. 4. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH

5. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.

PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER.

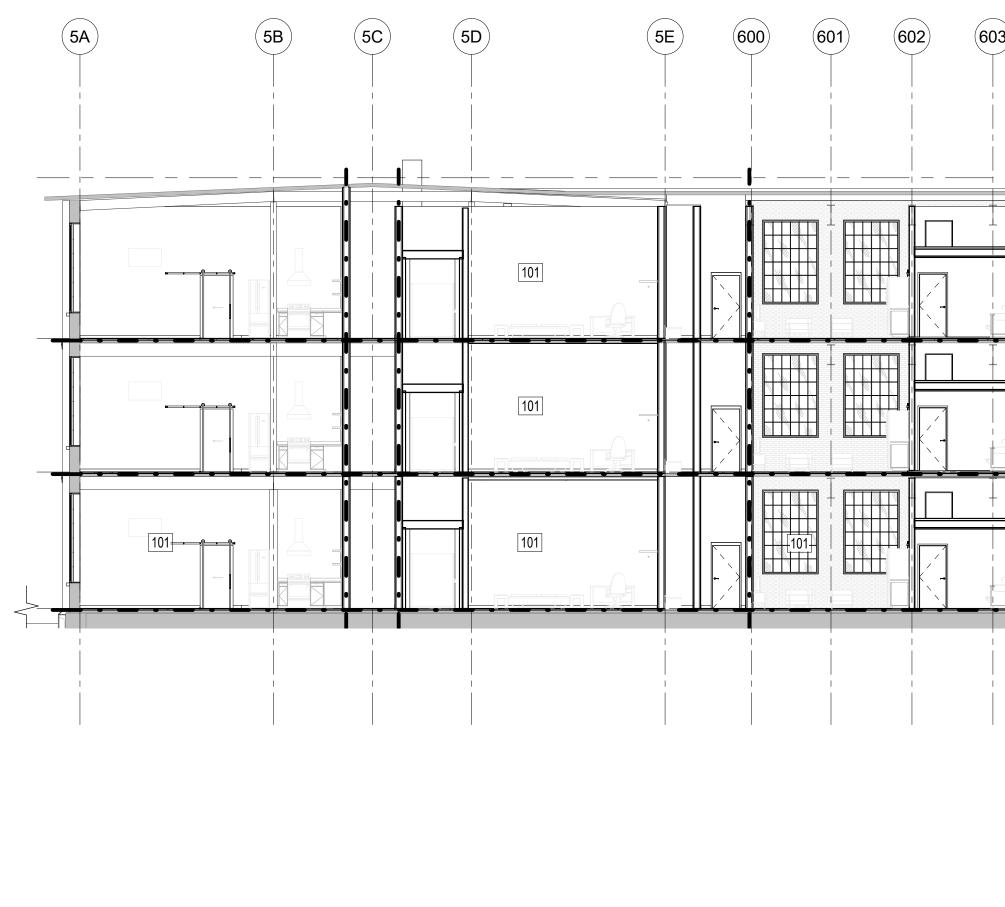
8. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. 9. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD.

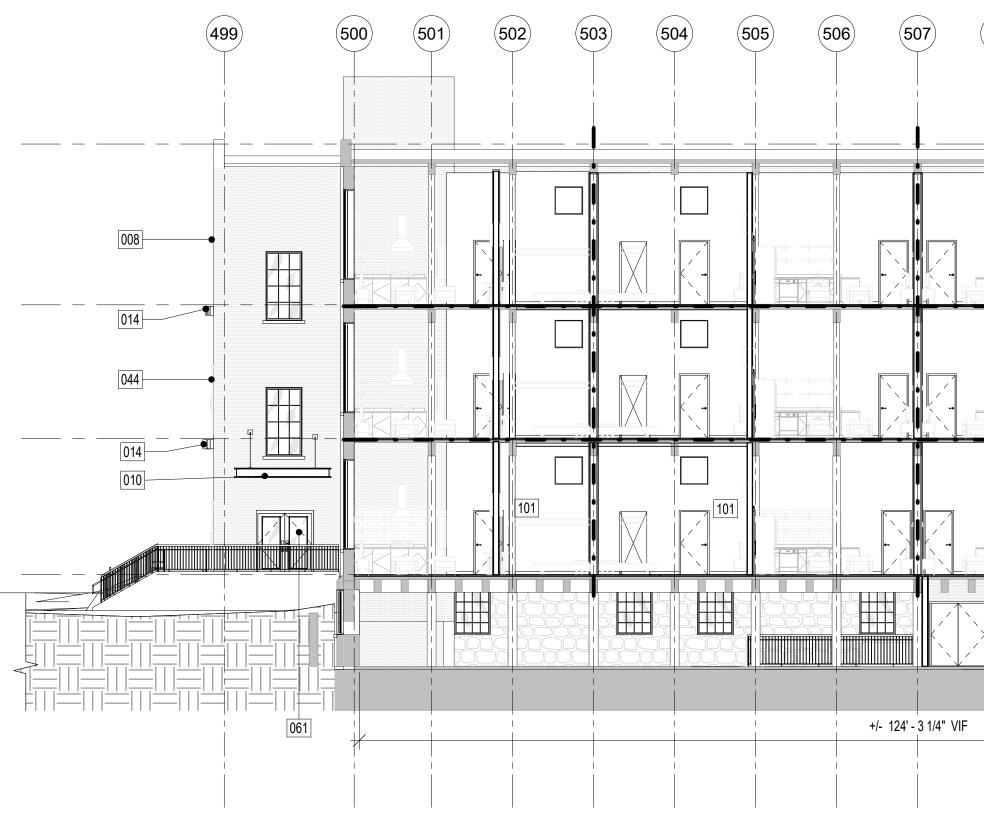
10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK

INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY.

13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

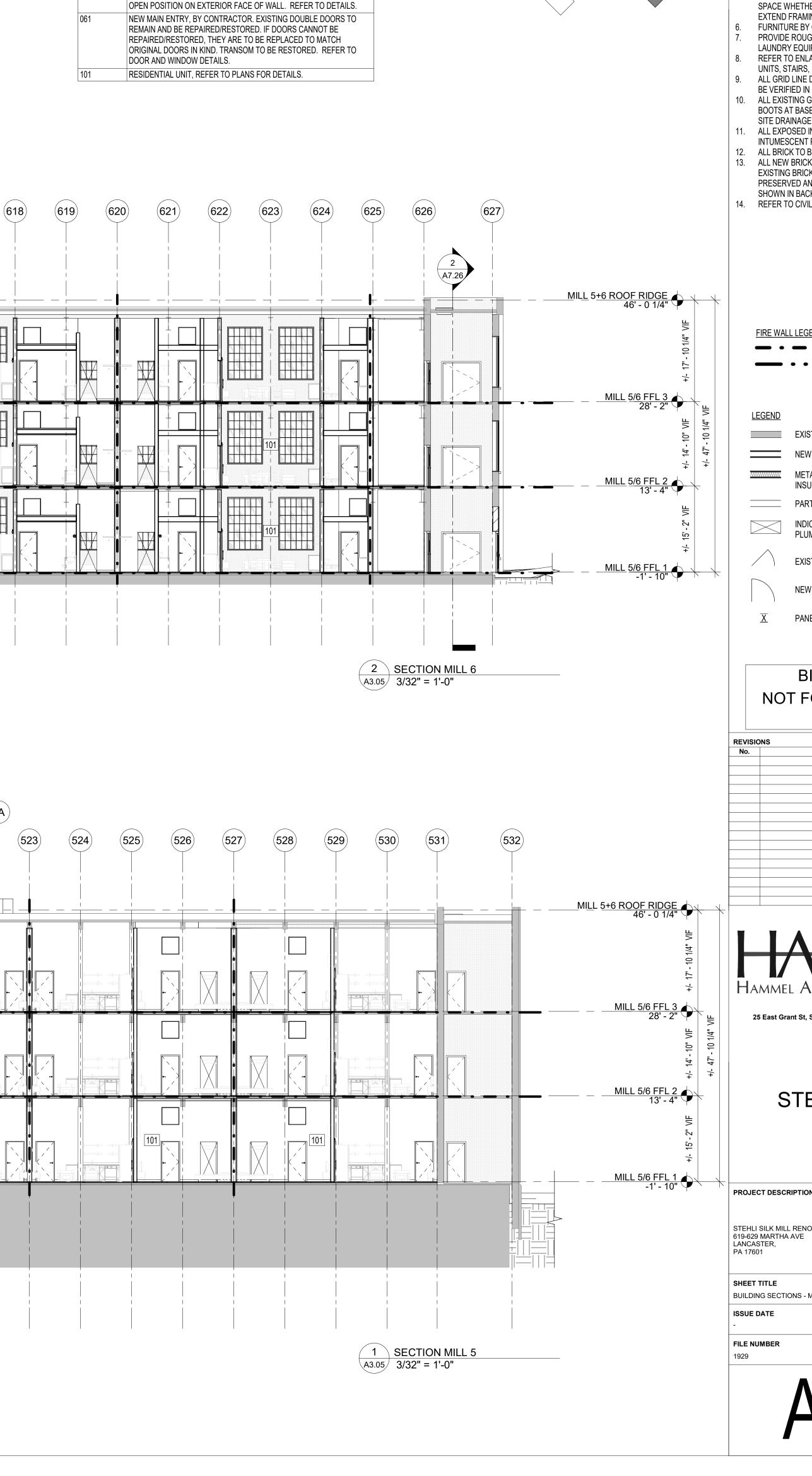
## BID SET PHASE II NOT FOR CONSTRUCTION





03	60	5 (6		09 6	10	(611)     	61	2 61	3 6	14 6 <sup>-</sup>		17) 6     

508 50	09 (5	11) (5	12 1 1 A3.06 1	(515)	516 (5	6E 517 518	9 (5	6C 520 5	6A



KEYNOTE LEGEND

Keynote Text

NEW SIGNAGE BY CONTRACTOR, REFER TO EXTERIOR SIGNAGE

NEW CANOPY AND SUPPORTS BY CONTRACTOR, REFER TO CANOPY

EXISTING CONDITIONS OF CONSTRUCTION TO REMAIN. MAINTAIN AS

INCLUDING SCARS AND BLEMISHES. SEAL WITH APPROVED SEALENT

NEW INOPERABLE STOFREFRONT AT EXISTING DOOR OPENING, BY

CONTRACTOR. RELOCATED FIRE DOOR TO BE FIXED IN PLACE IN

MUCH OF EXISTING CHARACTER OF CONSTRUCTION AS POSSIBLE,

TO PREVENT FUTURE WATER INFILTRATION, BY CONTRACTOR.

Key

Value

DETAILS.

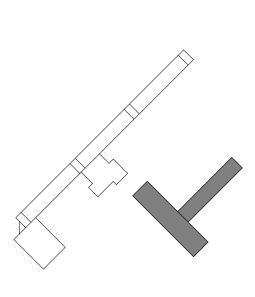
DETAILS.

008

010

014

044



ALL DIMENS PROJECT CO AND VERIFI CONTRACTOR IN WRITING CONSIDERAT WITH THE SHALL BEAF WORK NOT A CAUSED BY

SIONS, MEASUREMENTS AND	
ONDITIONS SHALL BE CHECKED	
FIED IN THE FIELD BY THE	
OR. REFER ALL DIFFERENCES,	
G, TO THE ARCHITECT FOR	
ATION PRIOR TO PROCEEDING	
WORK. THE CONTRACTOR	
AR THE COST OF RECTIFYING	
APPROVED BY THE ARCHITECT,	
LACK OF COORDINATION AND	
CATION.	

STAMP

OR NOTIFICA GENERAL NOTES 1. ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY. PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. 9. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY. 13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. FIRE WALL LEGEND: = 1 HOUR RATED FIRE WALL = 2 HOUR RATED FIRE WALL EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR PANEL SIGN BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 Description Date

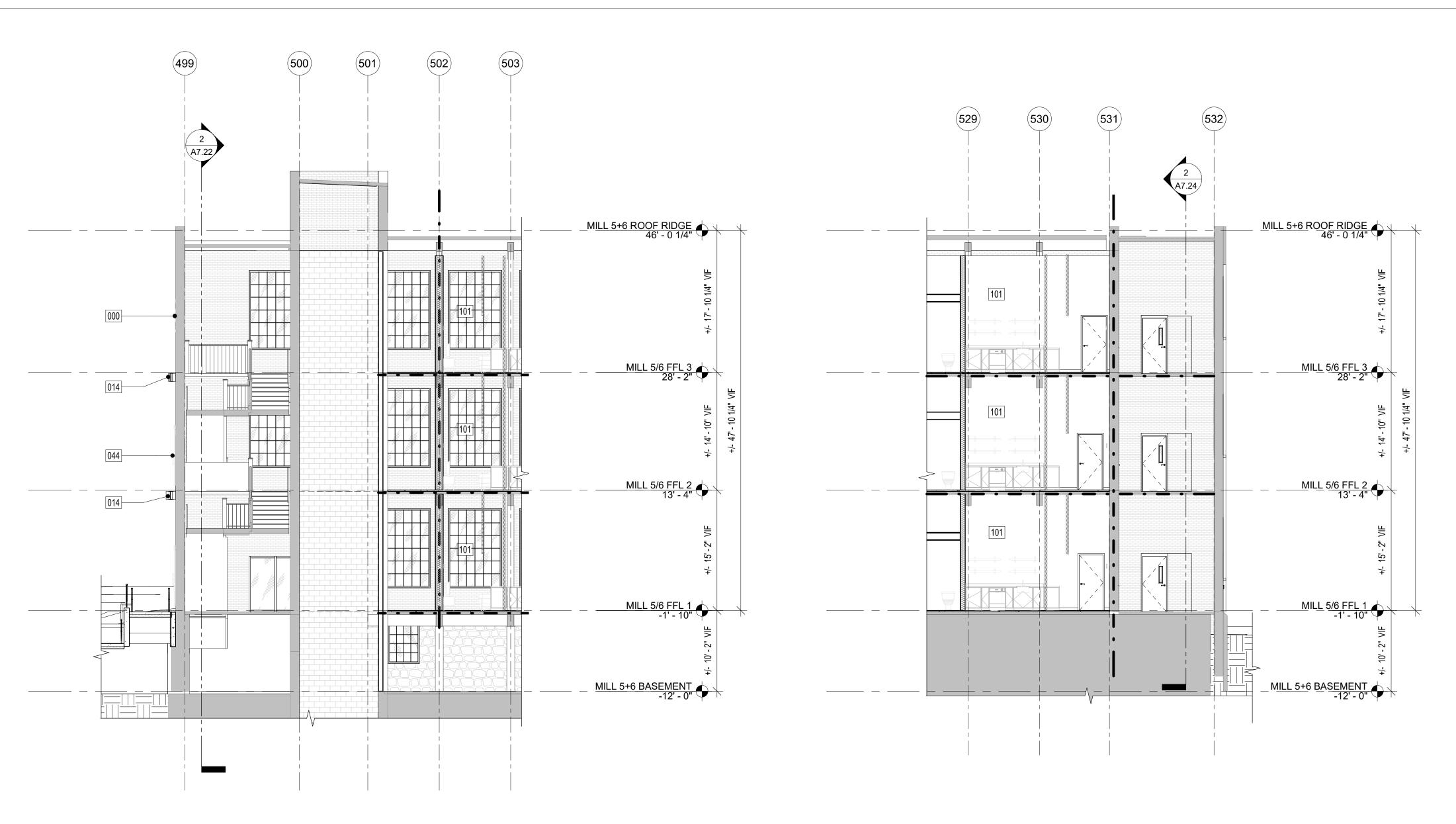
HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713

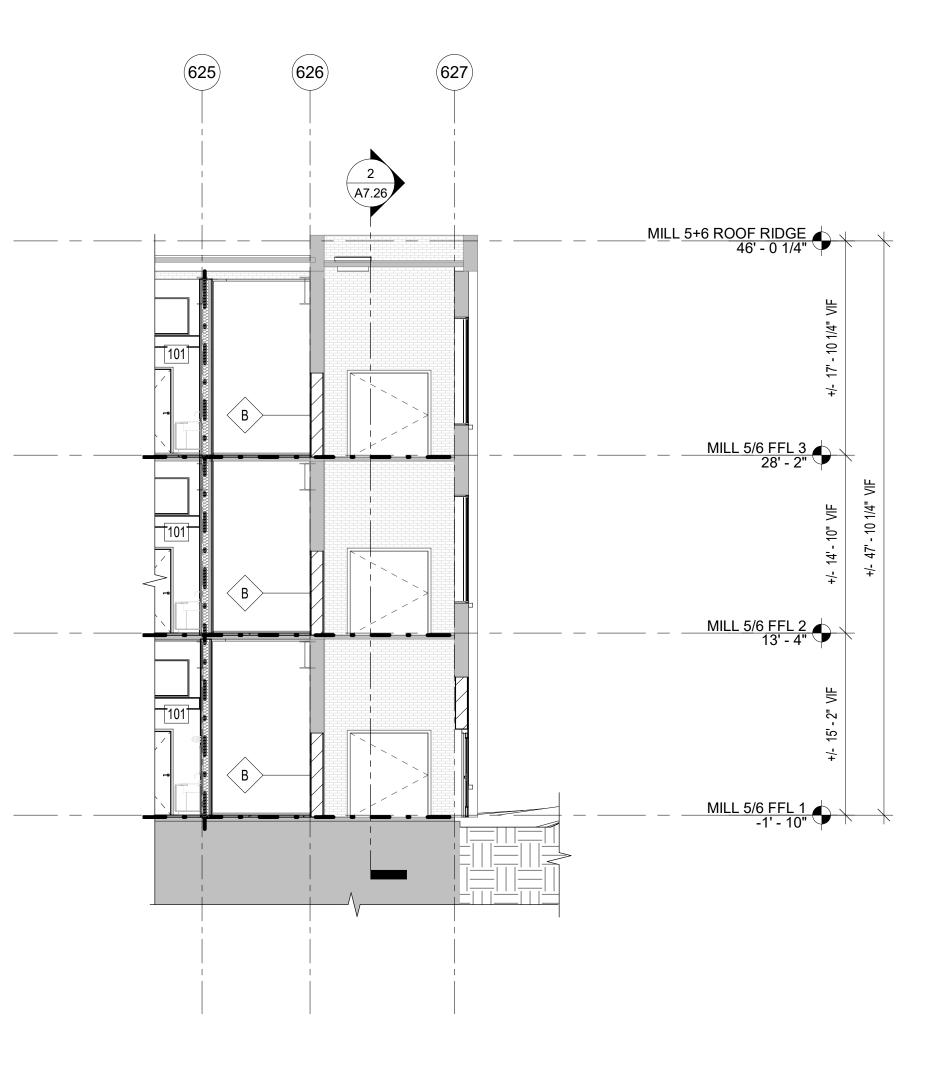
STEHLI MILL, LLC

PROJECT DESCRIPTION

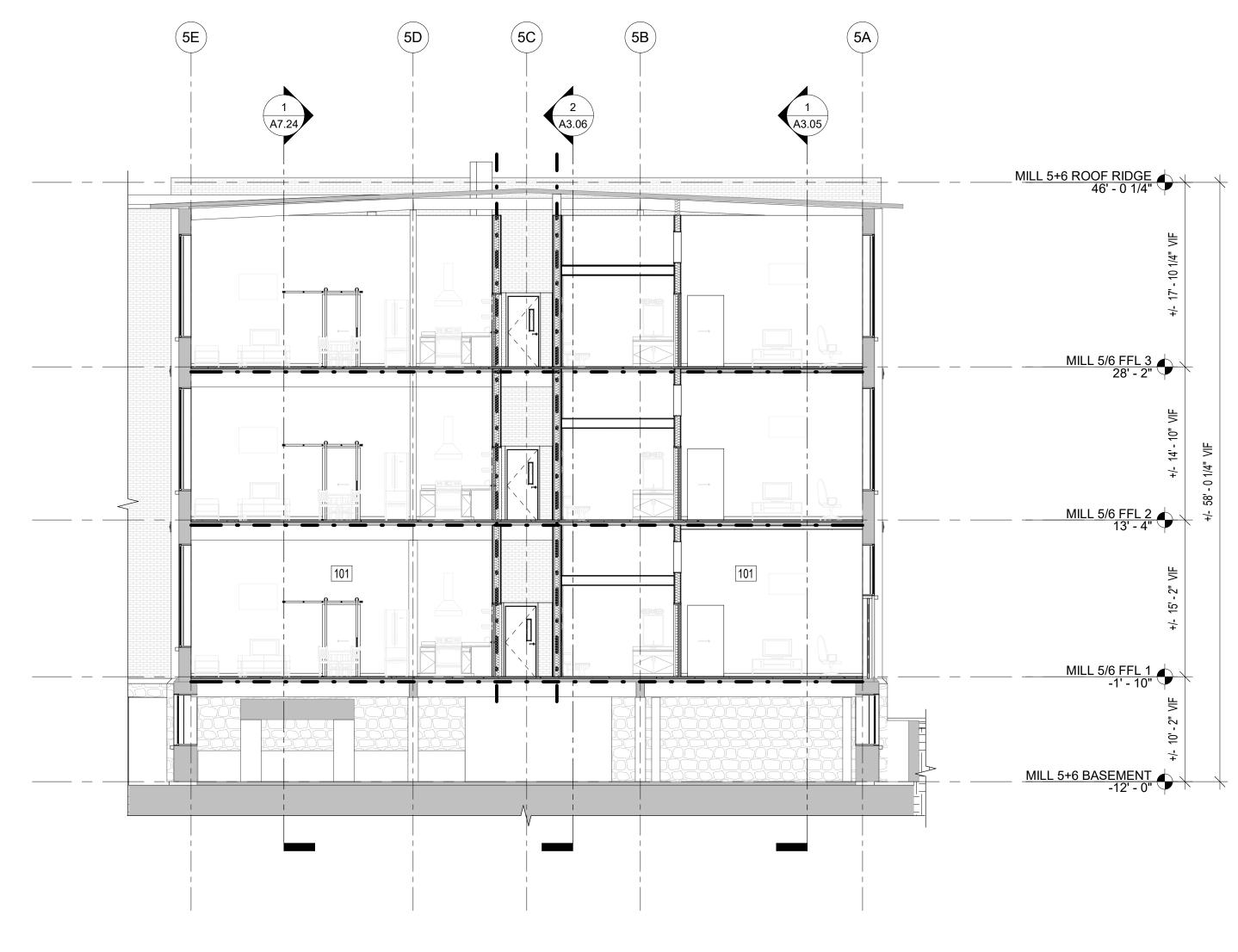
STEHLI SILK MILL RENOVATIONS AND ALTERATIONS

BUILDING SECTIONS - MILLS 5-6 SCALE AS NOTED DRAWN BY CHECKED BY кн PB





MILLS 5/6 - SOUTH WEST STAIR 4 TOWER SECTION A3.06 1/8" = 1'-0"



MILLS 5/6 - NORTH WEST STAIR 3 TOWER SECTION A3.06 1/8" = 1'-0"

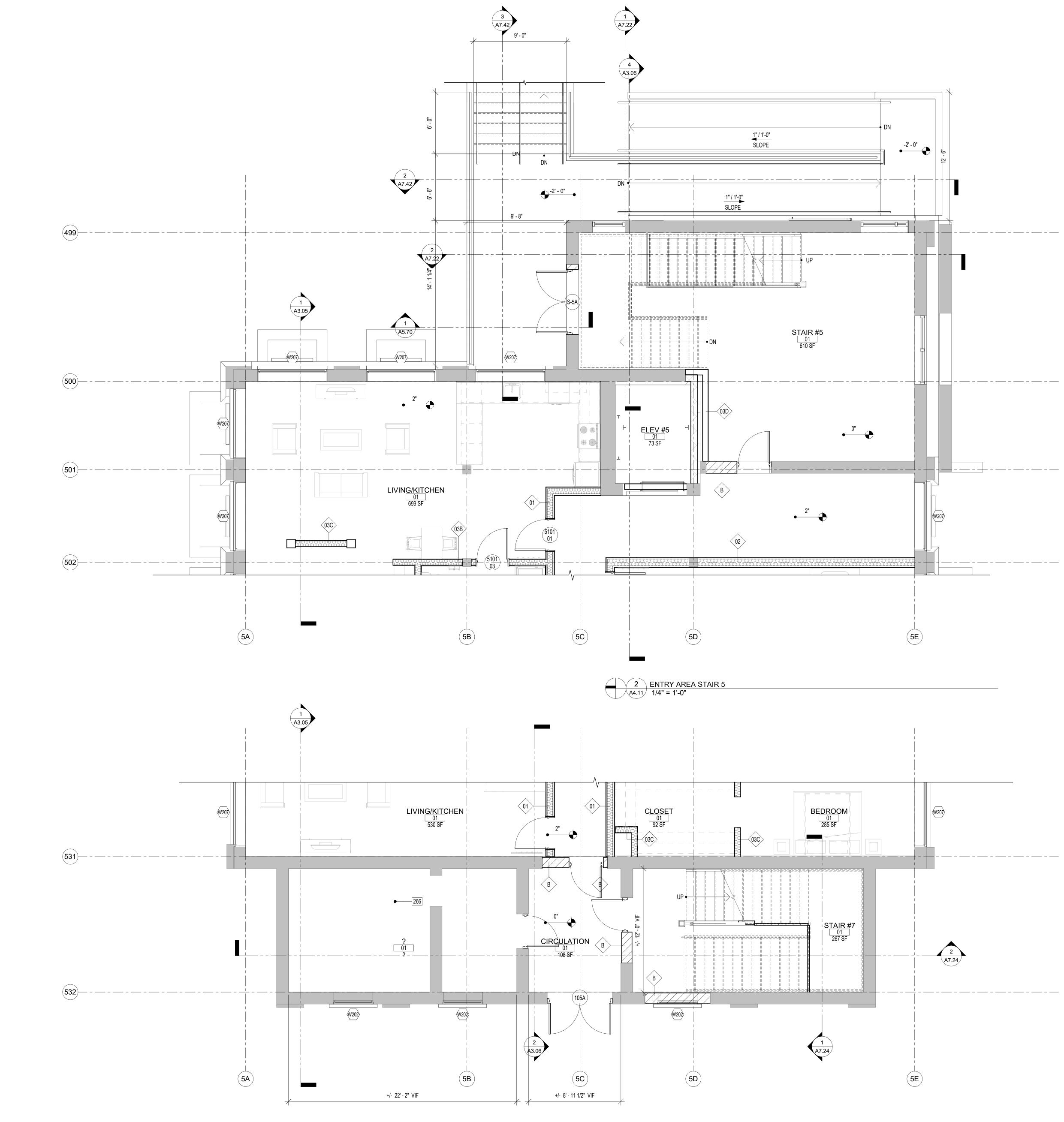
KEYNOTE LEGEND			
Key Value	Keynote Text		
000			
014	EXISTING CONDITIONS OF CONSTRUCTION TO REMAIN. MAINTAIN AS MUCH OF EXISTING CHARACTER OF CONSTRUCTION AS POSSIBLE, INCLUDING SCARS AND BLEMISHES. SEAL WITH APPROVED SEALENT TO PREVENT FUTURE WATER INFILTRATION, BY CONTRACTOR.		
044	NEW INOPERABLE STOFREFRONT AT EXISTING DOOR OPENING, BY CONTRACTOR. RELOCATED FIRE DOOR TO BE FIXED IN PLACE IN OPEN POSITION ON EXTERIOR FACE OF WALL. REFER TO DETAILS.		
101	RESIDENTIAL UNIT, REFER TO PLANS FOR DETAILS.		

MILLS 5/6 - NORTH EAST STAIR 2 TOWER SECTION A3.06 1/8" = 1'-0"

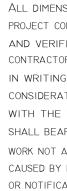
MILLS 5/6 - BUILDING SECTION 1 TYP. A3.06 1/8" = 1'-0"

ALL DIMENSIONS, MEASUREMENTS AND PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.
<ol> <li>GENERAL NOTES</li> <li>ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O.</li> <li>ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O.</li> <li>ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES.</li> <li>PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER.</li> <li>ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED.</li> <li>FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.</li> <li>PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER.</li> <li>REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN.</li> <li>ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD.</li> <li>ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING.</li> <li>ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT.</li> <li>ALL BRICK TO BE REPOINTED AS NECESSARY.</li> <li>ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH.</li> <li>REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.</li> </ol>
FIRE WALL LEGEND: 
LEGEND         EXISTING WALL TO REMAIN         NEW FRAME WALL         METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)         PARTIAL HT STUD WALL         INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE         EXIST DOOR TO REMAIN AND REFURBISHED         NEW DOOR         X       PANEL SIGN
BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020
No.       Description       Date         Image: Image
STEHLI MILL, LLC
PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601
SHEET TITLE BUILDING SECTIONS - MILLS 5-6 ISSUE DATE - BILE NUMBER 1929 DRAWN BY HH CHECKED BY PB CHECKED BY PB





1 ENTRY AREA STAIR 7 A4.11 1/4" = 1'-0"



WALL <sup>-</sup>	TYPE LEGEND	
B		"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
01		01 _ INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION,
01B		UL: 419. 01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02B		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
03		03_INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
03A		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
03B		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
03C>		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
03D		03_INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
03E		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04		04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
04A		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
04B		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
04C		04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
05		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
06		INTERIOR INSULATED BRICK ON BRICK
07	$\bigvee$	8" CMU
07A	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
08		BRICK ON CMU
08B		BRICK ON CMU W FINISH
09		DMI FLATLOCK PANEL ON 6" MTL STUD
09A		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
$\wedge$		

10 \_ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT

NSIONS, MEASUREMENTS AND
CONDITIONS SHALL BE CHECKED
FIED IN THE FIELD BY THE
OR. REFER ALL DIFFERENCES,
G, TO THE ARCHITECT FOR
ATION PRIOR TO PROCEEDING
WORK. THE CONTRACTOR
AR THE COST OF RECTIFYING
APPROVED BY THE ARCHITECT,
LACK OF COORDINATION AND
CATION.

STAMP

#### GENERAL NOTES

ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER.

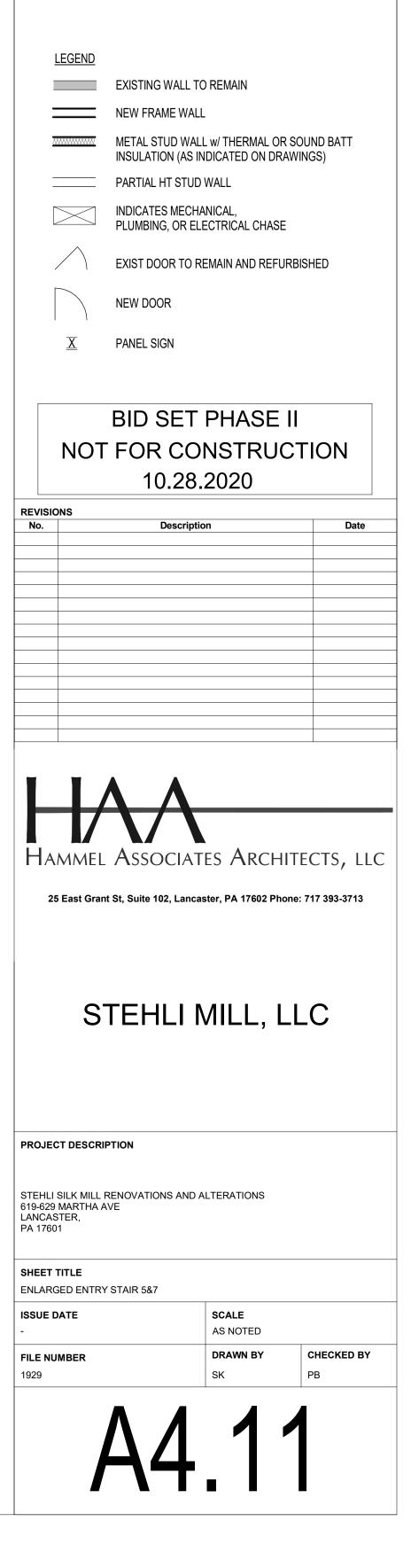
ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.

PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT

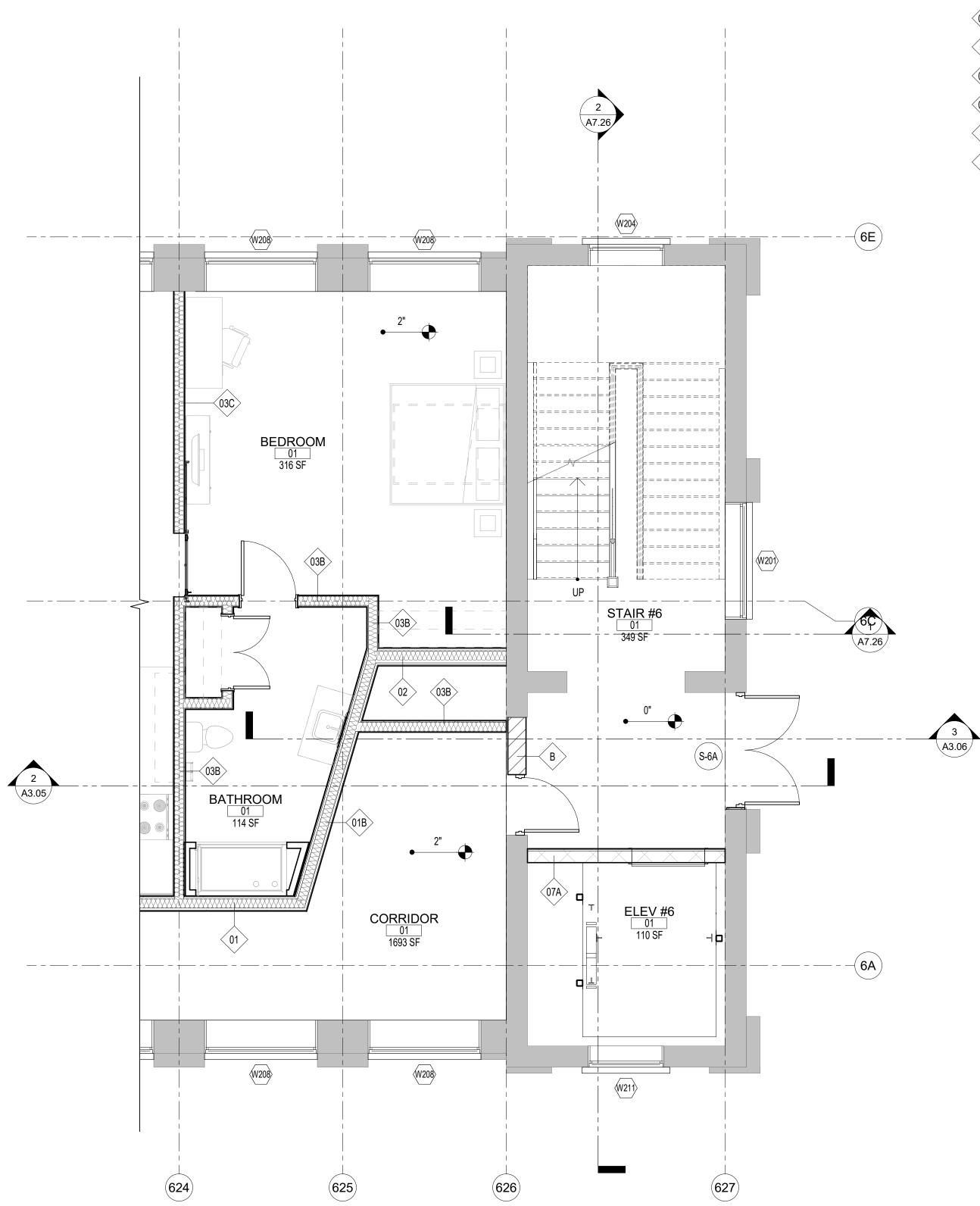
UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE

BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT.

12. ALL BRICK TO BE REPOINTED AS NECESSARY. 13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.



1929



1 ENTRY AREA STAIR 6 A4.12 1/4" = 1'-0"

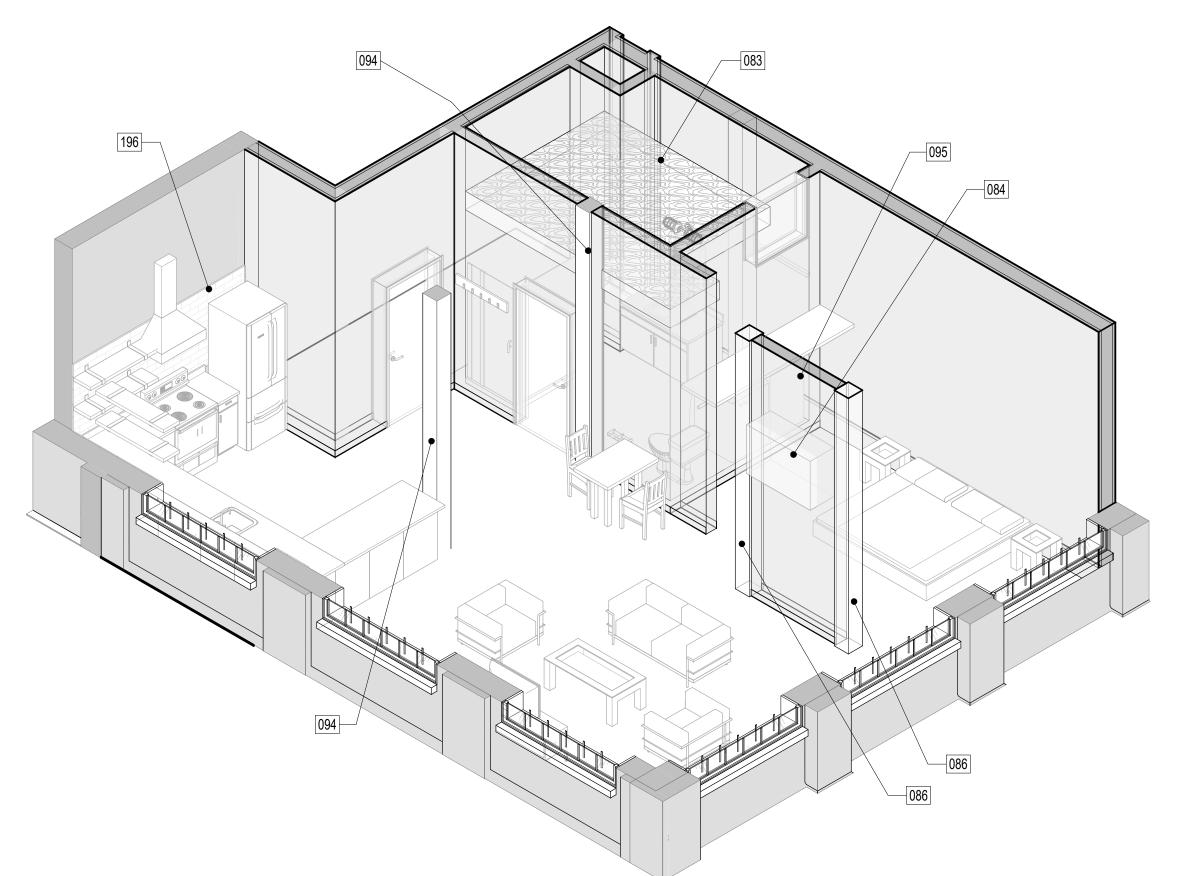
#### ALL DIMENS PROJECT CC AND VERIFI CONTRACTOR IN WRITING CONSIDERAT WITH THE SHALL BEAF WORK NOT A CAUSED BY

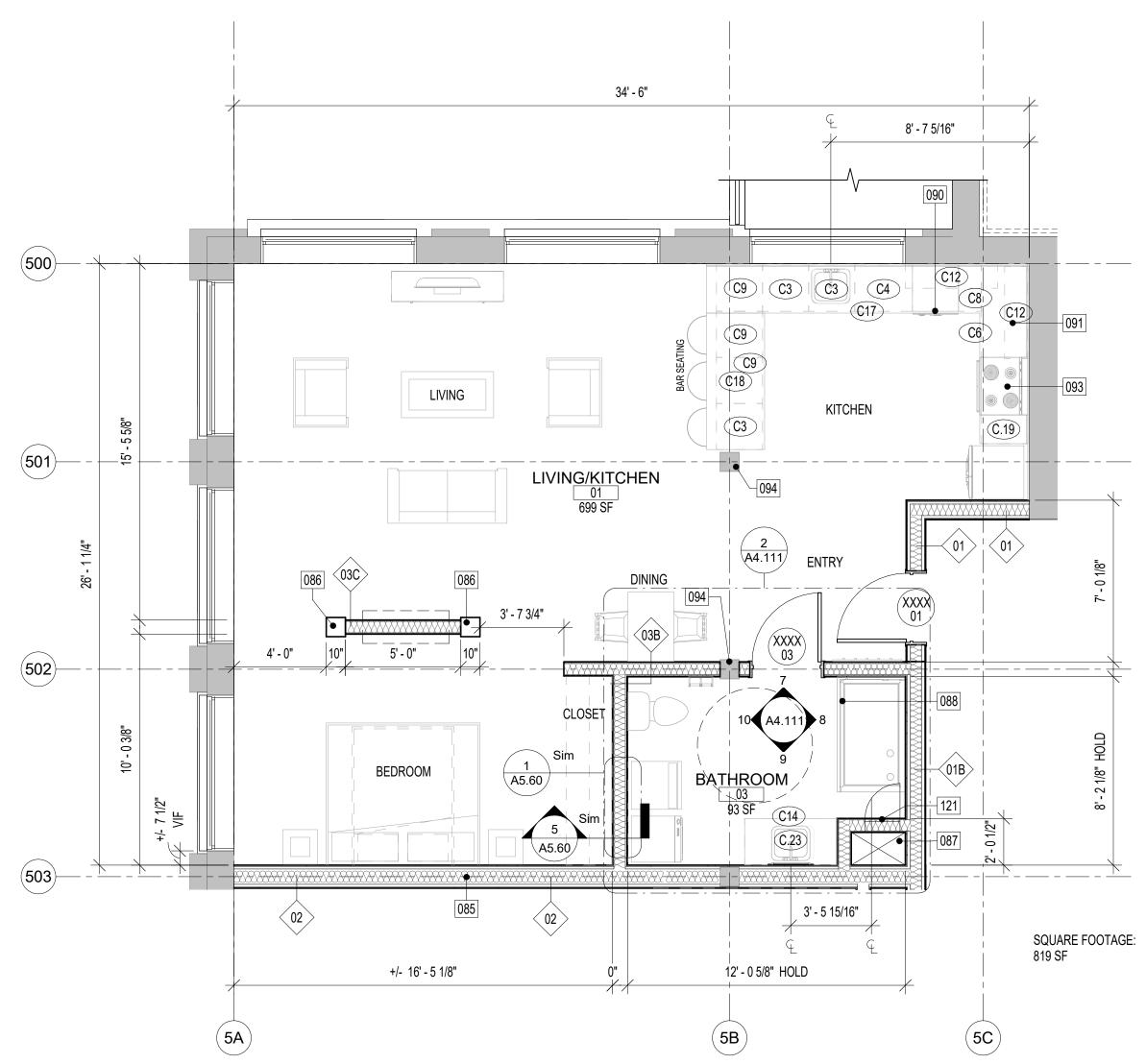
### WALL TYPE LEGEND

В	"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
01	01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
01B	01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02	02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
(02B)	02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
03	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
(03A)	03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
03B	 03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
(03C)	03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
(03D)	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04	04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
04A	 04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
04B	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
04C>	04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
05	05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
06	INTERIOR INSULATED BRICK ON BRICK
07	8" CMU
(07A)	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
08	BRICK ON CMU
(08B)	BRICK ON CMU W FINISH
09	DMI FLATLOCK PANEL ON 6" MTL STUD
(09A)	DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
	10 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT

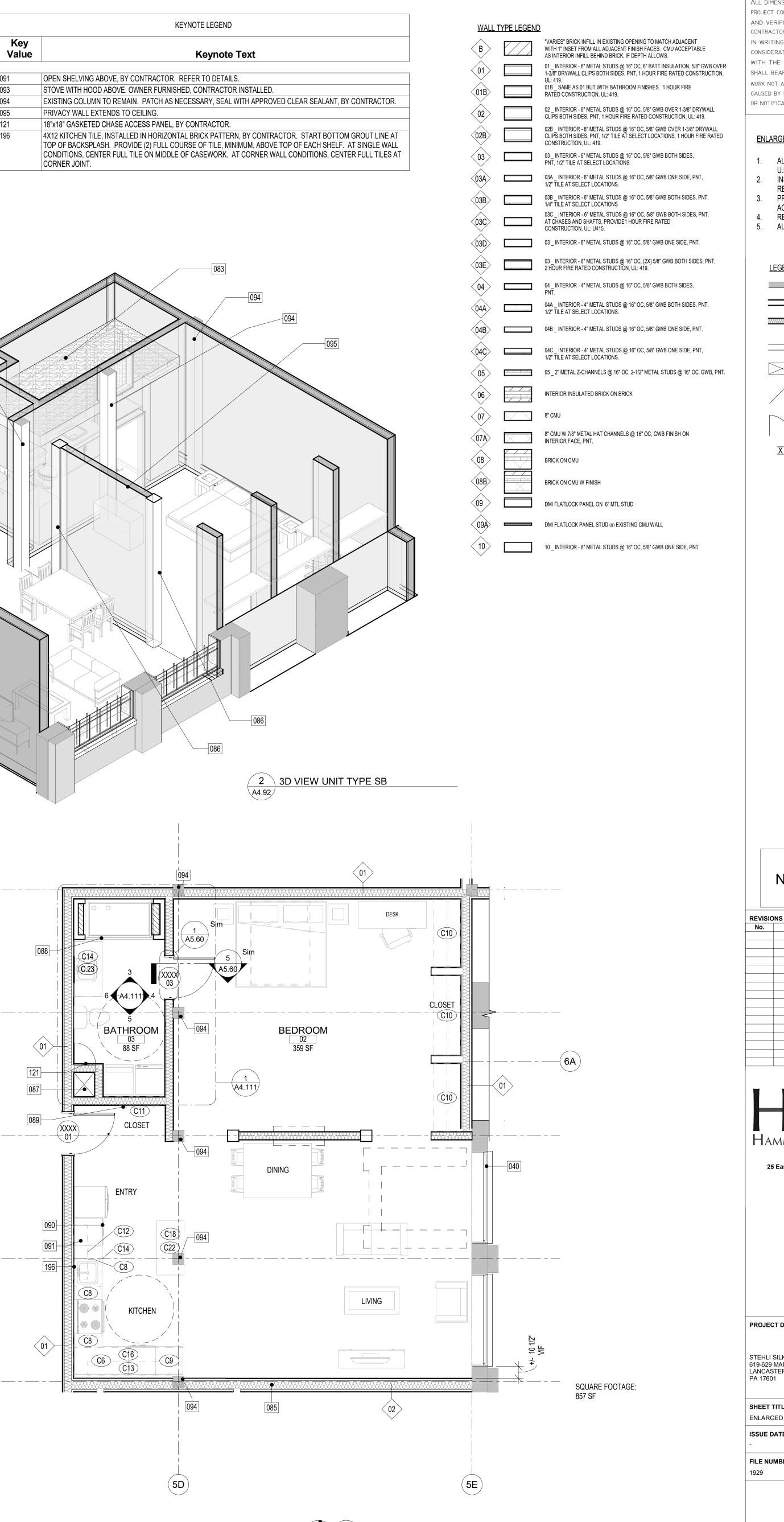
		ASUREMENTS AND	STAMP	
	T CONDITIONS	SHALL BE CHECKED		
CONTRA	CTOR. REFER	HE FIELD BY THE ALL DIFFERENCES,		
CONSID	ERATION PRIO	ARCHITECT FOR R TO PROCEEDING		
		HE CONTRACTOR ST OF RECTIFYING		
		BY THE ARCHITECT,		
	IFICATION.	LUCINE HUN AND		
GE	NERAL NOTE	S	1	
<u>oc</u> 1.			RSIDE OF EXISTING	STRUCTURE
2.	ABOVE U.N	-	E TO FACE OF STRU	CTURE U.N.O.
3.			OCATED 8" FROM T	
			RATION AND NEW C	ONSTRUCTION FOR SH/PULL/LATCHES.
4.			S FOR OWNER FURI ATE BLOCKING REQ	
5.	OWNER. ALL PLUMB	ING SUPPLY PIPIN	G AND DRAIN PIPINO	G ARE TO BE
		-	TITIONS WHEN LOC ED ENCLOSED OR N	ATED IN FINISHED NOT. FUR WALL OR
6.		AMING AS REQUIR BY OWNER AND S	RED. Shown for refer	ENCE ONLY.
7.		OUGH-INS TO ALL QUIPMENT BY OW	IN-UNIT LAUNDRY E 'NER.	QUIPMENT.
8.	UNITS, STA	IRS, ELEVATORS.	FOR DIMENSIONS/V EXSTG STAIRS/RAI	LINGS TO REMAIN.
9.	<b>BE VERIFIE</b>	D IN FIELD.	ETWEEN COLUMN (	
10.			DOWNSPOUTS TO F OUTS IF DAMAGED	
11.		AGE PER CIVIL EN ED INTERIOR STEE	GINEERING. EL TO BE COATED W	/ITH BLACK
12.	INTUMESCE	ENT PAINT. TO BE REPOINTED	AS NECESSARY.	
13.			INSET FROM FACES	
		D AND BE LEFT VIS BACKGROUND BRI	SIBLE, EVEN IF NOT : ICK HATCH.	SPECIFICALLY
14.	REFER TO (		G DOCUMENTS SEP	ARATELY FOR SITE.
	<u>LEGEND</u>			
		EXISTING WALL T	O REMAIN	
		NEW FRAME WAL	L	
	<u></u>		L w/ THERMAL OR S	
		INSULATION (AS II	NDICATED ON DRAV	VINGS)
		PARTIAL HT STUD		
		INDICATES MECH		
		INDICATES MECH, PLUMBING, OR EL	ANICAL, ECTRICAL CHASE	BISHED
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R	ANICAL,	BISHED
		INDICATES MECH, PLUMBING, OR EL	ANICAL, ECTRICAL CHASE	BISHED
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R	ANICAL, ECTRICAL CHASE	BISHED
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR	ANICAL, ECTRICAL CHASE	BISHED
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN	ANICAL, ECTRICAL CHASE REMAIN AND REFUR	
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN	ANICAL, LECTRICAL CHASE REMAIN AND REFUR	
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC	
		INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC	
REVISIO No.	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	= NOT	INDICATES MECH, PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
No.		INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	
No.		INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	
		INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
		INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
		INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
		INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28.	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	TION
	DNS	INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28. Description	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	DNS	INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28. Description	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	DNS	INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28. Description	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	DNS	INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28. Description	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	DNS	INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28. Description	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	DNS	INDICATES MECH PLUMBING, OR EL EXIST DOOR TO R NEW DOOR PANEL SIGN BID SET FOR CO 10.28. Description	ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	DNS DNS DNS DNS DNS DNS DNS DNS DNS DNS		ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	SILK MILL RE DMARTHA AVISTER,		ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	SILK MILL RE DMARTHA AVISTER,		ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
	SILK MILL REPORT		ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
No.	SILK MILL RE OMARTHA AVI SILK MILL RE OMARTHA AVI STER, 01			Date         Date         Image: Date         Image
No.	SILK MILL RE OMARTHA AVI SILK MILL RE OMARTHA AVI STER, 01		ANICAL, LECTRICAL CHASE REMAIN AND REFUR PHASE II NSTRUC 2020	Date         Date         Image: Date         Image
PROJE STEHLI 619-629 LANCA3 PA 1760 SHEET	SILK MILL RE DMREL SEast Grant S SILK MILL RE SILK MILL RE DATE			TION Date Date Date Date Date Date Date Date

A4.12

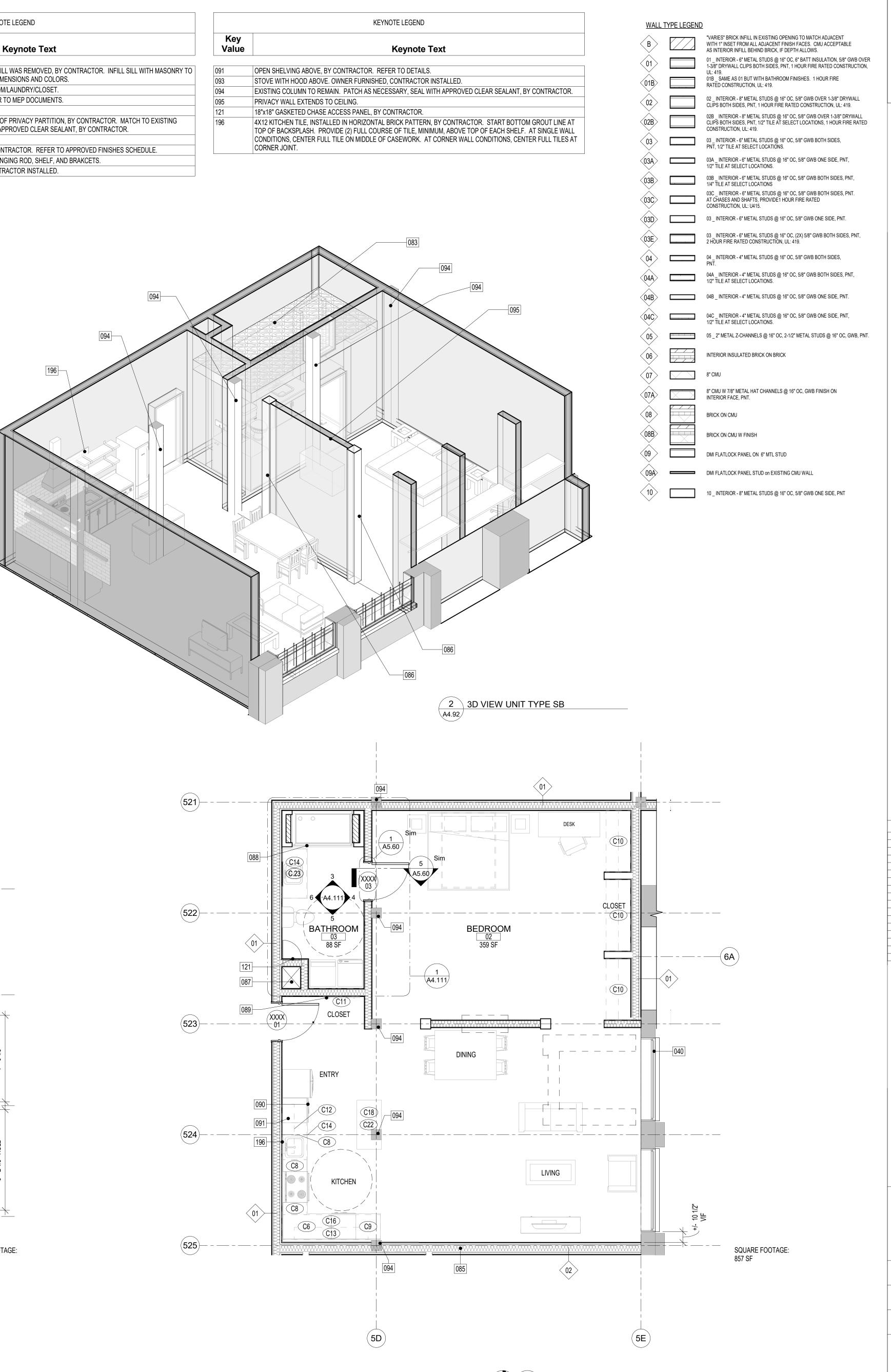


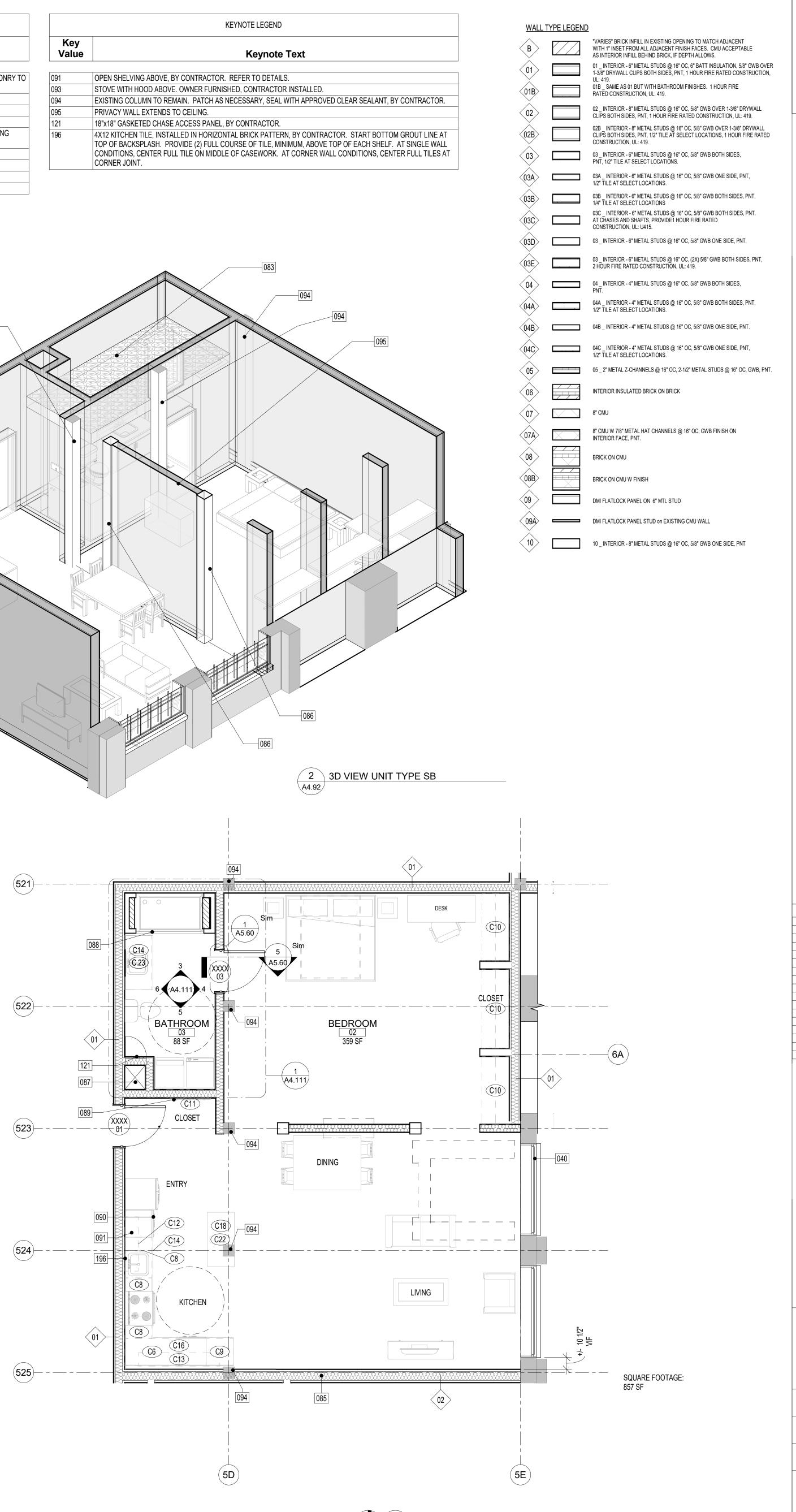


	KEYNOTE LEGEND	
Key Value	Keynote Text	Key Value
040	REPLACEMENT SASH WINDOWS WHERE CMU INFILL WAS REMOVED, BY CONTRACTOR. INFILL SILL WITH MASONRY TO MATCH ADJACENT CONDITIONS IN COURSING, DIMENSIONS AND COLORS.	091 093
083	MECHANICAL/STORAGE SPACE ABOVE BATHROOM/LAUNDRY/CLOSET.	093
084	WALL PACK HVAC UNIT, BY CONTRACTOR, REFER TO MEP DOCUMENTS.	095
085	ACOUSTIC BATT INSULATION, BY CONTRACTOR.	121
086	10"X10" ROUGH HEWN ACCENT COLUMN AT END OF PRIVACY PARTITION, BY CONTRACTOR. MATCH TO EXISTING EXPOSED TIMBERS IN SPECIES AND SEAL WITH APPROVED CLEAR SEALANT, BY CONTRACTOR.	196
087	MECHANICAL CHASE, REFER TO WALL TYPES.	
088	GLASS BYPASS SLIDING SHOWER DOORS, BY CONTRACTOR. REFER TO APPROVED FINISHES SCHEDULE.	
089	COAT STORAGE, BY CONTRACTOR. PROVIDE HANGING ROD, SHELF, AND BRAKCETS.	
090	DISHWASHER BELOW. OWNER FURNISHED, CONTRACTOR INSTALLED.	



4 3D VIEW UNIT TYPE SC





3 PLAN UNIT TYPE SC A4.92 1/4" = 1'-0"

1 PLAN UNIT TYPE SB A4.92 1/4" = 1'-0"

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

ENLARGED PLAN GENERAL NOTES:

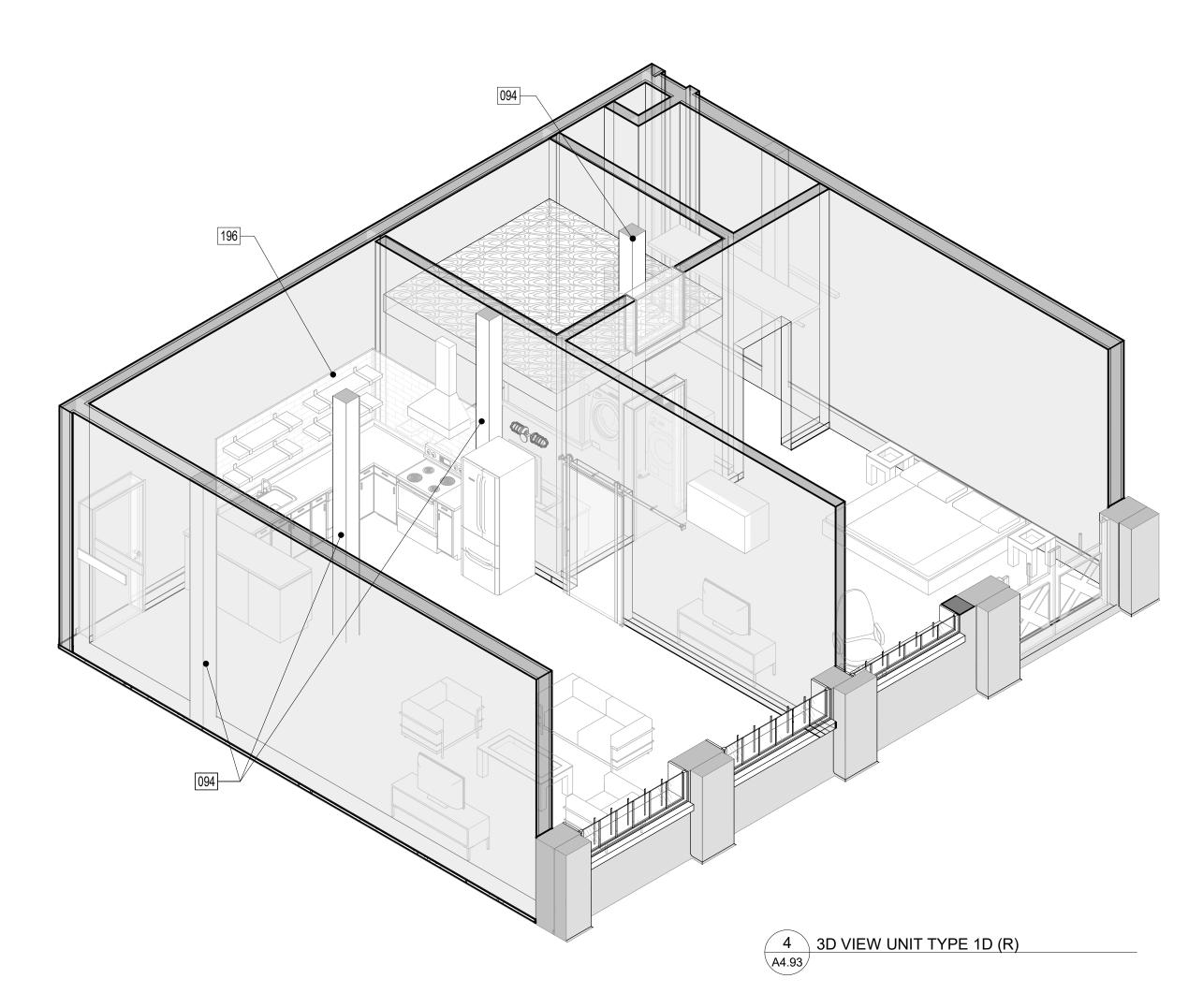
2.

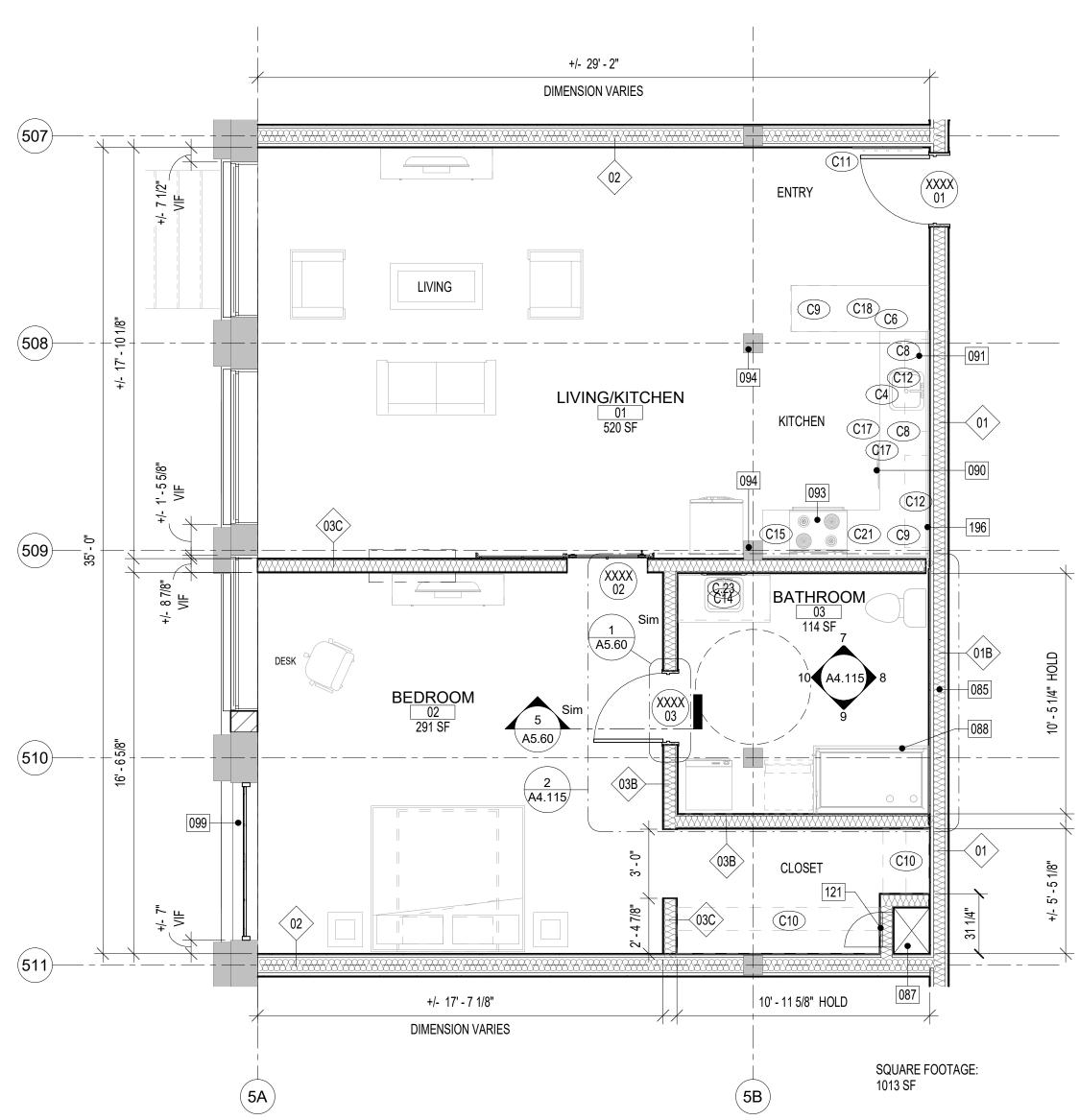
1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, U.N.O. INSTALL ALL FIXTURES IN ACCORDANCE WITH ALL ADA REGULATIONS. PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF ALL ACCESSORIES. REFER TO SHEET G1.10 FOR ADDITIONAL ADA GUIDELINES. 5. ALL LAUNDRY EQUIPMENT TBD LEGEND EXISTING WALL TO REMAIN

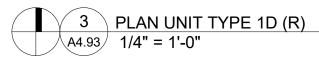
	NEW FRAME WALL
<u></u>	METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)
	PARTIAL HT STUD WALL
	INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE
$\bigwedge$	EXIST DOOR TO REMAIN AND REFURBISHED
	NEW DOOR
X	PANEL SIGN

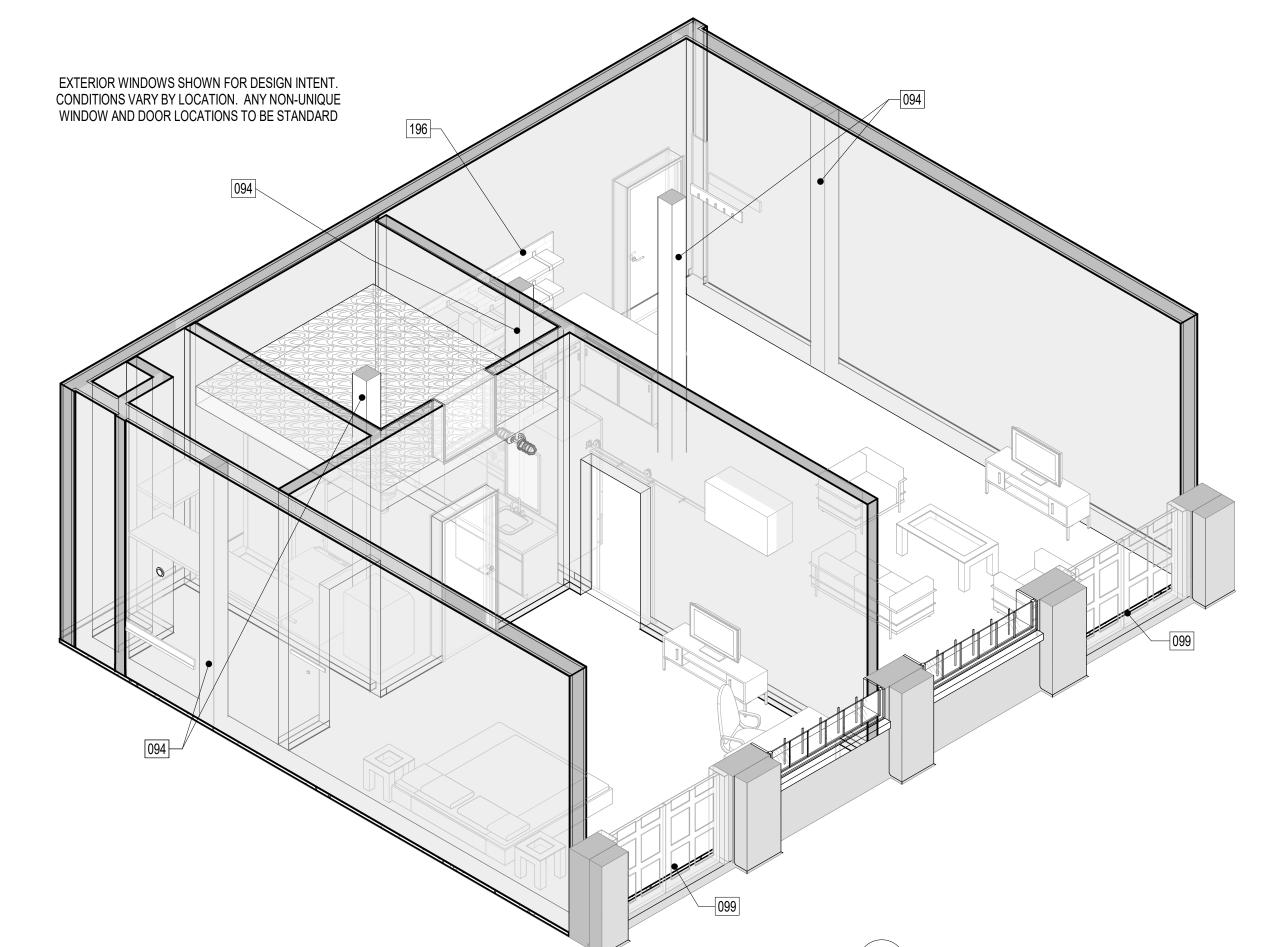
### BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

1463			Descr	iption			Date
No.			Desci				Dale
I		Α	٨				
F	/		$-\!\!\!/$				
ΗA	MMEL	Ass	SOCI	ates A	RCH	IITEC	TS, LLC
~			400 1		17602 Ph	one: 717	7 393-3713
28	5 East Grai	nt St, Suit	e 102, Lai	ncaster, PA			
2:	5 East Grai	nt St, Suit	e 102, Lai	ncaster, PA			
2:	5 East Grai	nt St, Suit	e 102, Lai	ncaster, PA			
2:	5 East Grai	nt St, Suit	e 102, Lai	ncaster, PA			
28	5 East Grai	nt St, Suit	e 102, La	ncaster, PA			
28							
28				MIL	.L, I	_LC	C
2:					L, I	_LC	C
25					L, I	_LC	C
2:					L, I	_LC	C
2:					L, I	_LC	C
	S	TEł			L, I	_LC	C
		TEł			L, I	_LC	2
	S	TEł			.L, I	_LC	2
PROJEC STEHLI	S	TE	HLI			_LC	2
PROJEC STEHLI 319-629 ANCAS	SILK MILL MARTHA /	TE	HLI	MIL		_LC	2
PROJEC STEHLI 319-629 LANCAS	SILK MILL MARTHA /	TE	HLI	MIL		_LC	2
PROJEC STEHLI 519-629 _ANCAS PA 1760	S CT DESCRI SILK MILL MARTHA / DTER, 1	TE	HLI	MIL		_LC	2
PROJEC STEHLI 319-629 ANCAS PA 1760 SHEET	S CT DESCRI SILK MILL MARTHA / DTER, 1	TEI IPTION RENOVA					<b>D</b>
PROJEC STEHLI 319-629 ANCAS PA 1760 SHEET	SILK MILL MARTHA A STER, 1 TITLE GED STUD	TEI IPTION RENOVA			IONS		<b>C</b>
PROJEC STEHLI 319-629 ANCAS PA 1760 SHEET	SILK MILL MARTHA A STER, 1 TITLE GED STUD	TEI IPTION RENOVA		MIL ND ALTERAT	10NS		<b>D</b>
PROJEC STEHLI 319-629 ANCAS PA 1760 SHEET ENLARC SSUE E	Silk MILL MARTHA / TITLE GED STUD	TEI IPTION RENOVA		MIL ND ALTERAT			C HECKED BY
PROJEC STEHLI 319-629 ANCAS PA 1760 SHEET	Silk MILL MARTHA / TITLE GED STUD	TEI IPTION RENOVA		NIL ND ALTERAT			IECKED BY

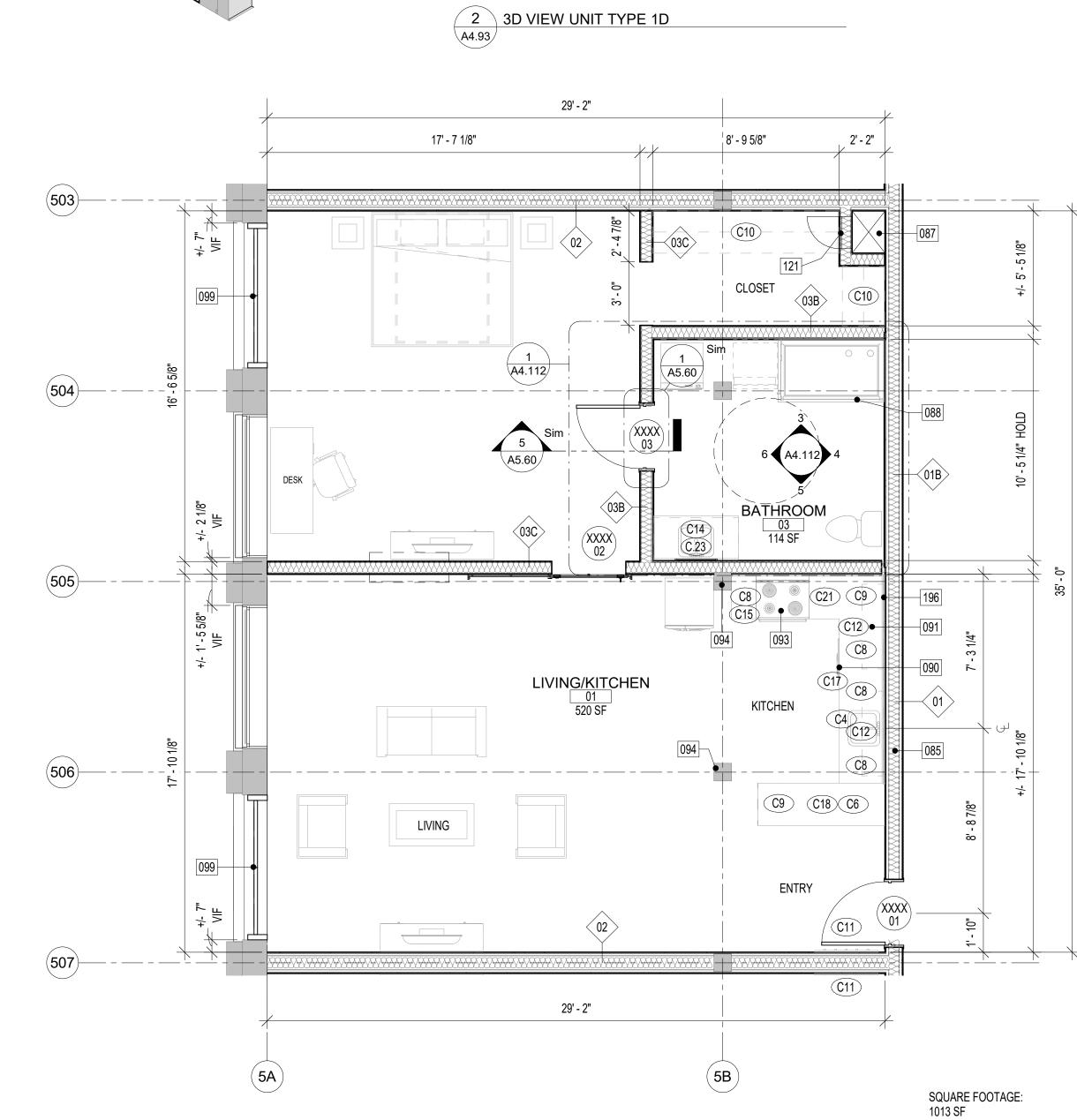




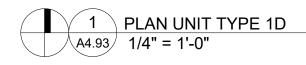




	KEYNOTE LEGEND	
Key Value	Keynote Text	l V
5	ACOUSTIC BATT INSULATION, BY CONTRACTOR.	121
7	MECHANICAL CHASE, REFER TO WALL TYPES.	196
}	GLASS BYPASS SLIDING SHOWER DOORS, BY CONTRACTOR. REFER TO APPROVED FINISHES SCHEDULE.	
)	DISHWASHER BELOW. OWNER FURNISHED, CONTRACTOR INSTALLED.	
	OPEN SHELVING ABOVE, BY CONTRACTOR. REFER TO DETAILS.	
}	STOVE WITH HOOD ABOVE. OWNER FURNISHED, CONTRACTOR INSTALLED.	
ļ.	EXISTING COLUMN TO REMAIN. PATCH AS NECESSARY, SEAL WITH APPROVED CLEAR SEALANT, BY CONTRACTOR.	
)	EXISTING DOORS WHICH ARE NO LONGER TO BE USED FOR EGRESS OR CIRCULATION WILL REPAIRED/RESTORED AND BE FIXED IN PLACE, BY CONTRACTOR. THIS IS TYPICAL FOR ALL RESIDENTIAL UNITS. IF DOORS CANNOT BE REPAIRED/RESTORED, THEY ARE TO BE REPLACED TO MATCH ORIGINAL DOORS PER PART 1 PHOTOGRAPHS. DOORS TO BE RENDERED INOPERABLE AT RESIDENTIAL UNITS, WITH ENTRY HARDWARE REMOVED AND CAPPED WITH MATCHING PLATE. TRANSOMS TO BE REOPENED AND RESTORED.	



Key Value



WALL .	TYPE LEGEND	<u>)</u>
В		"VARIES" BR WITH 1" INSE AS INTERIOF
01 01B		01 _ INTERIC 1-3/8" DRYW/ UL: 419. 01B _ SAME / RATED CONS
02		02 _ INTERIO CLIPS BOTH
02B		02B _ INTERI CLIPS BOTH CONSTRUCT
03		03 _ INTERIC PNT, 1/2" TILI
		03A _ INTERI 1/2" TILE AT \$
(03B)		03B _ INTERI 1/4" TILE AT \$
		03C _ INTERI AT CHASES / CONSTRUCT
(03D)		03_INTERIC
(03E)		03 _ INTERIO 2 HOUR FIRE
04		04_INTERIC PNT.
(04A)		04A _ INTERI 1/2" TILE AT \$
04B		04B _ INTERI
		04C _ INTERI 1/2" TILE AT S
05		05_2" META
06		INTERIOR IN
07		8" CMU
07A	$\times$	8" CMU W 7/8 INTERIOR FA
08		BRICK ON C
		BRICK ON CI

< 09

´ 10 `

CMU W FINISH 

NSULATED BRICK ON BRICK

AL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.

RIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.

ERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, AT SELECT LOCATIONS.

ERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES,

ERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, FIRE RATED CONSTRUCTION, UL: 419.

ERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.

ERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. ES AND SHAFTS, PROVIDE1 HOUR FIRE RATED TION, UL: U415.

RIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, T SELECT LOCATIONS. RIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, IT SELECT LOCATIONS

CTION, UL: 419. "ERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, 2" TILE AT SELECT LOCATIONS.

E AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE NSTRUCTION, UL: 419. ERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL DTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419. ERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL TH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED

ISET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE OR INFILL BEHIND BRICK, IF DEPTH ALLOWS. 

 ERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER
 WITH THE WORK. THE CONTRACTOR

 RYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION,
 SHALL BEAR THE COST OF RECTIEVING

KEYNOTE LEGEND

Keynote Text

CORNER WALL CONDITIONS, CENTER FULL TILES AT CORNER JOINT.

18"x18" GASKETED CHASE ACCESS PANEL, BY CONTRACTOR.

4X12 KITCHEN TILE, INSTALLED IN HORIZONTAL BRICK PATTERN, BY CONTRACTOR. START BOTTOM

EACH SHELF. AT SINGLE WALL CONDITIONS, CENTER FULL TILE ON MIDDLE OF CASEWORK. AT

GROUT LINE AT TOP OF BACKSPLASH. PROVIDE (2) FULL COURSE OF TILE, MINIMUM, ABOVE TOP OF

RICK INFILL IN EXISTING OPENING TO MATCH ADJACENT

2.

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713

PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE ENLARGED ONE BEDROOM UNIT PLANS, MILLS 5-6 ISSUE DATE SCALE AS NOTED DRAWN BY CHECKED BY FILE NUMBER 1929 кн PB

ENLARGED PLAN GENERAL NOTES: 1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, U.N.O. INSTALL ALL FIXTURES IN ACCORDANCE WITH ALL ADA REGULATIONS. PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF ALL ACCESSORIES. REFER TO SHEET G1.10 FOR ADDITIONAL ADA GUIDELINES. ALL LAUNDRY EQUIPMENT TBD LEGEND EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR PANEL SIGN BID SET PHASE II

DMI FLATLOCK PANEL STUD on EXISTING CMU WALL 10 \_ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT

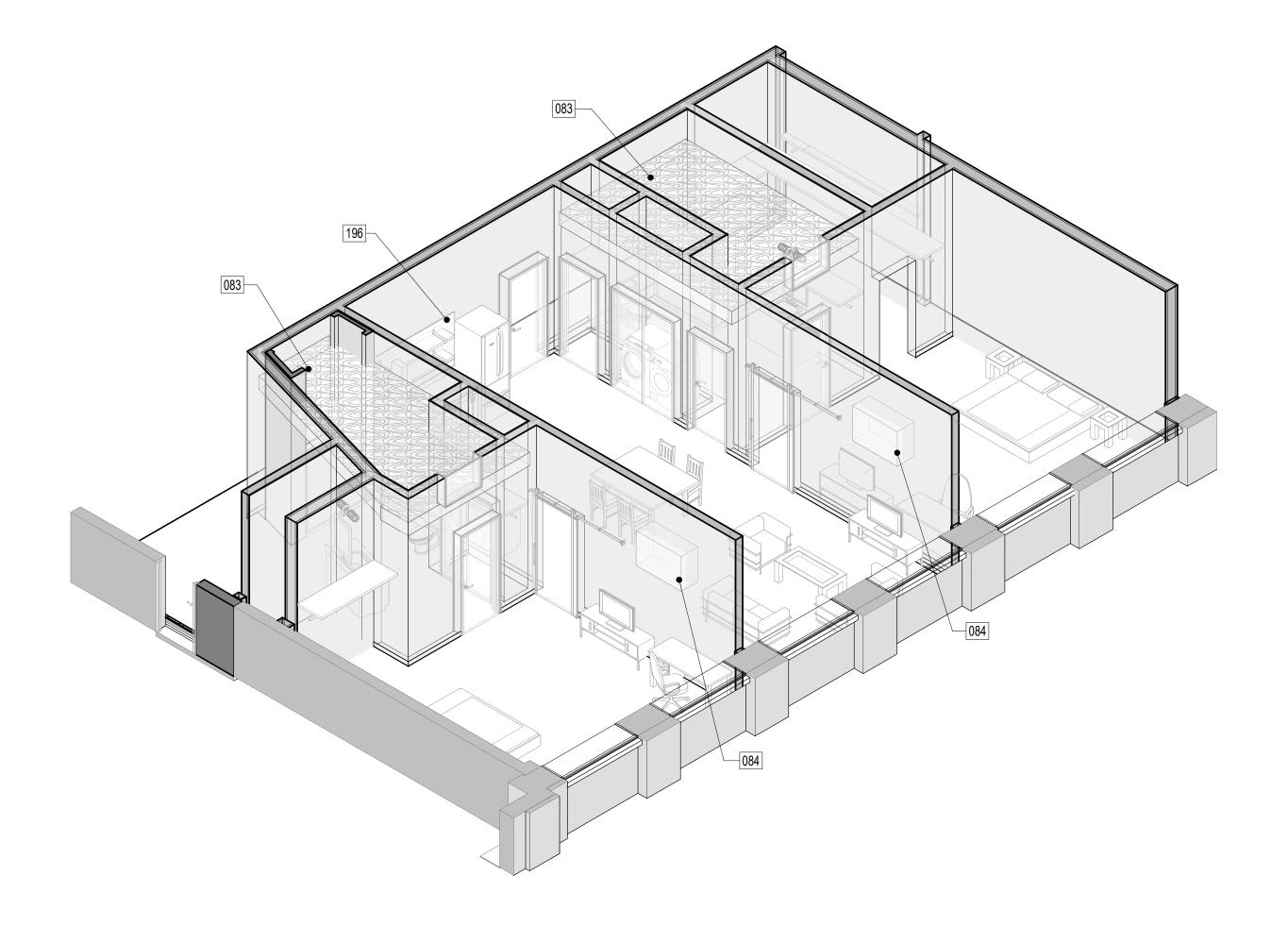
V 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON R FACE, PNT.

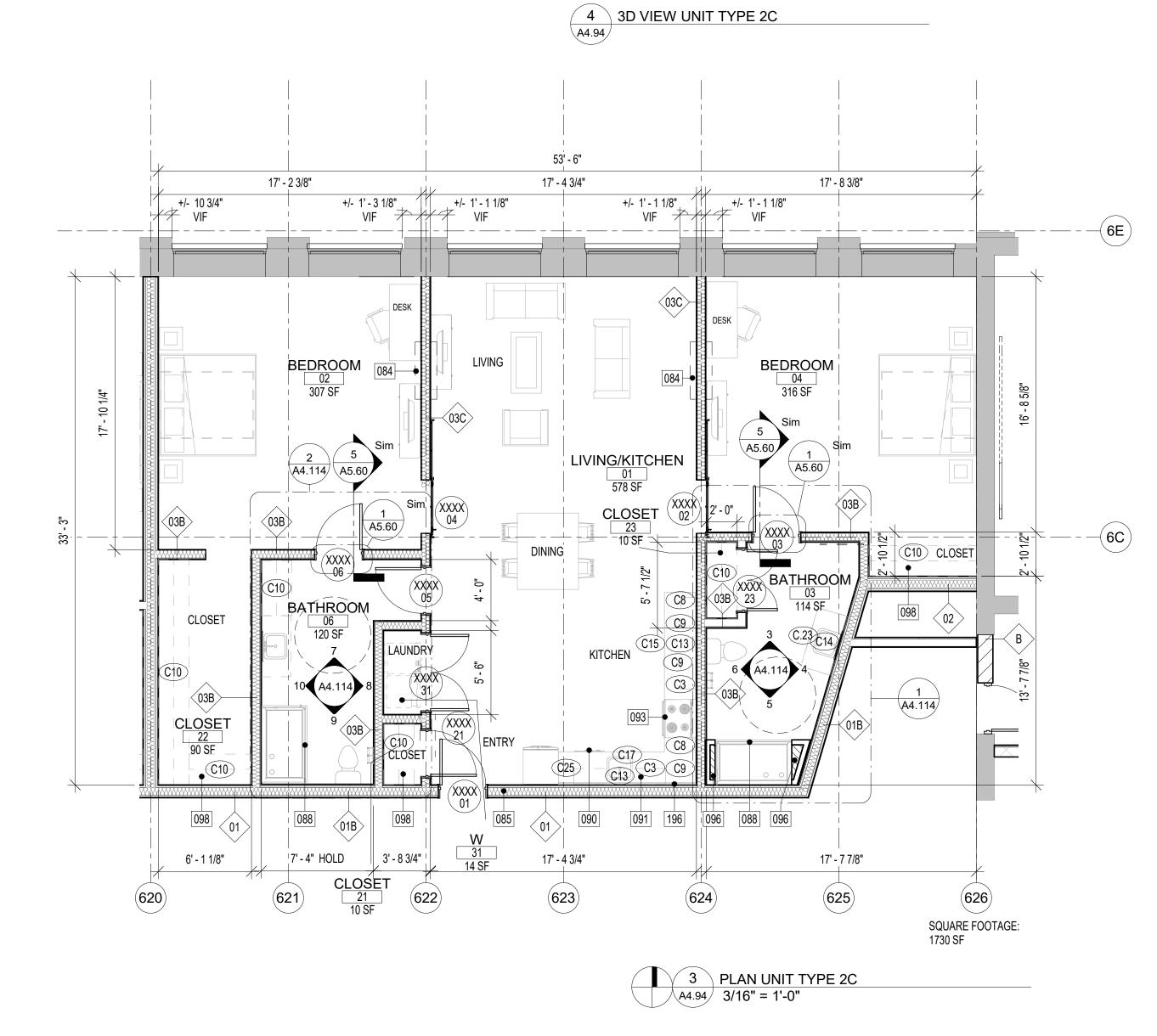
DMI FLATLOCK PANEL ON 6" MTL STUD

TERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, AT SELECT LOCATIONS.

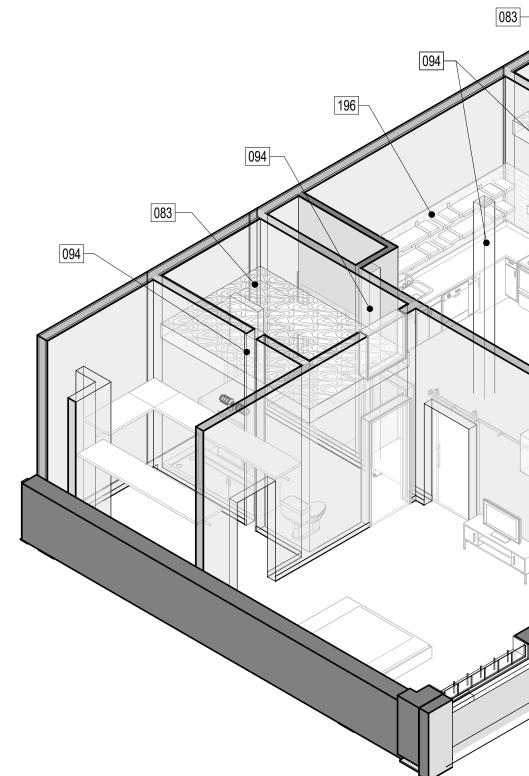
## NOT FOR CONSTRUCTION 10.28.2020 Description

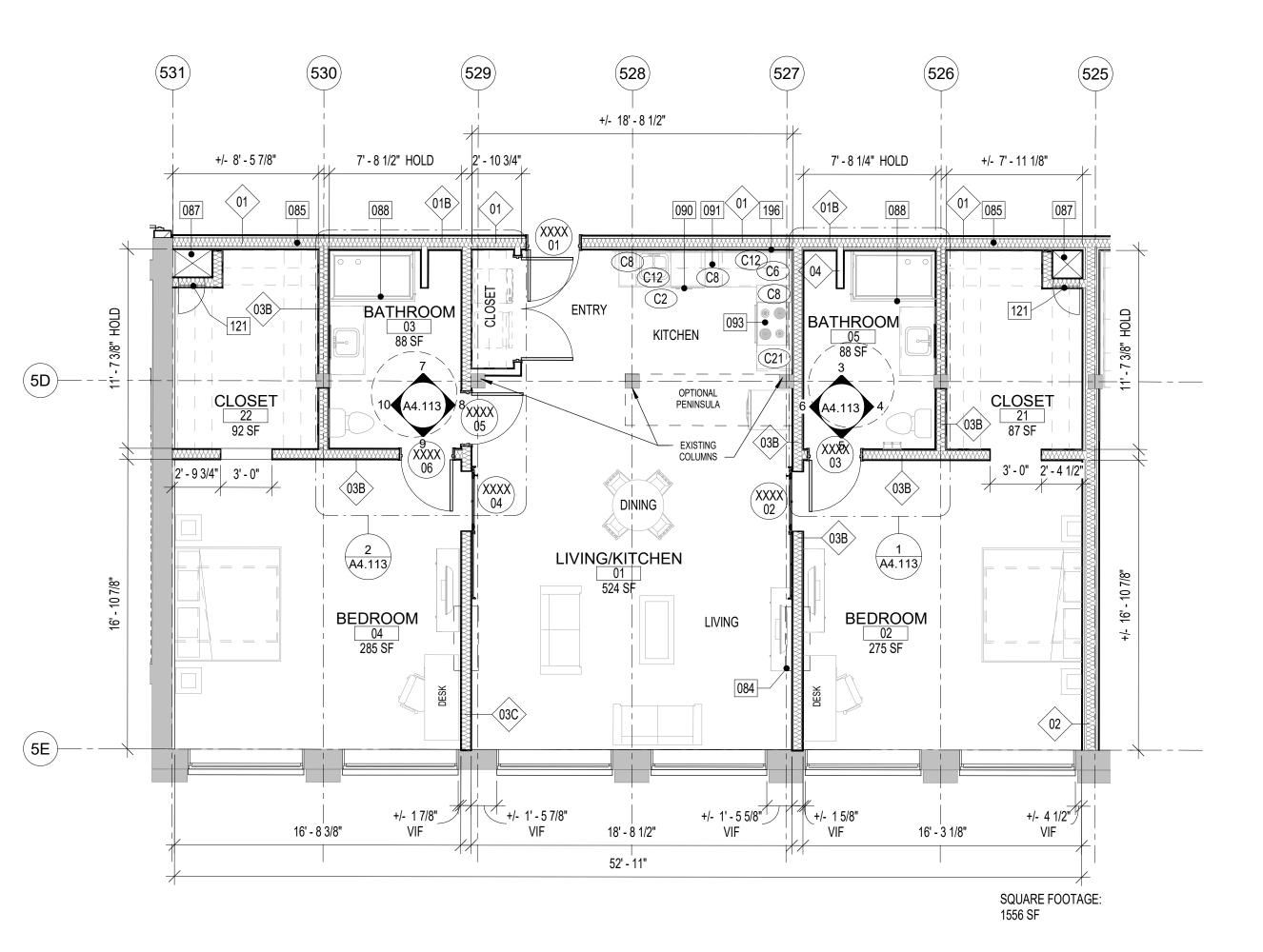
## STEHLI MILL, LLC





KEYNOTE LEGEND		
Key Value	Keynote Text	
083	MECHANICAL/STORAGE SPACE ABOVE BATHROOM/LAUNDRY/CLOSET.	
084	WALL PACK HVAC UNIT, BY CONTRACTOR, REFER TO MEP DOCUMENTS.	
085	ACOUSTIC BATT INSULATION, BY CONTRACTOR.	
087	MECHANICAL CHASE, REFER TO WALL TYPES.	
088	GLASS BYPASS SLIDING SHOWER DOORS, BY CONTRACTOR. REFER TO APPROVED FINISHES SCHEDULE.	
090	DISHWASHER BELOW. OWNER FURNISHED, CONTRACTOR INSTALLED.	
091	OPEN SHELVING ABOVE, BY CONTRACTOR. REFER TO DETAILS.	
093	STOVE WITH HOOD ABOVE. OWNER FURNISHED, CONTRACTOR INSTALLED.	





	KEYNOTE LEGEND
Key Value	Keynote Text
094	EXISTING COLUMN TO REMAIN. PATCH AS NECESSARY, SEAL WITH APPROVED CLEAR SEALANT, BY CONTRACTOR.
096	NICHE, BY CONTRACTOR. FINISH TO MATCH ADJACENT CONDITIONS.
098	OPEN SHELVING WITH HANGING ROD AND SUPPORT BRACKETS, BY CONTRACTOR.
121	18"x18" GASKETED CHASE ACCESS PANEL, BY CONTRACTOR.
196	4X12 KITCHEN TILE, INSTALLED IN HORIZONTAL BRICK PATTERN, BY CONTRACTOR. START BOTTOM GROUT LINE AT TOP OF BACKSPLASH. PROVIDE (2) FULL COURSE OF TILE, MINIMUM, ABOVE TOP OF EACH SHELF. AT SINGLE WALL CONDITIONS, CENTER FULL TILE ON MIDDLE OF CASEWORK. AT CORNER WALL CONDITIONS, CENTER FULL TILES AT CORNER JOINT.

|--|

WALL .	TYPE LEGEND	<u>)</u>
B		"VARIES" BRICK INFILL IN EXISTING OPENING TO MATC WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CI AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS
01		01 _ INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INS 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE UL: 419.
(01B)		01. 419. 01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 F RATED CONSTRUCTION, UL: 419.
02		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB O CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTR
02B		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIO CONSTRUCTION, UL: 419.
03		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB B PNT, 1/2" TILE AT SELECT LOCATIONS.
(03A)		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB 1/2" TILE AT SELECT LOCATIONS.
(03B)		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB 1/4" TILE AT SELECT LOCATIONS
		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATE CONSTRUCTION, UL: U415.
(03D)		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB C
		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GV 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04		04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB B PNT.
04A		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB 1/2" TILE AT SELECT LOCATIONS.
04B		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB
(04C)		04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB 1/2" TILE AT SELECT LOCATIONS.
05		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL ST
06		INTERIOR INSULATED BRICK ON BRICK
07	$\bigvee$	8" CMU
(07A)	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB F INTERIOR FACE, PNT.
08		BRICK ON CMU
08B		BRICK ON CMU W FINISH
09		DMI FLATLOCK PANEL ON 6" MTL STUD
(09A)		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL

ARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT ITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE S INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS. \_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, B\_SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE ATED CONSTRUCTION, UL: 419. 2\_INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL IPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419. 2B\_INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL LIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED ONSTRUCTION, UL: 419.  $_{\rm I}$  INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, NT, 1/2" TILE AT SELECT LOCATIONS.

A\_INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 2" TILE AT SELECT LOCATIONS. B \_ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 4" TILE AT SELECT LOCATIONS 3C \_ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. T CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED ONSTRUCTION, UL: U415.

\_ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.

3\_INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, HOUR FIRE RATED CONSTRUCTION, UL: 419.

\_ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES,

A \_ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 2" TILE AT SELECT LOCATIONS. 3 \_ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.

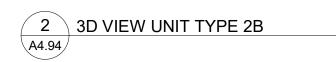
IC \_ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 2" TILE AT SELECT LOCATIONS.

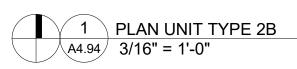
5 \_ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.

FERIOR INSULATED BRICK ON BRICK

" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON ITERIOR FACE, PNT.

10 \_ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT







ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### ENLARGED PLAN GENERAL NOTES:

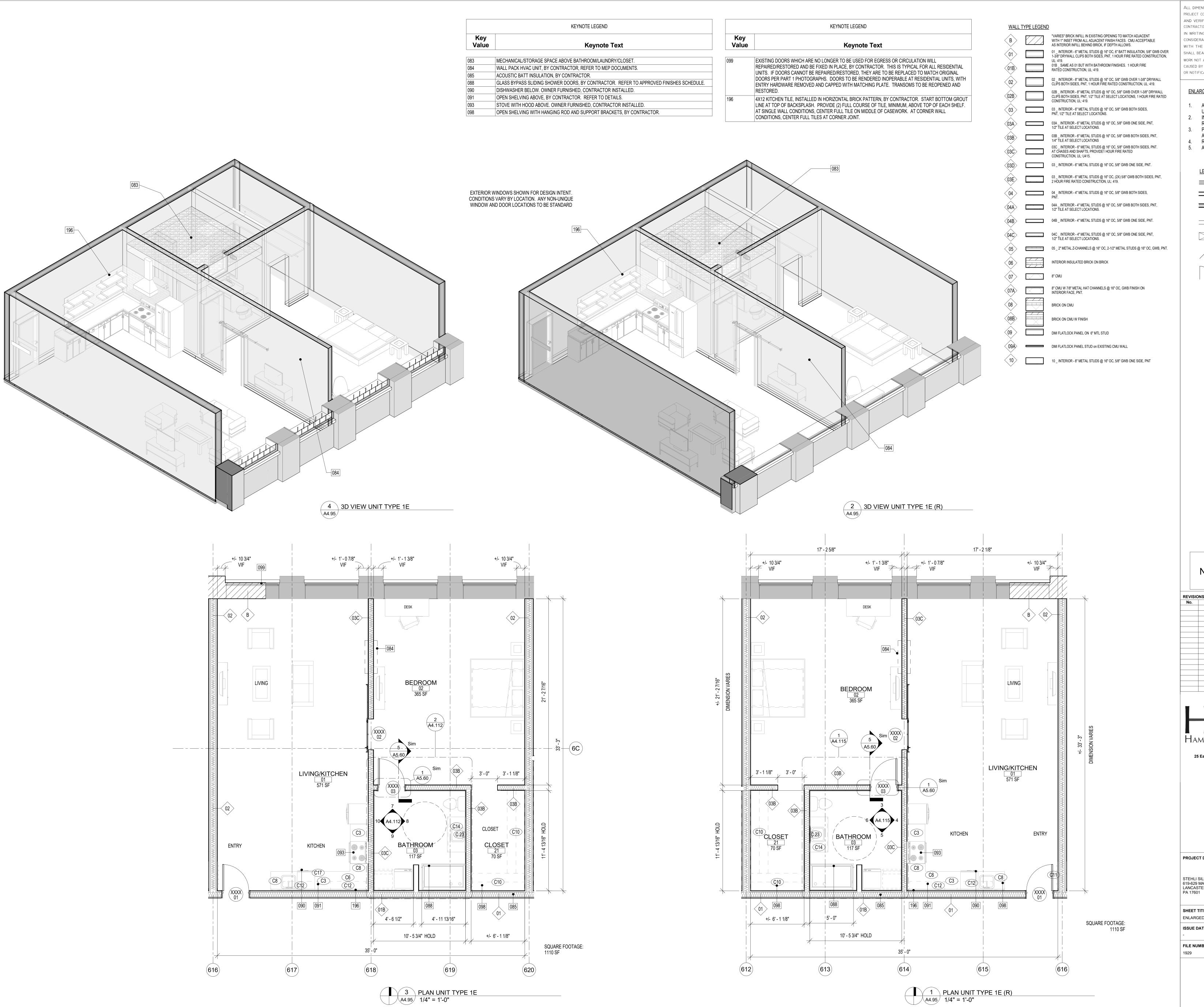
1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, U.N.O. INSTALL ALL FIXTURES IN ACCORDANCE WITH ALL ADA REGULATIONS. PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF ALL ACCESSORIES. REFER TO SHEET G1.10 FOR ADDITIONAL ADA GUIDELINES. 5. ALL LAUNDRY EQUIPMENT TBD

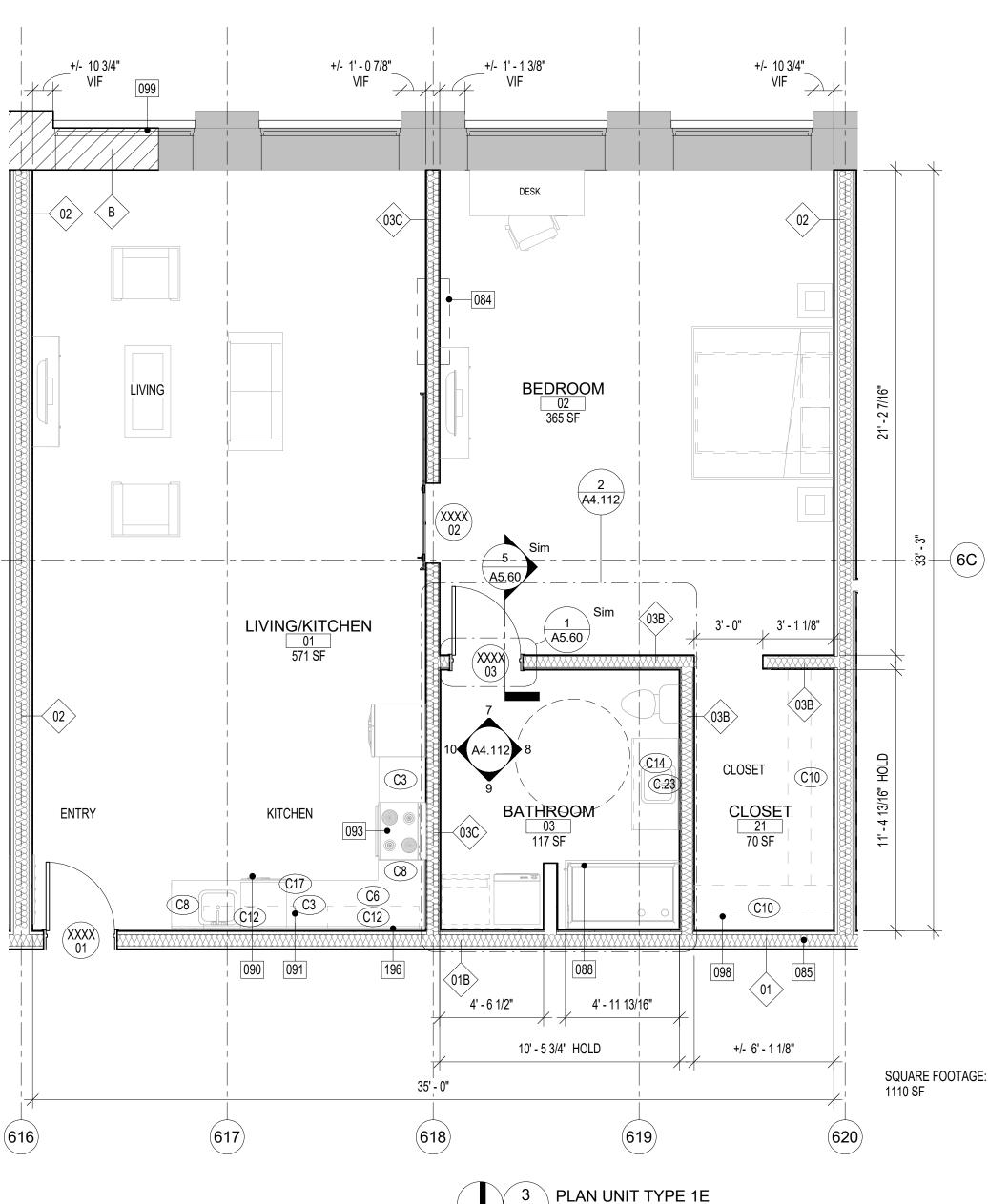
#### <u>LEGEND</u>

	EXISTING WALL TO REMAIN
	NEW FRAME WALL
<u></u>	METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)
	PARTIAL HT STUD WALL
	INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE
$\bigwedge$	EXIST DOOR TO REMAIN AND REFURBISHED
	NEW DOOR
X	PANEL SIGN

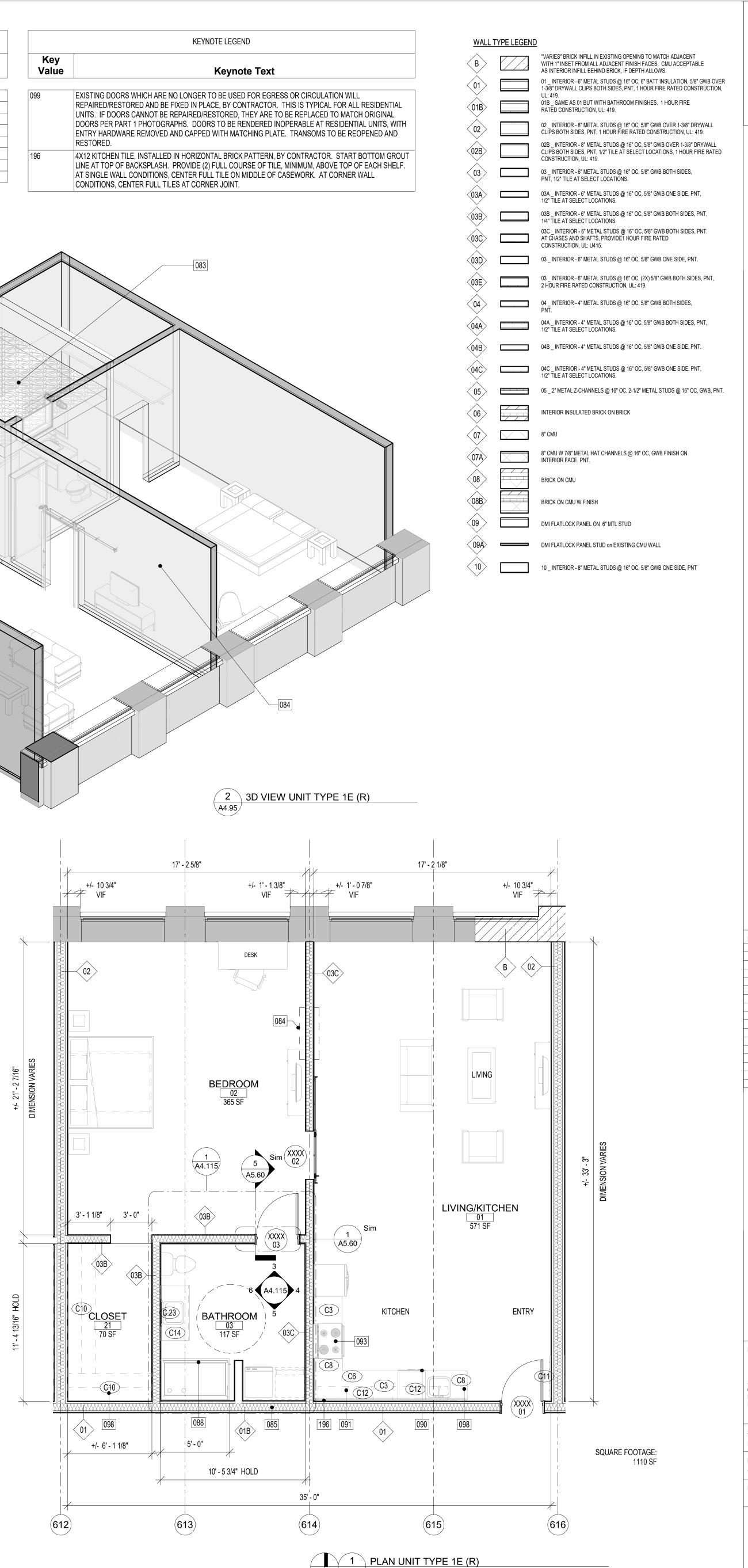
### BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

		<b>A</b>	
	AMEL ASSO	ciates Arci	HILECIS, LLC
25 E	ast Grant St, Suite 102	2, Lancaster, PA 17602 F	hone: 717 393-3713
	STEHI	LI MILL,	LLC
	STEHI	LI MILL,	LLC
PROJECT	STEH	LI MILL,	LLC
STEHLI SI 619-629 M _ANCAST	DESCRIPTION		LLC
STEHLI SI 619-629 M LANCAST PA 17601 SHEET TI	DESCRIPTION	IS AND ALTERATIONS	LLC
STEHLI SI 619-629 M LANCAST PA 17601 SHEET TI ENLARGE	DESCRIPTION	IS AND ALTERATIONS	LLC
STEHLI SI 619-629 M LANCAST PA 17601 SHEET TI	DESCRIPTION	IS AND ALTERATIONS	LLC
STEHLI SI 619-629 M LANCAST PA 17601 SHEET TI ENLARGE	DESCRIPTION	IS AND ALTERATIONS	LLC





	KEYNOTE LEGEND		
Key Value	Keynote Text	Key Value	
083	MECHANICAL/STORAGE SPACE ABOVE BATHROOM/LAUNDRY/CLOSET.	099	EX
084	WALL PACK HVAC UNIT, BY CONTRACTOR, REFER TO MEP DOCUMENTS.		REI
085	ACOUSTIC BATT INSULATION, BY CONTRACTOR.		UN DO
088	GLASS BYPASS SLIDING SHOWER DOORS, BY CONTRACTOR. REFER TO APPROVED FINISHES SCHEDULE.		EN
090	DISHWASHER BELOW. OWNER FURNISHED, CONTRACTOR INSTALLED.		RE
091	OPEN SHELVING ABOVE, BY CONTRACTOR. REFER TO DETAILS.	196	4X1
093	STOVE WITH HOOD ABOVE. OWNER FURNISHED, CONTRACTOR INSTALLED.		LIN
098	OPEN SHELVING WITH HANGING ROD AND SUPPORT BRACKETS, BY CONTRACTOR.		AT CO



ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, UNO

<u>888</u> \_\_\_\_ \_\_\_\_

REVISION

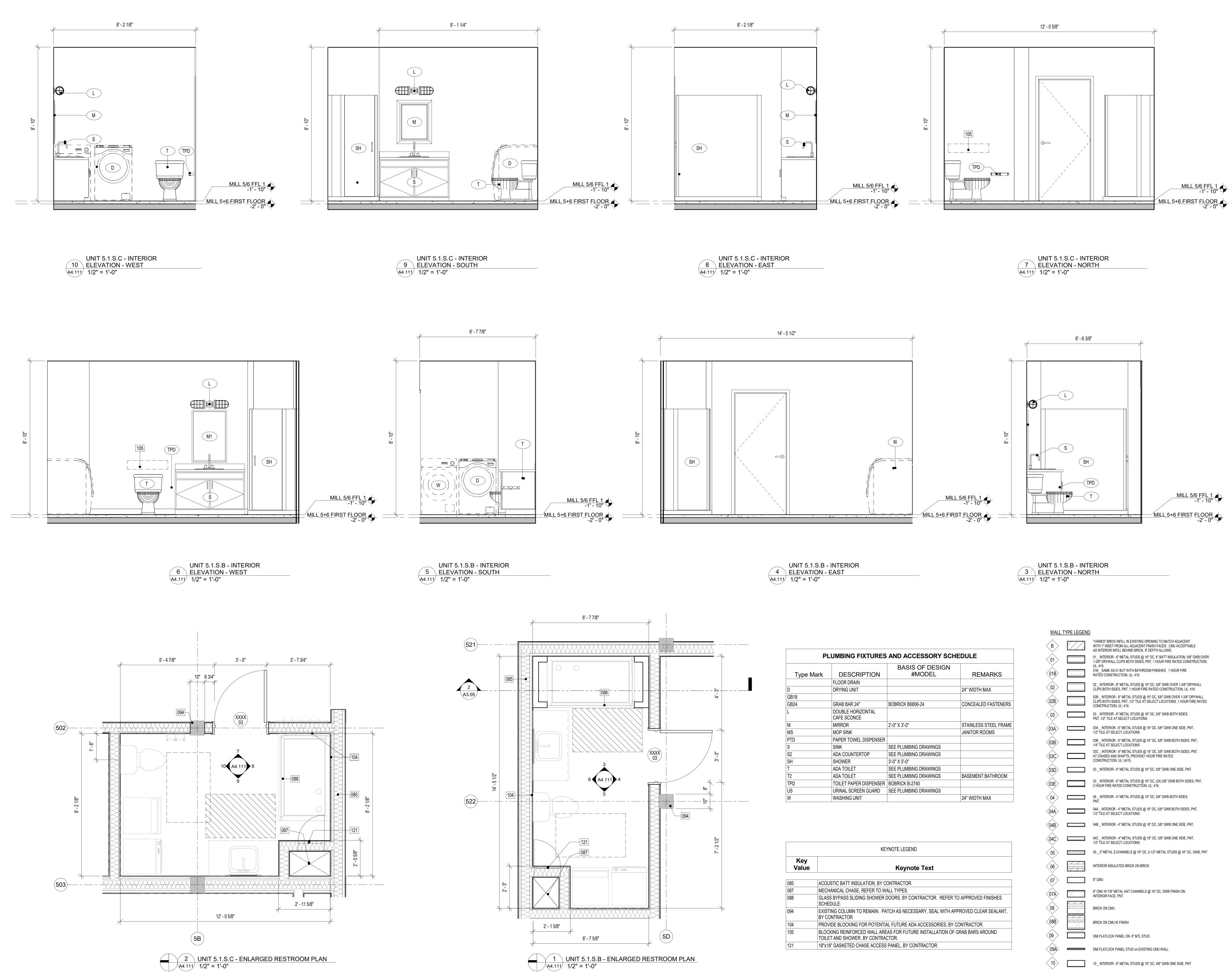
Нам 25 Ea

PROJECT STEHLI SILM 619-629 MAN LANCASTER PA 17601

SHEET TITL ENLARGED ISSUE DATE FILE NUMBI

#### ENLARGED PLAN GENERAL NOTES:

U.N.O. INSTALL AL REGULATIC PROVIDE S ACCESSOR REFER TO S	l fixtures in Act DNS. Olid blocking in Ries.	EET FROM FINISHEE CORDANCE WITH AL WALL FOR MOUNTI ADDITIONAL ADA GL 3D	LL ADA NG OF ALL
	INSULATION (AS II PARTIAL HT STUD INDICATES MECH, PLUMBING, OR EL	L .L w/ THERMAL OR S NDICATED ON DRAW WALL	/INGS)
X	NEW DOOR PANEL SIGN		
East Grant S	t, Suite 102, Lancas	ES ARCHITI ter, PA 17602 Phone: /ILL, LL	717 393-3713
ILK MILL REM MARTHA AVE ER,	NOVATIONS AND AI	LTERATIONS	
TLE ED ONE BED ITE IBER	ROOM UNIT PLANS	, MILLS 5/6 SCALE AS NOTED DRAWN BY KH	<b>СНЕСКЕД ВУ</b> РВ
F	\4	.95	



Туре Ма
D
GB18
GB24
L
М
MS
PTD
S
S2
SH
Т
T2
TPD
US
14/

,	Key Value
085	
087	
088	
094	
104	
105	
121	

		BASIS OF DESIGN	
rk	DESCRIPTION	#MODEL	REMARKS
	FLOOR DRAIN		
	DRYING UNIT		24" WIDTH MAX
	GRAB BAR 24"	BOBRICK B6806-24	CONCEALED FASTENERS
	DOUBLE HORIZONTAL CAFE SCONCE		
	MIRROR	2'-0" X 3'-0"	STAINLESS STEEL FRAME
	MOP SINK		JANITOR ROOMS
	PAPER TOWEL DISPENSER		
	SINK	SEE PLUMBING DRAWINGS	
	ADA COUNTERTOP	SEE PLUMBING DRAWINGS	
	SHOWER	3'-0" X 5'-0"	
	ADA TOILET	SEE PLUMBING DRAWINGS	
	ADA TOILET	SEE PLUMBING DRAWINGS	BASEMENT BATHROOM
	TOILET PAPER DISPENSER	BOBRICK B-2740	
	URINAL SCREEN GUARD	SEE PLUMBING DRAWINGS	
	WASHING UNIT		24" WIDTH MAX

Key	note	Text

<u>EGEND</u>	
$\square$	"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
	01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419. 01B SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE
	RATED CONSTRUCTION, UL: 419.
	02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
	02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
	03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
	03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
	03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
	04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
	04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
	04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
	05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
	INTERIOR INSULATED BRICK ON BRICK
	8" CMU
	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
	BRICK ON CMU
	BRICK ON CMU W FINISH

# HAM 25 Ea

PROJECT STEHLI SILK 619-629 MA LANCASTE PA 17601

SHEET TITL ENLARGED ISSUE DATE

FILE NUMBI 1929

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### ENLARGED PLAN GENERAL NOTES:

1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, U.N.O. 2. INSTALL ALL FIXTURES IN ACCORDANCE WITH ALL ADA REGULATIONS. PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF ALL ACCESSORIES. REFER TO SHEET G1.10 FOR ADDITIONAL ADA GUIDELINES.
 ALL LAUNDRY EQUIPMENT TBD

#### <u>LEGEND</u>

3

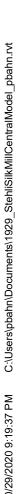
EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR

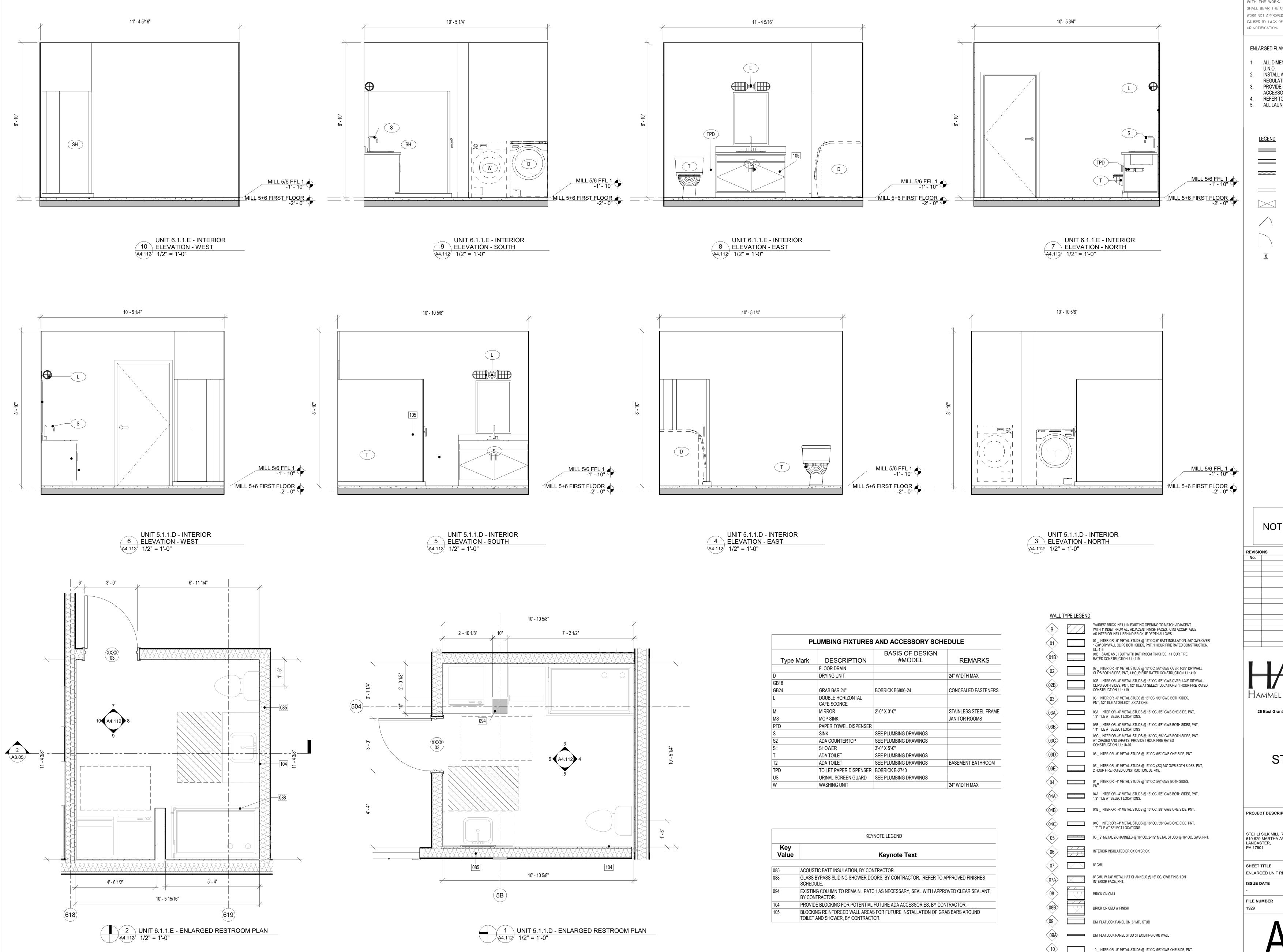


PANEL SIGN

## BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

ONS		
Desc	ription	Date
mmel Associ		
INIVIEL ASSUCE	ALES AKUHI	IECIS, LLC
- Frank Original Ch. Cuitta 400 J.a	ancaster, PA 17602 Phon	e: 717 393-3713
) East Grant St, Suite 102, La		
East Grant St, Suite 102, La		
b East Grant St, Suite 102, La		
5 East Grant St, Suite 102, La		
	MILL, L	LC
		LC
STEHLI		LC
STEHLI		LC
STEHLI	MILL, L	LC
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS A	MILL, L	LC
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AN MARTHA AVE STER,	MILL, L	LC
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AN MARTHA AVE STER, 1	MILL, L	LC
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AN MARTHA AVE STER, 01 TITLE	MILL, L	LC
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AN MARTHA AVE STER, 11 TITLE GED UNIT RESTROOM PLAN	MILL, L ND ALTERATIONS	
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AND MARTHA AVE STER, 01 TITLE GED UNIT RESTROOM PLAN	MILL, L ND ALTERATIONS	LC
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AND MARTHA AVE STER, 01 TITLE GED UNIT RESTROOM PLAN DATE	ND ALTERATIONS	
STEHLI CT DESCRIPTION SILK MILL RENOVATIONS AND MARTHA AVE STER, 01 TITLE GED UNIT RESTROOM PLAN	MILL, L ND ALTERATIONS	LC

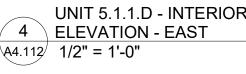






Key Value	
085	ACOUSTIC B
088	GLASS BYPA SCHEDULE.
094	EXISTING CO BY CONTRAC
104	PROVIDE BLC
105	BLOCKING R TOILET AND

PI	
Type Mark	
	FLO
D	DRY
GB18	
GB24	GRA
L	DOL CAF
М	MIR
MS	MOF
PTD	PAP
S	SIN
S2	ADA
SH	SHC
Т	ADA
T2	ADA
TPD	TOIL
US	URI
W	WAS



BING FIXTURES	AND ACCESSORY SCHE	DULE
ESCRIPTION	BASIS OF DESIGN #MODEL	REMARKS
OR DRAIN		
NG UNIT		24" WIDTH MAX
B BAR 24"	BOBRICK B6806-24	CONCEALED FASTENERS
BLE HORIZONTAL E SCONCE		
ROR	2'-0" X 3'-0"	STAINLESS STEEL FRAME
SINK		JANITOR ROOMS
ER TOWEL DISPENSER		
	SEE PLUMBING DRAWINGS	
COUNTERTOP	SEE PLUMBING DRAWINGS	
WER	3'-0" X 5'-0"	
TOILET	SEE PLUMBING DRAWINGS	
TOILET	SEE PLUMBING DRAWINGS	BASEMENT BATHROOM
ET PAPER DISPENSER	BOBRICK B-2740	
IAL SCREEN GUARD	SEE PLUMBING DRAWINGS	
HING UNIT		24" WIDTH MAX

KEYNOTE LEGEND	

VALL	<u>TYPE LEGEND</u>	
3		

LL T	YPE LEGEND	
>		"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
>		01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
>		01. 419. 01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
>		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
>		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
>		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
>		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
>		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
>		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
>		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
>		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
>		04_INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
>		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
>		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
>		04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
>		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
>		INTERIOR INSULATED BRICK ON BRICK
>	$\searrow$	8" CMU
>	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
>		BRICK ON CMU
>		BRICK ON CMU W FINISH
>		DMI FLATLOCK PANEL ON 6" MTL STUD
>		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
>		10 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT

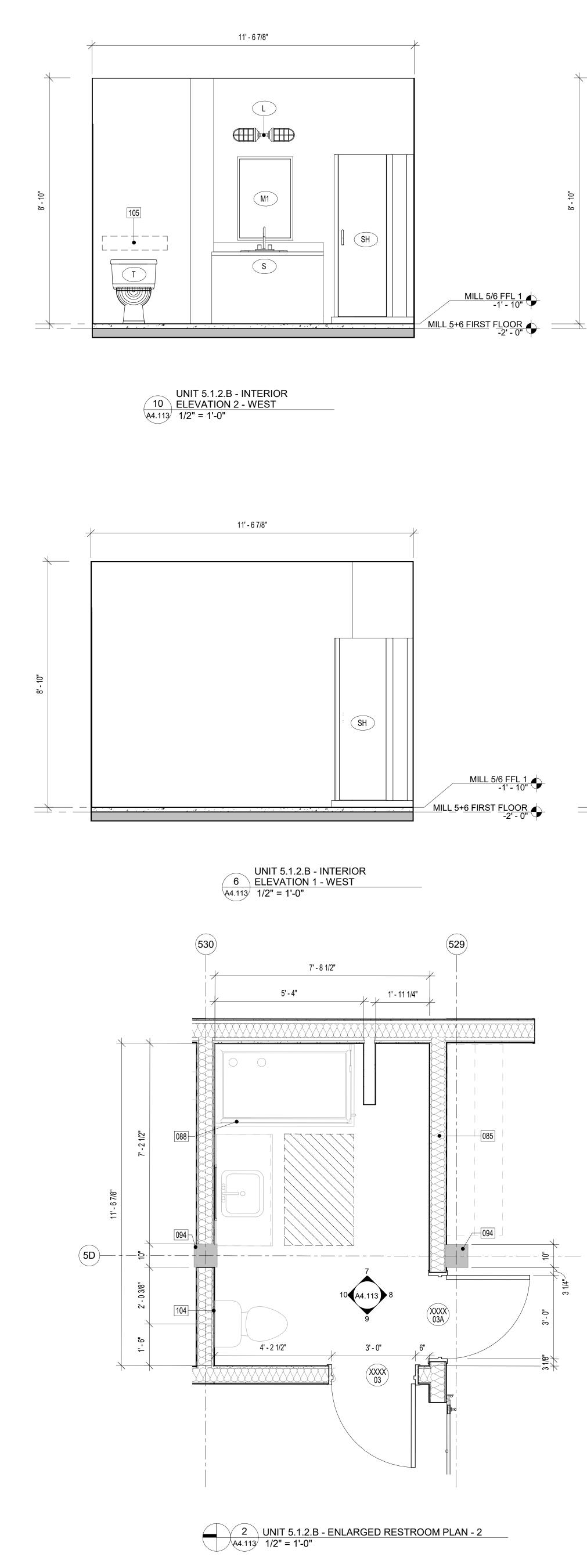
ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND

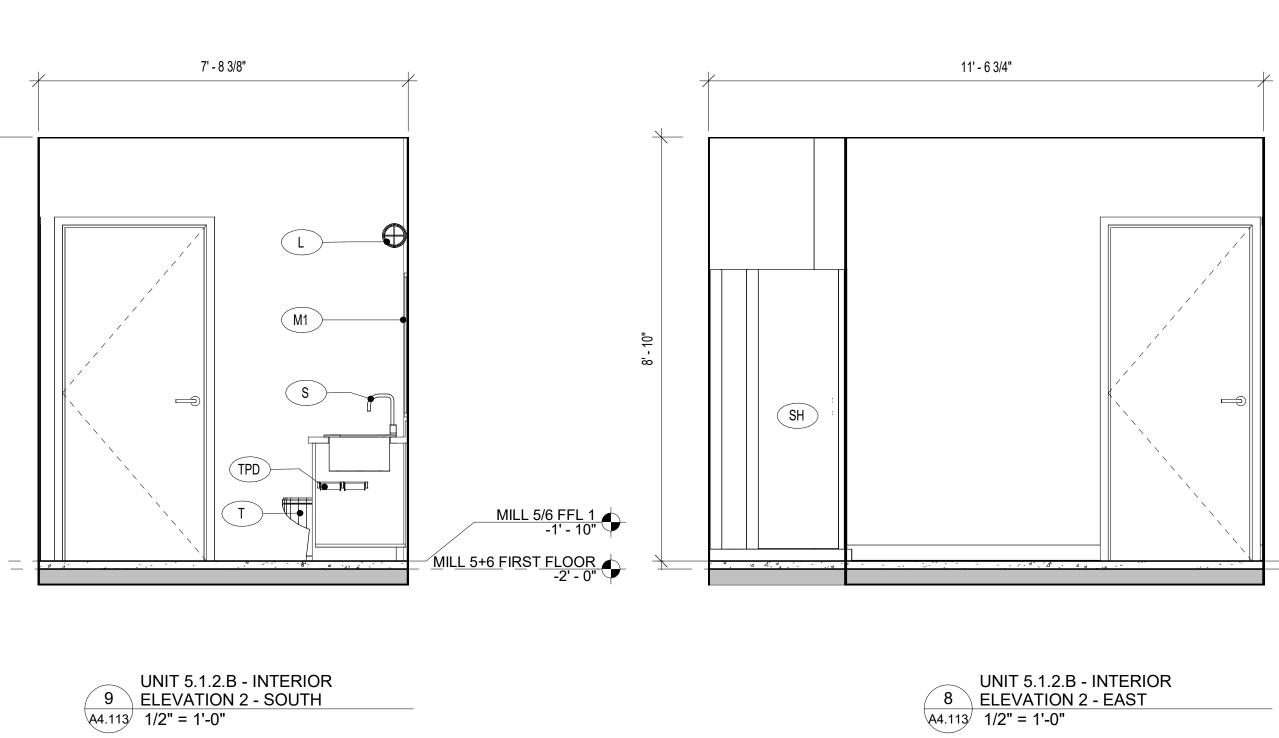
#### ENLARGED PLAN GENERAL NOTES:

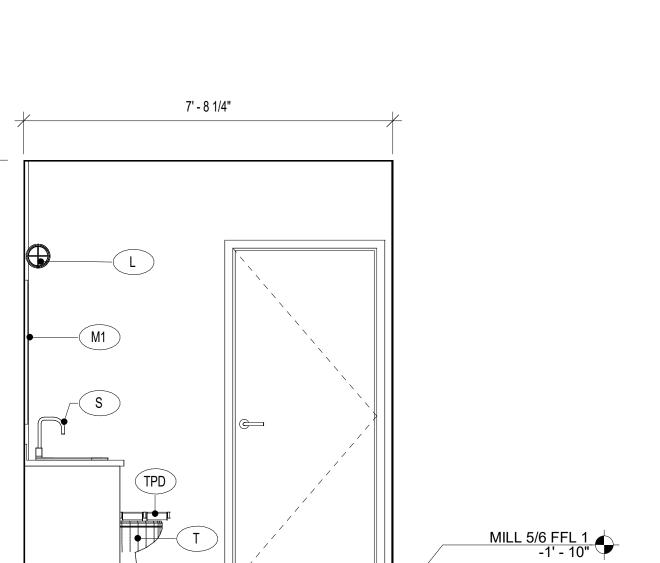
1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, U.N.O. 2. INSTALL ALL FIXTURES IN ACCORDANCE WITH ALL ADA REGULATIONS. 3. PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF ALL ACCESSORIES. REFER TO SHEET G1.10 FOR ADDITIONAL ADA GUIDELINES.
 ALL LAUNDRY EQUIPMENT TBD <u>LEGEND</u> EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR PANEL SIGN X

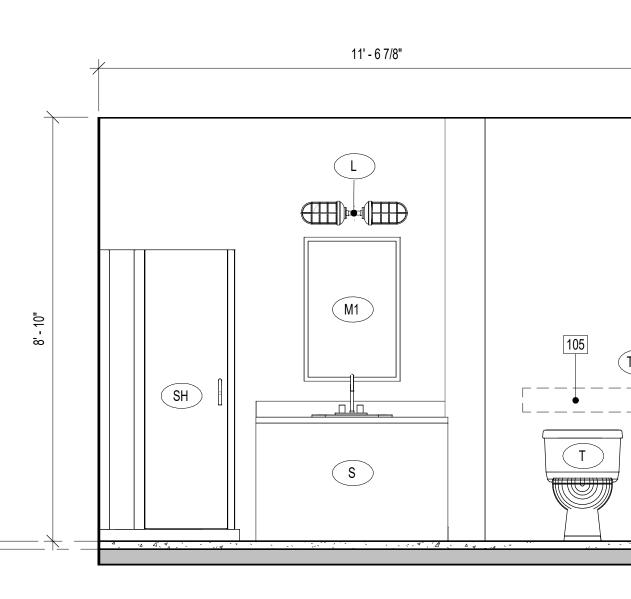
### BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

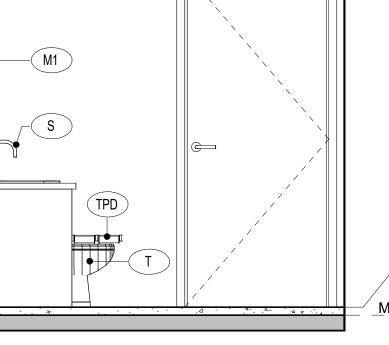
NS		
De	scription	Date
	ciates Arch	
	Lancaster, PA 17602 Pho	
East Grant St, Suite 102, STEHL r description	I MILL, L	
STEHL T DESCRIPTION ILK MILL RENOVATIONS MARTHA AVE TER,	AND ALTERATIONS	
STEHL T DESCRIPTION	AND ALTERATIONS	



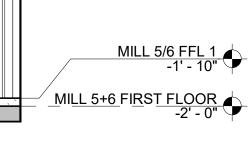




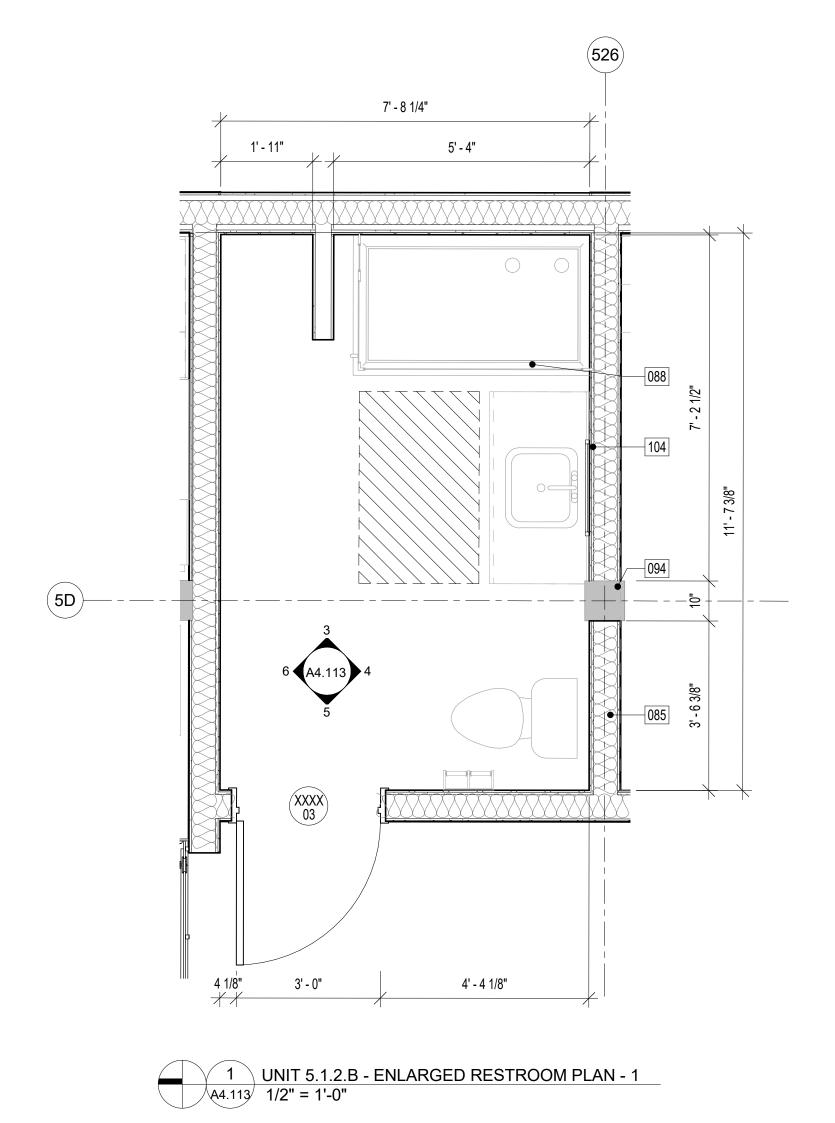




UNIT 5.1.2.B - INTERIOR 5 ELEVATION 1 - SOUTH A4.113 1/2" = 1'-0"

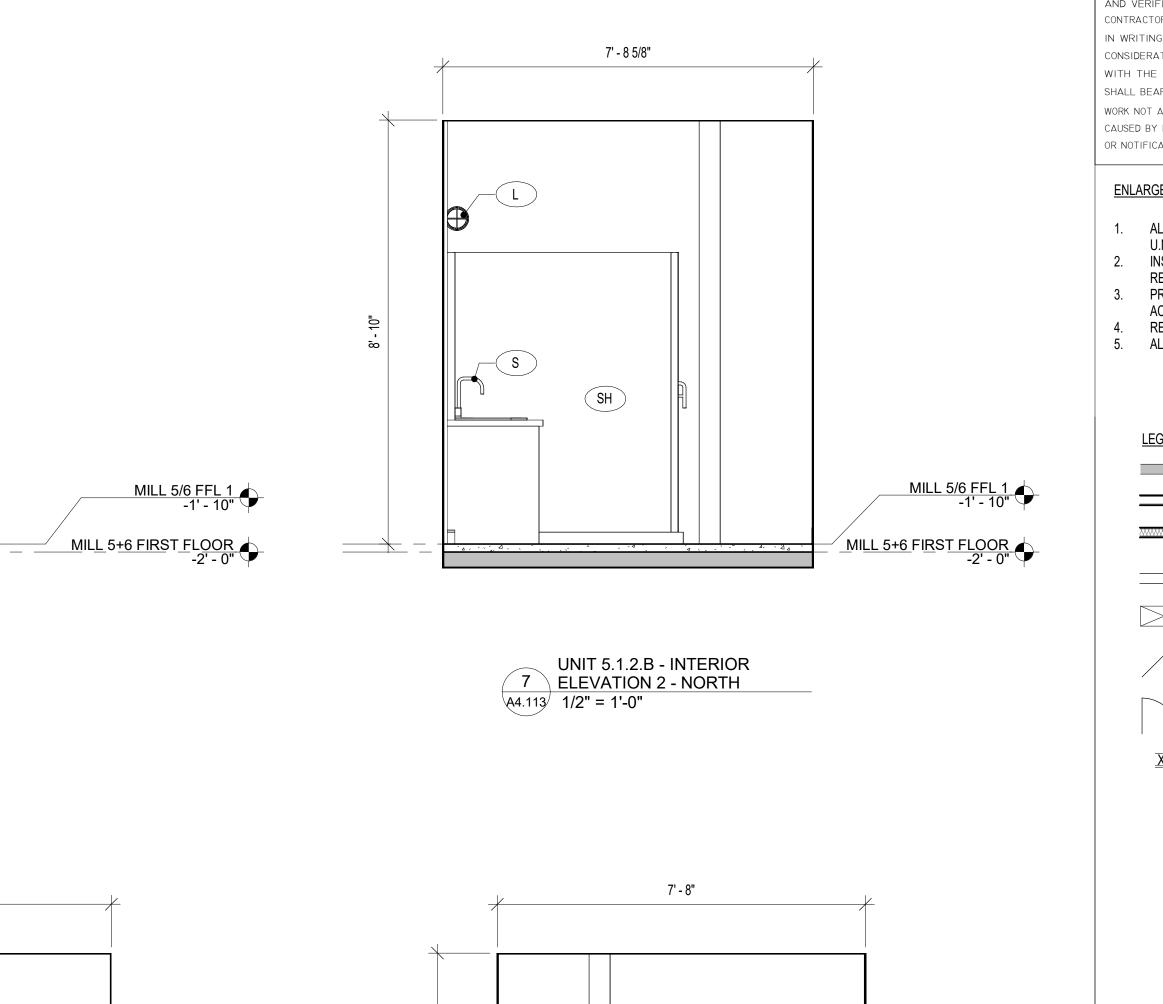


UNIT 5.1.2.B - INTERIOR 4 ELEVATION 1 - EAST A4.113 1/2" = 1'-0"



Pl	UMBING FIXTURES	AND ACCESSORY SCH	EDULE
Type Mark	DESCRIPTION	BASIS OF DESIGN #MODEL	REMARKS
	FLOOR DRAIN		
D	DRYING UNIT		24" WIDTH MAX
GB18			
GB24	GRAB BAR 24"	BOBRICK B6806-24	CONCEALED FASTENERS
L	DOUBLE HORIZONTAL CAFE SCONCE		
М	MIRROR	2'-0" X 3'-0"	STAINLESS STEEL FRAME
MS	MOP SINK		JANITOR ROOMS
PTD	PAPER TOWEL DISPENSER		
S	SINK	SEE PLUMBING DRAWINGS	
S2	ADA COUNTERTOP	SEE PLUMBING DRAWINGS	
SH	SHOWER	3'-0" X 5'-0"	
Т	ADA TOILET	SEE PLUMBING DRAWINGS	
T2	ADA TOILET	SEE PLUMBING DRAWINGS	BASEMENT BATHROOM
TPD	TOILET PAPER DISPENSER	BOBRICK B-2740	
US	URINAL SCREEN GUARD	SEE PLUMBING DRAWINGS	
W	WASHING UNIT		24" WIDTH MAX

	KEYNOTE LEGEND
Key Value	Keynote Text
085	ACOUSTIC BATT INSULATION, BY CONTRACTOR.
088	GLASS BYPASS SLIDING SHOWER DOORS, BY CONTRACTOR. REFER TO APPROVED FINISHES SCHEDULE.
094	EXISTING COLUMN TO REMAIN. PATCH AS NECESSARY, SEAL WITH APPROVED CLEAR SEALANT, BY CONTRACTOR.
104	PROVIDE BLOCKING FOR POTENTIAL FUTURE ADA ACCESSORIES, BY CONTRACTOR.
105	BLOCKING REINFORCED WALL AREAS FOR FUTURE INSTALLATION OF GRAB BARS AROUND TOILE AND SHOWER, BY CONTRACTOR.



105

T

MILL 5/6 FFL 1 -1' - 10"

MILL <u>5+6 FIRST</u> FLOOR -2' - 0"

3	UNIT 5.1.2.B - INTERIOR ELEVATION 1 - NORTH
A4.113	1/2" = 1'-0"

SH

MILL 5/6 FFL 1 -1' - 10"

MILL 5+6 FIRST FLOOR -2' - 0"

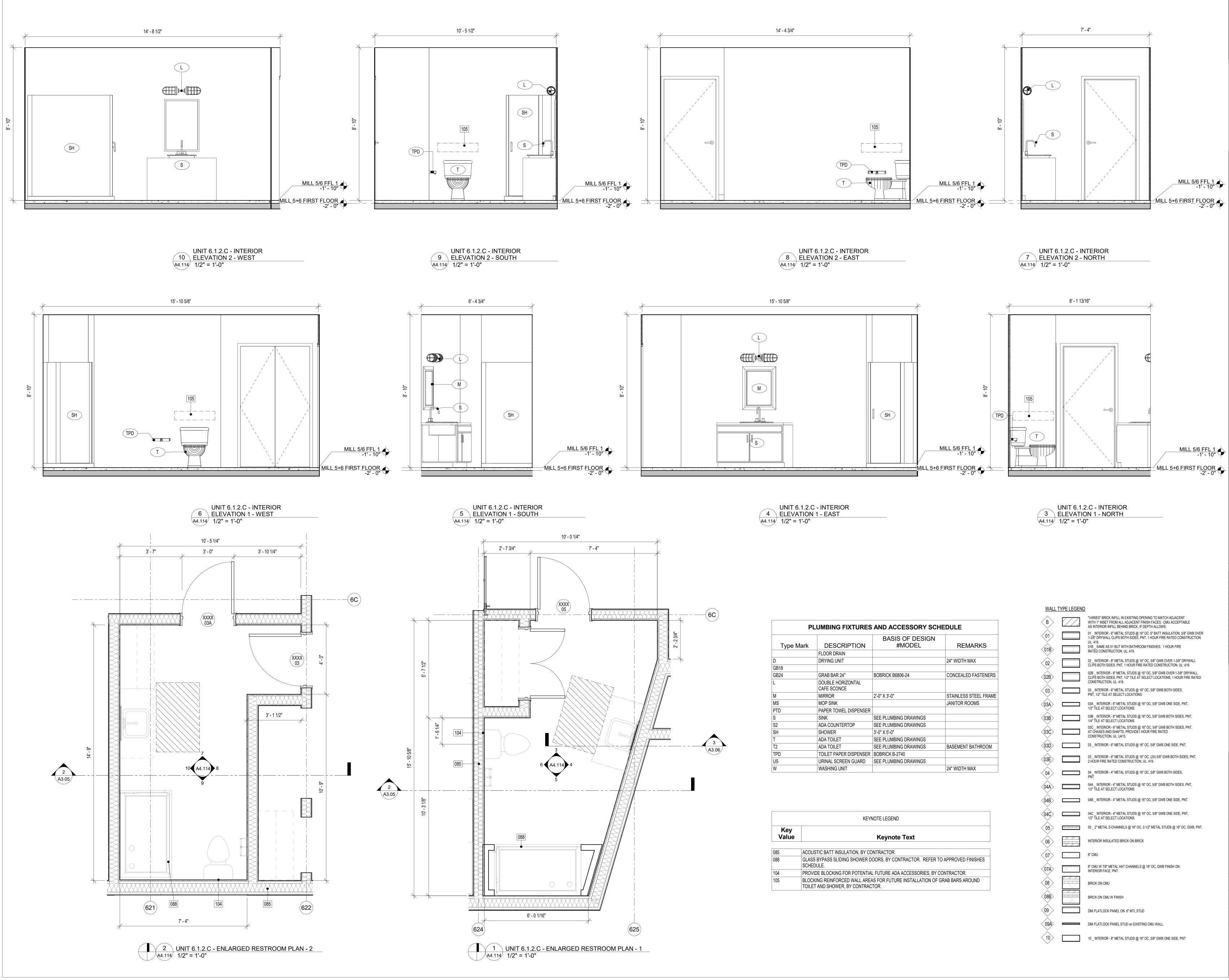
<u></u>	TYPE LEGEND	"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT
B		WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
01		01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
		01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02B		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
03		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
03A		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
03B		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
03C>		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
03D		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
03E>		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04		04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
04A		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
04B		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
04C>		04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
05		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, PNT.
06		INTERIOR INSULATED BRICK ON BRICK
07		8" CMU
07A	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
08		BRICK ON CMU
08B		BRICK ON CMU W FINISH
09		DMI FLATLOCK PANEL ON 6" MTL STUD
09A		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
10		10 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT



ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

ENLARGED PLAN GENERAL NOTES:
------------------------------

U.N.O. 2. INSTALL A REGULAT 3. PROVIDE ACCESSO 4. REFER TO	SOLID BLOCKING IN WALL FOR MOUNTI	L ADA NG OF ALL
	EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL W/ THERMAL OR SO INSULATION (AS INDICATED ON DRAW PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURB NEW DOOR PANEL SIGN	INGS)
	BID SET PHASE II	
REVISIONS No.	FOR CONSTRUC 10.28.2020	TION Date
REVISIONS	FOR CONSTRUC 10.28.2020	
REVISIONS No.	FOR CONSTRUCT 10.28.2020	Date
REVISIONS No.	FOR CONSTRUCT 10.28.2020	Date
REVISIONS No.	FOR CONSTRUCT 10.28.2020	Date
REVISIONS No. No. Handler HAMMEL 25 East Grant BROJECT DESCRIF STEHLI SILK MILL F 619-629 MARTHA A LANCASTER, PA 17601 SHEET TITLE	FOR CONSTRUCT 10.28.2020	Date
REVISIONS No. No. Handler HAMMEL 25 East Grant BROJECT DESCRIF STEHLI SILK MILL F 619-629 MARTHA A LANCASTER, PA 17601 SHEET TITLE	FOR CONSTRUCT 10.28.2020	Date
REVISIONS No. No. Handler HAMMEL 25 East Grant BROJECT DESCRIF STEHLI SILK MILL F 619-629 MARTHA A LANCASTER, PA 17601 SHEET TITLE ENLARGED UNIT R	FOR CONSTRUC 10.28.2020	Date



3	UNIT 6.1.2.C - INTERIOR ELEVATION 1 - NORTH
A4.114	1/2" = 1'-0"

DESCRIPTION	BASIS OF DESIGN #MODEL	REMARKS
FLOOR DRAIN		
DRYING UNIT		24" WIDTH MAX
GRAB BAR 24"	BOBRICK B6806-24	CONCEALED FASTENERS
DOUBLE HORIZONTAL CAFE SCONCE		
MIRROR	2'-0" X 3'-0"	STAINLESS STEEL FRAME
MOP SINK		JANITOR ROOMS
PAPER TOWEL DISPENSER		
SINK	SEE PLUMBING DRAWINGS	
ADA COUNTERTOP	SEE PLUMBING DRAWINGS	
SHOWER	3'-0" X 5'-0"	
ADA TOILET	SEE PLUMBING DRAWINGS	
ADA TOILET	SEE PLUMBING DRAWINGS	BASEMENT BATHROOM
TOILET PAPER DISPENSER	BOBRICK B-2740	
URINAL SCREEN GUARD	SEE PLUMBING DRAWINGS	
WASHING UNIT		24" WIDTH MAX

WALL T	YPE LEGEND	
B		"VARIES" BRICK INFILL IN EXISTING OPENING TO MATCH ADJACENT WITH 1" INSET FROM ALL ADJACENT FINISH FACES. CMU ACCEPTABLE AS INTERIOR INFILL BEHIND BRICK, IF DEPTH ALLOWS.
01		01_INTERIOR - 6" METAL STUDS @ 16" OC, 6" BATT INSULATION, 5/8" GWB 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCT
01B		UL: 419. 01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02		02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
02B		02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWAI CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RA CONSTRUCTION, UL: 419.
03		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
03A>		03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
03B		03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
03C>		03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
03D		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
03E>		03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
04		04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
04A		04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
04B		04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
04C>		04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
05		05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB,
06		INTERIOR INSULATED BRICK ON BRICK
07		8" CMU
07A	$\times$	8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
08		BRICK ON CMU
08B		BRICK ON CMU W FINISH
09		DMI FLATLOCK PANEL ON 6" MTL STUD
09A		DMI FLATLOCK PANEL STUD on EXISTING CMU WALL
10>		10 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT





SHEET TITI ENLARGED ISSUE DATE

FILE NUMBI 1929 

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

## ENLARGED PLAN GENERAL NOTES:

1. ALL DIMENSIONS ON THIS SHEET FROM FINISHED SURFACE, U.N.O. 2. INSTALL ALL FIXTURES IN ACCORDANCE WITH ALL ADA REGULATIONS. 3. PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF ALL ACCESSORIES. REFER TO SHEET G1.10 FOR ADDITIONAL ADA GUIDELINES.
 ALL LAUNDRY EQUIPMENT TBD

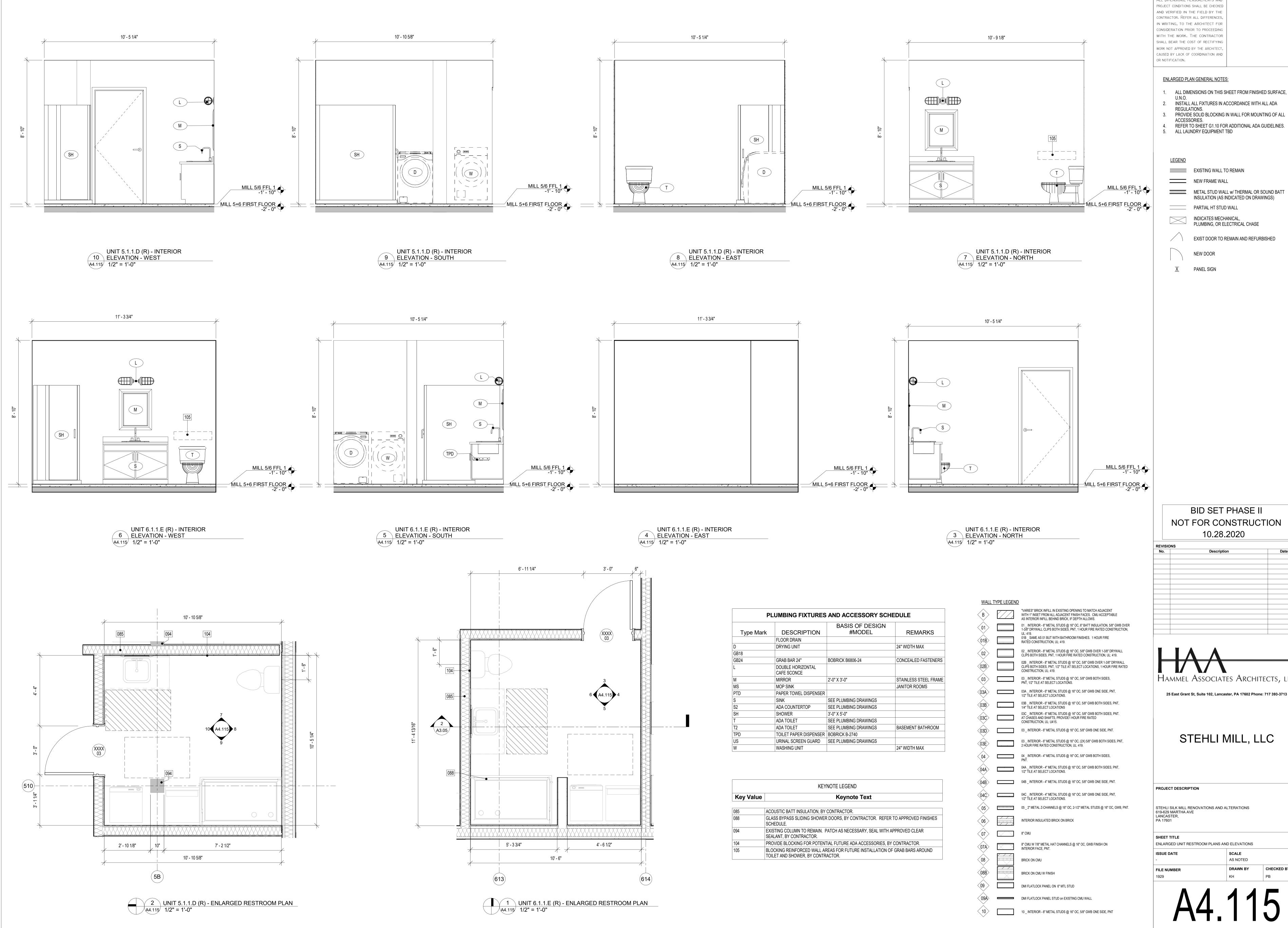
## <u>LEGEND</u>

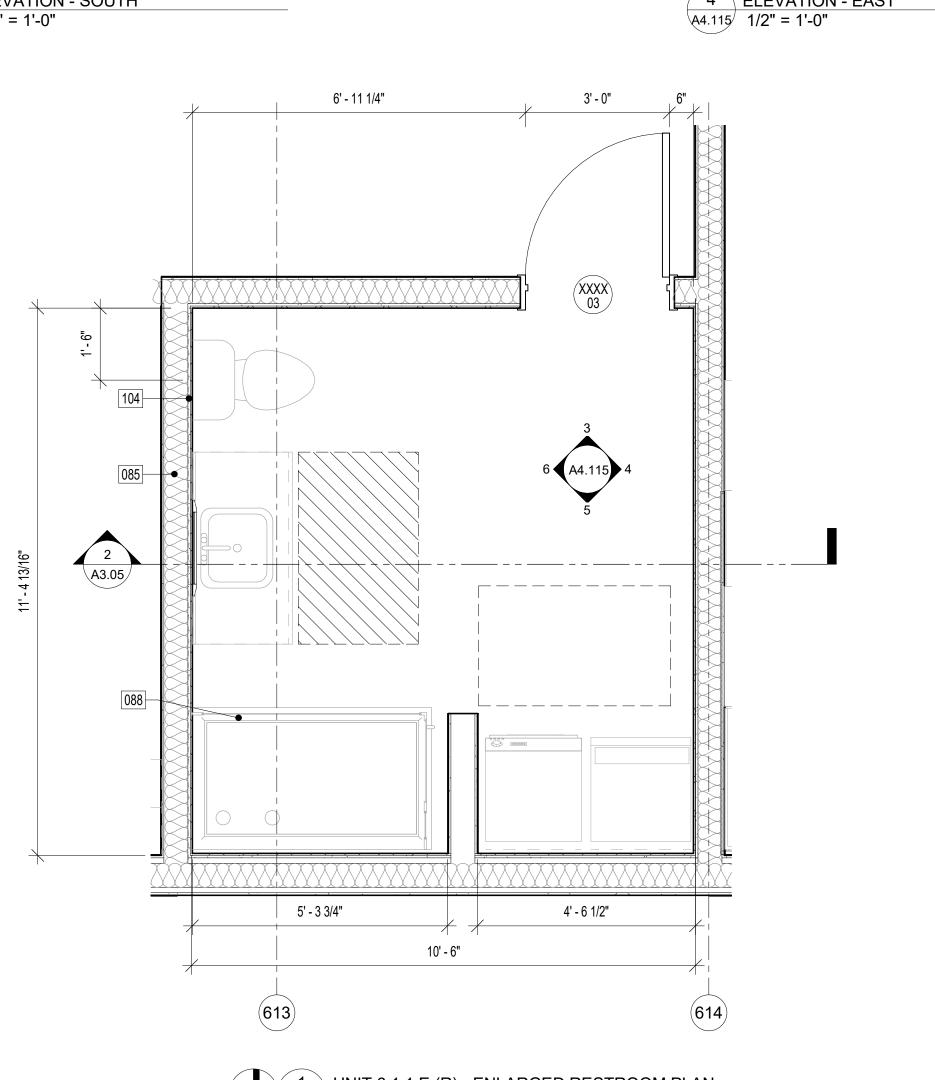
EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR

X PANEL SIGN

## BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

NS		Date
Des	scription	
		I
AMEL ASSOC		
AMEL ASSOC	IATES AKCH	ILECIS, LLC
	Lancaster PA 17602 Ph	opo: 717 303 3713
ast Grant St, Suite 102,		one. / 1/ 393-3/13
East Grant St, Suite 102,		one. / 1/ 555-57 15
East Grant St, Suite 102,		one. / // 393-3/13
East Grant St, Suite 102,	I MILL, I	
STEHL		
STEHL T DESCRIPTION	I MILL, I	
STEHL T DESCRIPTION SILK MILL RENOVATIONS MARTHA AVE FER,	AND ALTERATIONS	
East Grant St, Suite 102, STEHL T DESCRIPTION SILK MILL RENOVATIONS MARTHA AVE TER, ITLE ED UNIT RESTROOM PLA	AND ALTERATIONS	





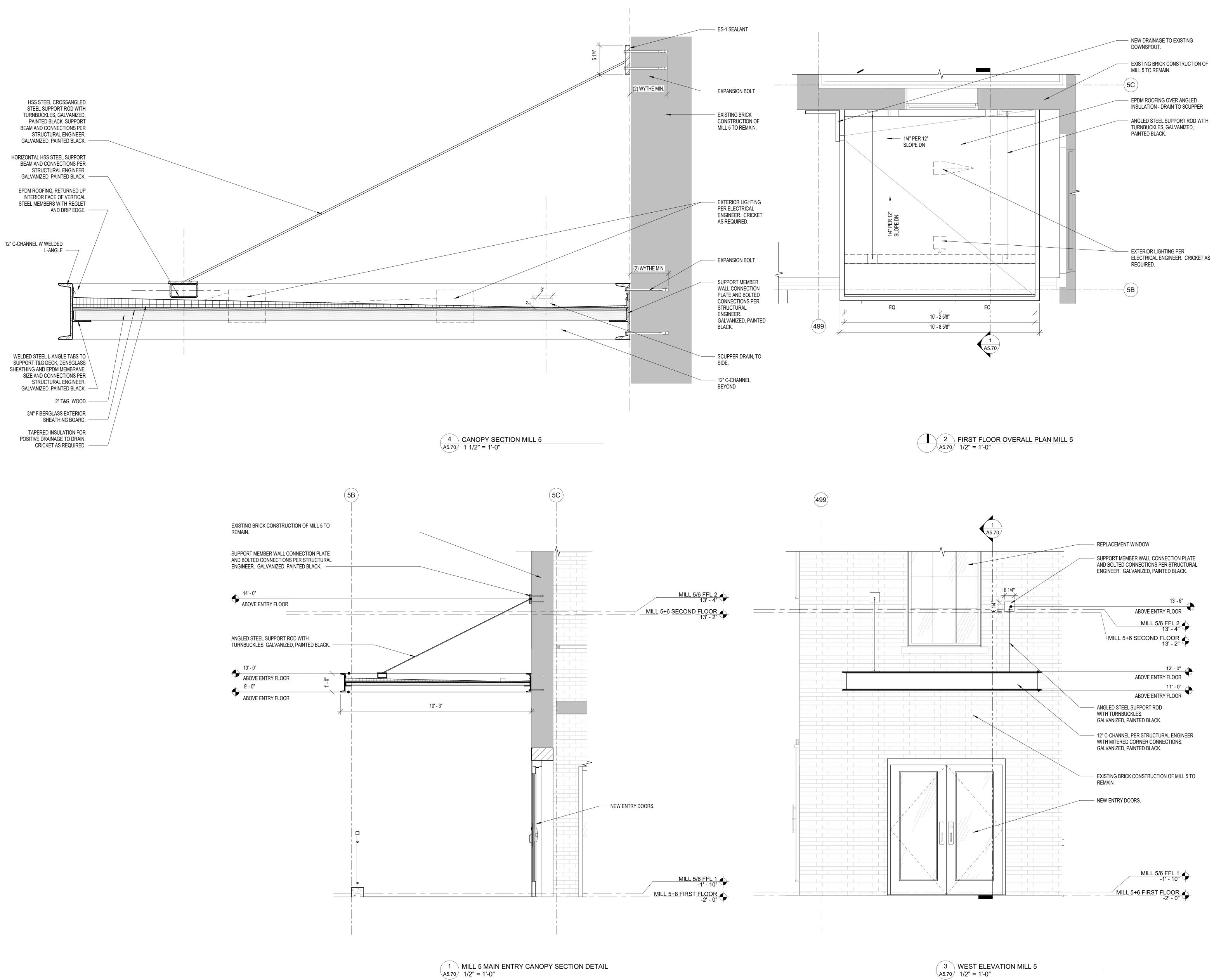
KEYNOTE LEGEND	
Keynote Text	
JSTIC BATT INSULATION, BY CONTRACTOR.	
S BYPASS SLIDING SHOWER DOORS, BY CONTRACTOR. REFER TO APPROVED FEDULE.	INISHES
TING COLUMN TO REMAIN. PATCH AS NECESSARY, SEAL WITH APPROVED CLEAI ANT, BY CONTRACTOR.	R
/IDE BLOCKING FOR POTENTIAL FUTURE ADA ACCESSORIES, BY CONTRACTOR.	
KING REINFORCED WALL AREAS FOR FUTURE INSTALLATION OF GRAB BARS AR ET AND SHOWER, BY CONTRACTOR.	OUND

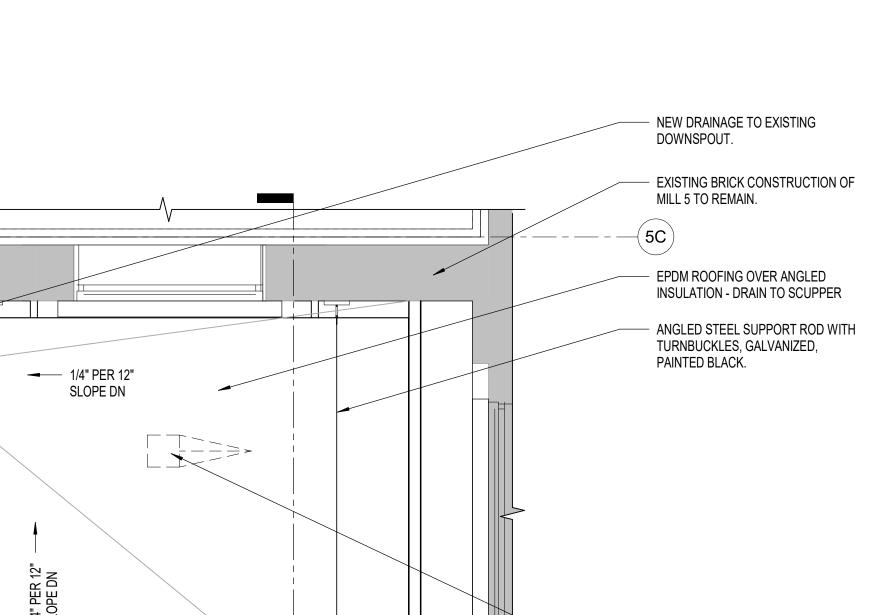
	01B _ SAME AS 01 BUT WITH BATHROOM FINISHES. 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
,	02 _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALL CLIPS BOTH SIDES, PNT, 1 HOUR FIRE RATED CONSTRUCTION, UL: 419.
,	02B _ INTERIOR - 8" METAL STUDS @ 16" OC, 5/8" GWB OVER 1-3/8" DRYWALI CLIPS BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS, 1 HOUR FIRE RAT CONSTRUCTION, UL: 419.
> <b></b>	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
> <b></b>	03A _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
,	03B _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/4" TILE AT SELECT LOCATIONS
,	03C _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT. AT CHASES AND SHAFTS, PROVIDE1 HOUR FIRE RATED CONSTRUCTION, UL: U415.
, <u> </u>	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
>	03 _ INTERIOR - 6" METAL STUDS @ 16" OC, (2X) 5/8" GWB BOTH SIDES, PNT, 2 HOUR FIRE RATED CONSTRUCTION, UL: 419.
> []	04 _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT.
>	04A _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB BOTH SIDES, PNT, 1/2" TILE AT SELECT LOCATIONS.
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT.
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT,
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS.
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS. 05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, F
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS. 05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, F INTERIOR INSULATED BRICK ON BRICK
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS. 05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, F INTERIOR INSULATED BRICK ON BRICK 8" CMU 8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS. 05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, F INTERIOR INSULATED BRICK ON BRICK 8" CMU 8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT.
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS. 05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, F INTERIOR INSULATED BRICK ON BRICK 8" CMU 8" CMU 8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT. BRICK ON CMU
	04B _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT. 04C _ INTERIOR - 4" METAL STUDS @ 16" OC, 5/8" GWB ONE SIDE, PNT, 1/2" TILE AT SELECT LOCATIONS. 05 _ 2" METAL Z-CHANNELS @ 16" OC, 2-1/2" METAL STUDS @ 16" OC, GWB, F INTERIOR INSULATED BRICK ON BRICK 8" CMU 8" CMU 8" CMU W 7/8" METAL HAT CHANNELS @ 16" OC, GWB FINISH ON INTERIOR FACE, PNT. BRICK ON CMU BRICK ON CMU W FINISH

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

RGED	PLAN	GENERAL	NOTES:

1. 2. 3. 4. 5.	U.N.O. INSTALL / REGULAT PROVIDE ACCESSO REFER TO	ALL FIXTURES IN A TIONS. SOLID BLOCKING I DRIES.	HEET FROM FINISH CCORDANCE WITH IN WALL FOR MOUN R ADDITIONAL ADA IBD	ALL ADA ITING OF ALL
1		INSULATION (AS IN PARTIAL HT STUD INDICATES MECH/ PLUMBING, OR EL	L L w/ THERMAL OR S NDICATED ON DRAV WALL ANICAL,	VINGS)
EVISIO	NOT			
	East Grant S	St, Suite 102, Lancas	ES ARCHIT ster, PA 17602 Phone	e: 717 393-3713
TEHLI S	MARTHA AVI TER, 1	NOVATIONS AND A	LTERATIONS	
	ED UNIT RE	STROOM PLANS AN	D ELEVATIONS SCALE AS NOTED	
<b>ILE NUI</b> 929	Λ	4.	DRAWN BY	снескер ву <sub>РВ</sub>





3 WEST ELEVATION MILL 5 A5.70 1/2" = 1'-0"

1. ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY. PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. 9. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY. 13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

REVISION

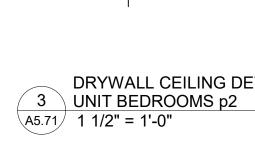
PROJECT [ STEHLI SILM 619-629 MAN LANCASTER PA 17601

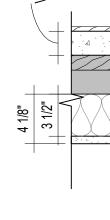
ALL DIMENSIONS, MEASUREMENTS AND PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND	STAMP
······	

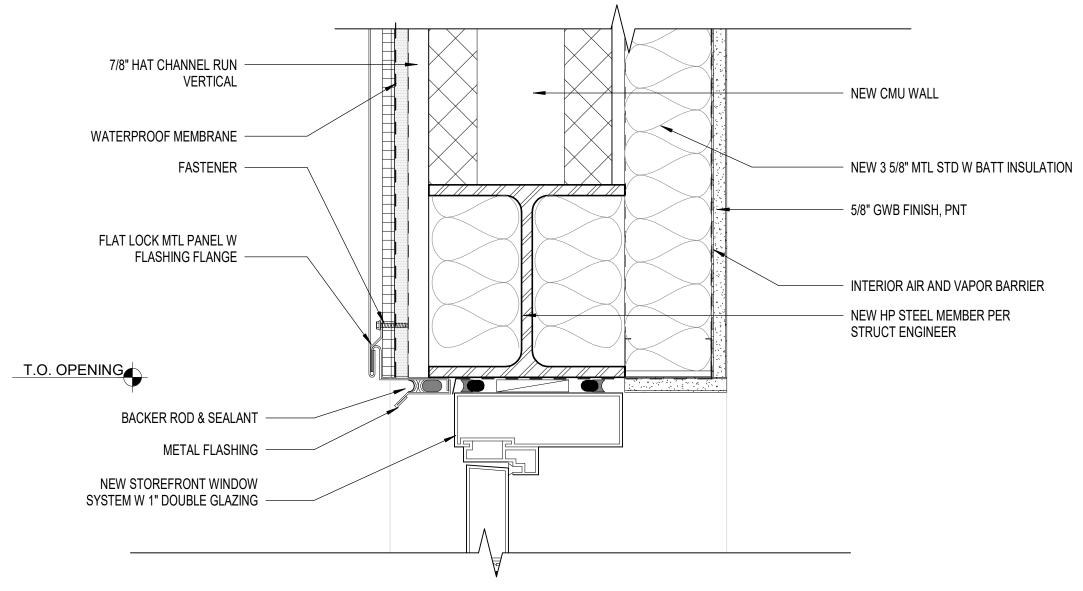
#### GENERAL NOTES

	_	-	ALL W/ THERMAL INDICATED ON I ID WALL HANICAL, ELECTRICAL CHA REMAIN AND RE	ASE FURBISHED
		10.28.	2020	
REVISIO No.	DNS	Descriptio	on	Date
	i East Grant S	ASSOCIAT t, Suite 102, Lanca	ster, PA 17602 Ph	
PROJEC		ION		
	MARTHA AVE STER,	NOVATIONS AND A	ALTERATIONS	
SHEET		OPY DETAILS		
ISSUE D			SCALE AS NOTED	
FILE NU	MBER		DRAWN BY	CHECKED BY
1929	ŀ	\5	sk	

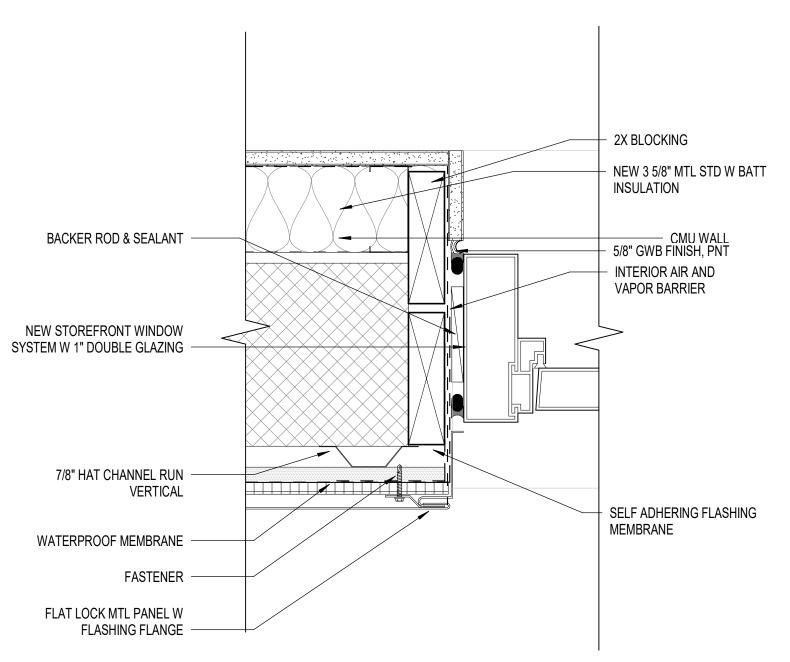




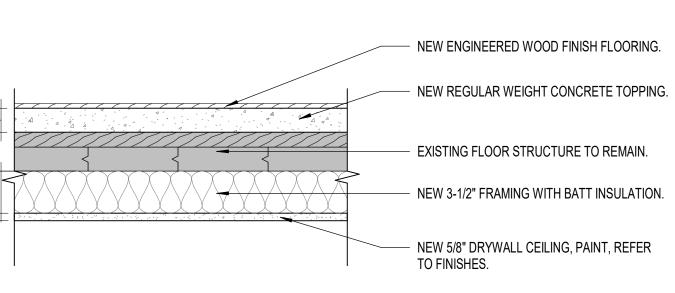




2 STAIR #8 EXIT DOOR JAMB DETAIL A5.71 3" = 1'-0"



## DRYWALL CEILING DETAIL AT



— NEW 5/8" DRYWALL CEILING, PAINT, REFER TO FINISHES.

- EXISTING FLOOR STRUCTURE TO REMAIN. - NEW 3-1/2" FRAMING WITH BATT INSULATION.

- NEW ENGINEERED WOOD FINISH FLOORING.

# STEHLI SILM 619-629 MAN LANCASTER PA 17601

INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER. SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY. 13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

GENERAL NOTES

ABOVE U.N.O.

	INSULATION (AS IN PARTIAL HT STUD INDICATES MECHA PLUMBING, OR ELI	- L w/ THERMAL OR S IDICATED ON DRAW WALL ANICAL,	/INGS)
NOT		PHASE I NSTRUC 2020	
REVISIONS No.	Descriptio	on	Date
		ES ARCHIT ster, PA 17602 Phone	
S	FEHLI N	MILL, L	LC
PROJECT DESCRIP	TION		
STEHLI SILK MILL R 619-629 MARTHA AV LANCASTER, PA 17601 SHEET TITLE	ENOVATIONS AND A	ALTERATIONS	
PHASE II DETAILS		SCALE	
- FILE NUMBER 1929		AS NOTED DRAWN BY KH	CHECKED BY PB
	45	.7′	

LAUNDRY EQUIPMENT BY OWNER. 8. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT BE VERIFIED IN FIELD.

10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL

9. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO

UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN.

SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR

5. ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED

EXTEND FRAMING AS REQUIRED. 6. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.

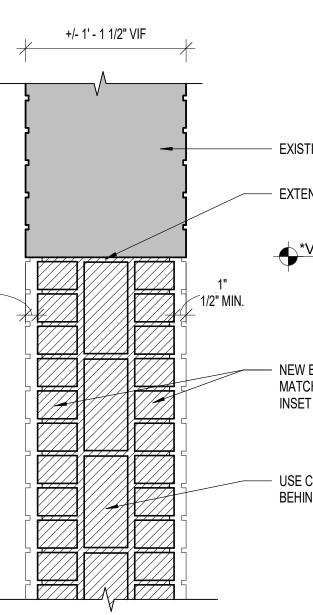
PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT.

1. ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE

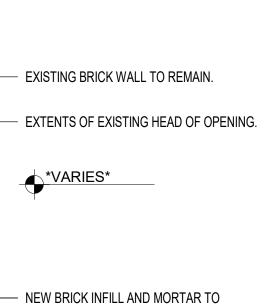
2. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. 3. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST

4. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND

CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES.



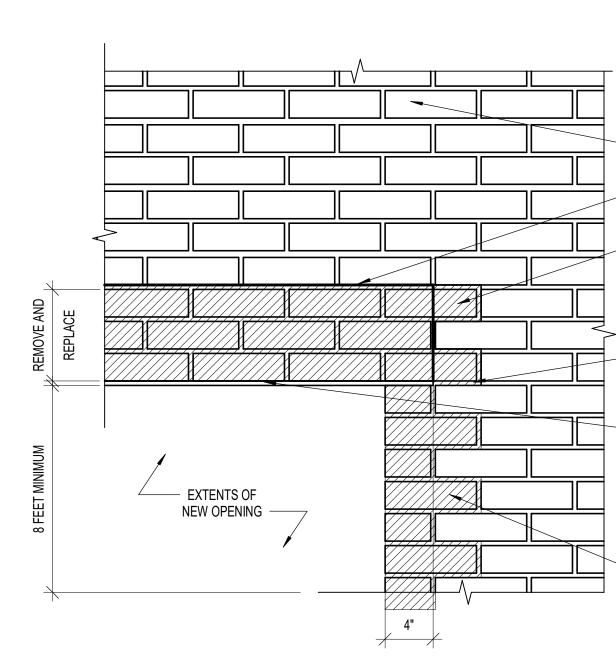
1/2" MIN.



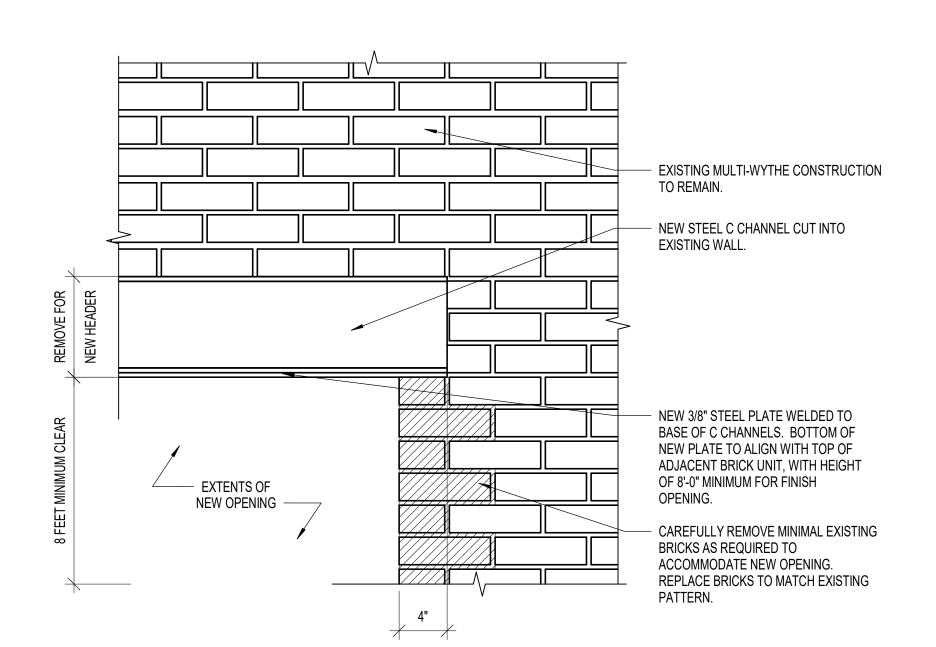
MATCH EXISTING. PROVIDE 1" MINIMUM INSET FROM ADJACENT FINISH FACE.

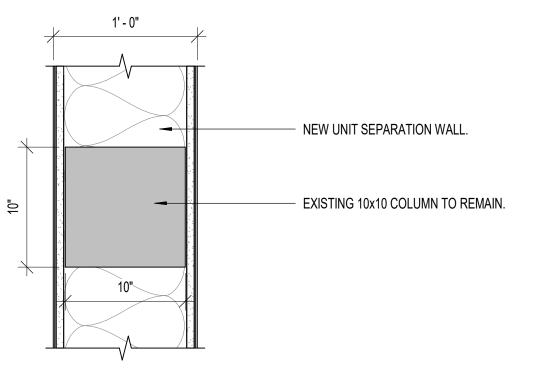
- USE CMU BLOCK FOR INTERIOR INFILL BEHIND FINISH BRICK FACE.

9 TYPICAL BRICK INFILL DETAIL PHASE 2 A5.76 1 1/2" = 1'-0"

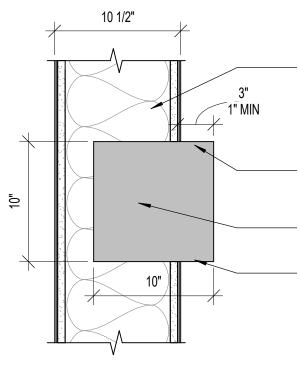


A5.76 1 1/2" = 1'-0"





A5.76 1 1/2" = 1'-0"



2 EXISTING COLUMN @ CORRIDOR WALL - ENLARGED PLAN A5.76 1 1/2" = 1'-0"

## EXISTING MULTI-WYTHE CONSTRUCTION TO REMAIN.

APPROXIMATE EXTENTS OF NEW DOUBLE CHANNEL - CONCEALED.

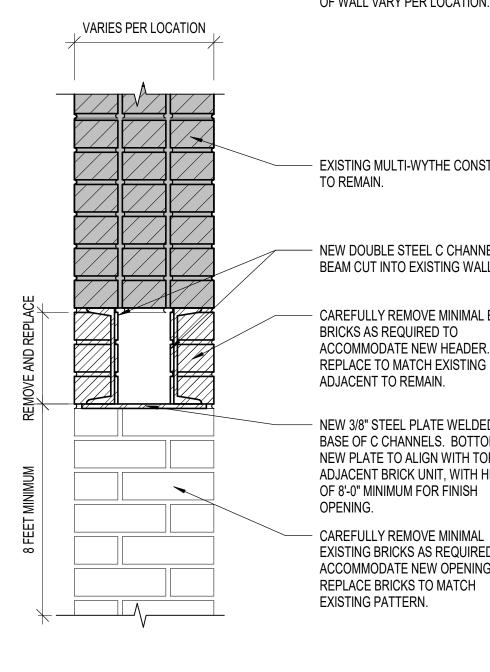
CAREFULLY REMOVE MINIMAL EXISTING BRICKS AS REQUIRED TO ACCOMMODATE NEW HEADER. REPLACE TO MATCH EXISTING ADJACENT TO REMAIN.

ALIGN EXTENTS OF PLATE WITH VERTICAL JOINT IN EXISTING MASONRY WALL.

- NEW 3/8" STEEL PLATE WELDED TO BASE OF C CHANNELS. BOTTOM OF NEW PLATE TO ALIGN WITH TOP OF ADJACENT BRICK UNIT. WITH HEIGHT OF 8'-0" MINIMUM FOR FINISH OPENING.

CAREFULLY REMOVE MINIMAL EXISTING BRICKS AS REQUIRED TO ACCOMMODATE NEW OPENING. REPLACE BRICKS TO MATCH EXISTING PATTERN.

8 HEADER AT CORRIDOR ELEVATION PHASE 2



NOTE: NUMBER OF WYTHES THICKNESS OF WALL VARY PER LOCATION.

- EXISTING MULTI-WYTHE CONSTRUCTION TO REMAIN.

- NEW DOUBLE STEEL C CHANNELS BEAM CUT INTO EXISTING WALL.

- CAREFULLY REMOVE MINIMAL EXISTING BRICKS AS REQUIRED TO ACCOMMODATE NEW HEADER. REPLACE TO MATCH EXISTING ADJACENT TO REMAIN.

- NEW 3/8" STEEL PLATE WELDED TO BASE OF C CHANNELS. BOTTOM OF NEW PLATE TO ALIGN WITH TOP OF ADJACENT BRICK UNIT, WITH HEIGHT

OPENING. - CAREFULLY REMOVE MINIMAL EXISTING BRICKS AS REQUIRED TO ACCOMMODATE NEW OPENING. REPLACE BRICKS TO MATCH EXISTING PATTERN.

7 HEADER AT CORRIDOR SECTION PHASE 2 A5.76 1 1/2" = 1'-0"

> NOTE: NUMBER OF WYTHES THICKNESS OF WALL VARY PER LOCATION.

6 HEADER AT UNIT INTERIOR ELEVATION PHASE 2 A5.76 1 1/2" = 1'-0"

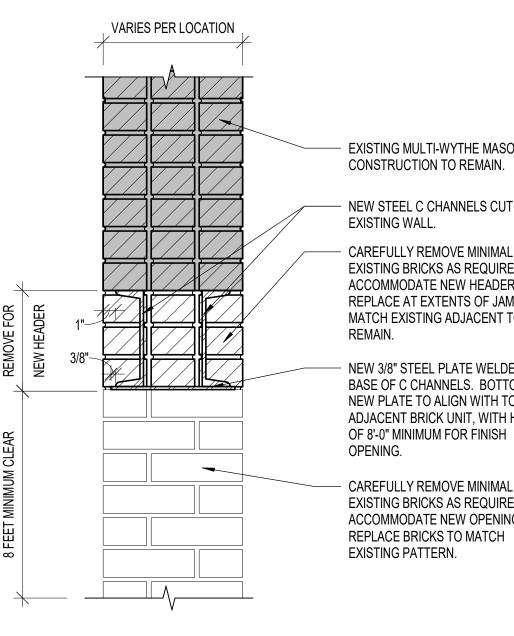
4 EXISTING COLUMN @ UNIT SEPARATION WALL - ENLARGED PLAN

NEW CORRIDOR WALL.

PAINTED DRYWALL TO TERMINATE INTO PERPENDICULAR EDGE OF COLUMN.

EXISTING 10x10 COLUMN TO REMAIN.

PAINTED DRYWALL TO TERMINATE INTO PERPENDICULAR EDGE OF COLUMN.



- EXISTING MULTI-WYTHE MASONRY CONSTRUCTION TO REMAIN.

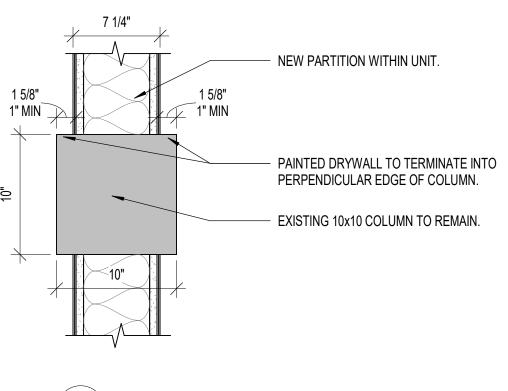
- NEW STEEL C CHANNELS CUT INTO EXISTING WALL.

- CAREFULLY REMOVE MINIMAL EXISTING BRICKS AS REQUIRED TO ACCOMMODATE NEW HEADER. REPLACE AT EXTENTS OF JAMBS TO MATCH EXISTING ADJACENT TO REMAIN.

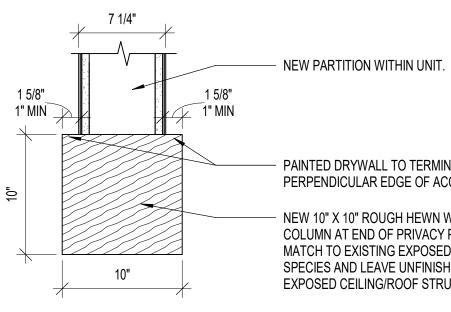
NEW 3/8" STEEL PLATE WELDED TO BASE OF C CHANNELS. BOTTOM OF NEW PLATE TO ALIGN WITH TOP OF ADJACENT BRICK UNIT, WITH HEIGHT

- CAREFULLY REMOVE MINIMAL EXISTING BRICKS AS REQUIRED TO ACCOMMODATE NEW OPENING. REPLACE BRICKS TO MATCH





3 EXISTING COLUMN IN UNIT - ENLARGED PLAN A5.76 1 1/2" = 1'-0"



PAINTED DRYWALL TO TERMINATE INTO PERPENDICULAR EDGE OF ACCENT COLUMN. NEW 10" X 10" ROUGH HEWN WOOD ACCENT

COLUMN AT END OF PRIVACY PARTITION. MATCH TO EXISTING EXPOSED TIMBERS IN SPECIES AND LEAVE UNFINISHED TO MATCH EXPOSED CEILING/ROOF STRUCTURE.

1 ACCENT COLUMN - ENLARGED PLAN A5.76 1 1/2" = 1'-0"

ALL DIMENSIONS, MEASUREMENTS AND
PROJECT CONDITIONS SHALL BE CHECKED
AND VERIFIED IN THE FIELD BY THE
CONTRACTOR. REFER ALL DIFFERENCES,
IN WRITING, TO THE ARCHITECT FOR
CONSIDERATION PRIOR TO PROCEEDING
WITH THE WORK. THE CONTRACTOR
SHALL BEAR THE COST OF RECTIFYING
WORK NOT APPROVED BY THE ARCHITECT,
CAUSED BY LACK OF COORDINATION AND
OR NOTIFICATION.

STAMP

#### GENERAL NOTES

OWNER.

<u>LEGEND</u>

No.

1929

ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O.

ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH

ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED.

FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY. PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT

UNITS, STAIRS, ELEVATORS, EXSTG STAIRS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE

BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK

INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY. 13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE

PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY

SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

## EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR X PANEL SIGN BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS Description Date

HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713

## STEHLI MILL, LLC

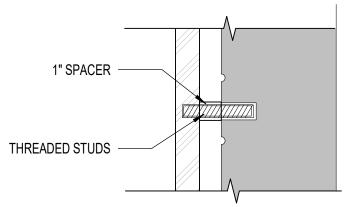
PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE PHASE II BUILDING DETAILS ISSUE DATE SCALE AS NOTED DRAWN BY CHECKED BY FILE NUMBER KH PB

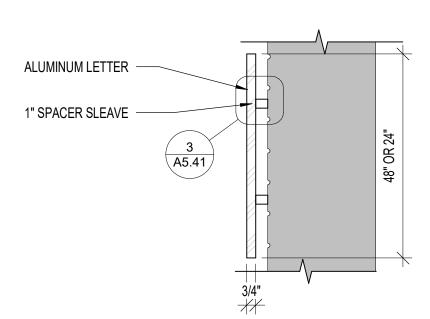




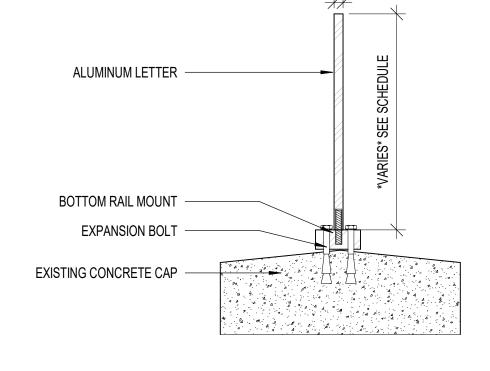
3 STEHLI LETTER BRICK CONNECTION PHASE 2 A5.80 3" = 1'-0"

2 STEHLI LETTER MILL 5 PHASE 2 A5.80 1 1/2" = 1'-0"





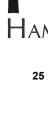




<u>LEGEND</u>



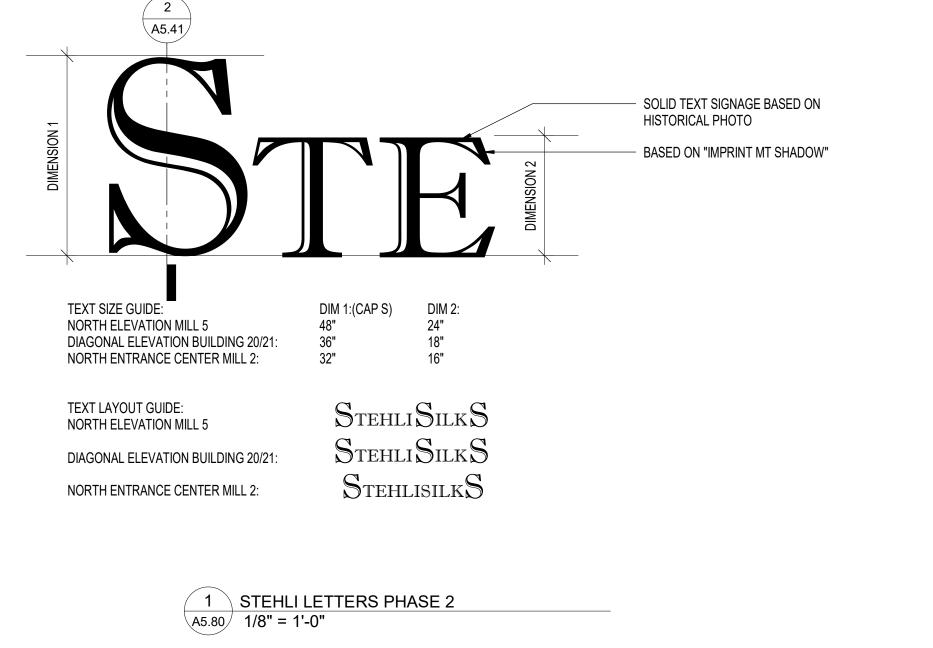
REVISION No.





SHEET TITLE

FILE NUMBER 1929



ALL DIMENSIONS, MEASUREMENTS AND PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.	STAMP
GENERAL NOTES 1. ALL WALLS EXTEND TO UNDERS ABOVE U.N.O.	

2. ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. 3. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. 4. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER.

ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.

PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN.

9. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING.

11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY.

13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

	EXISTING WALL TO REMAIN									
_	NEW FRAME WALL									
<u></u>		METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)								
	PARTIAL HT STUD WALL									
	INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE									
	EXIST DOOR TO REMAIN AND REFURBIS	HED								
	NEW DOOR	NEW DOOR								
<u>X</u>	PANEL SIGN									
	BID SET PHASE II									
Ν	OT FOR CONSTRUCT	ION								
	10.28.2020									
SIONS	Description	Date								
	Description	Date								

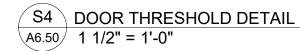


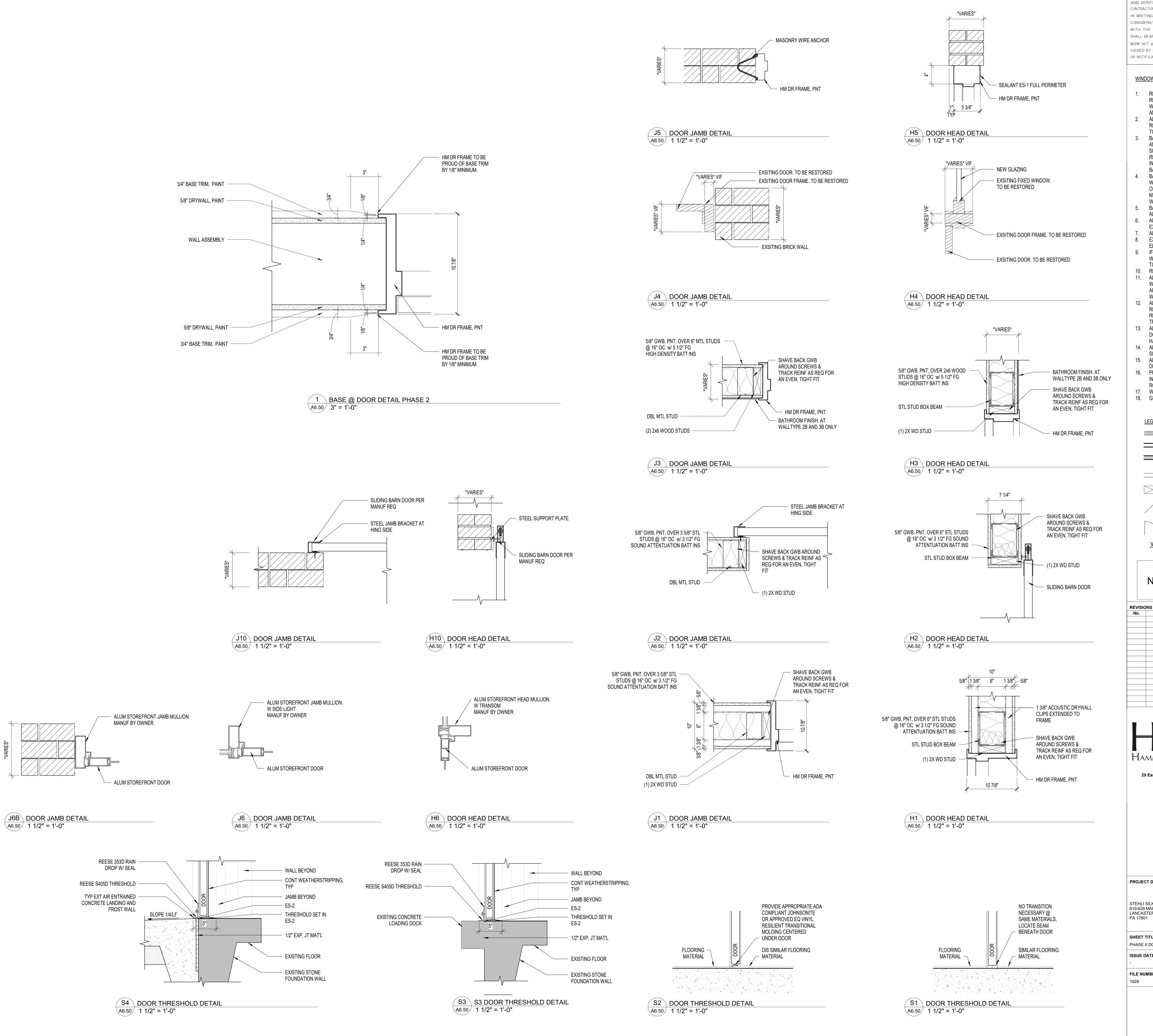
STEHLI MILL, LLC

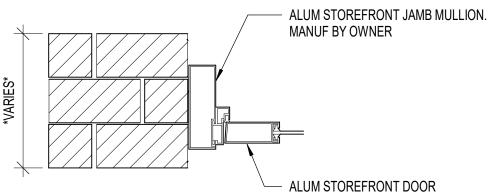
PROJECT DESCRIPTION

STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 STEHLI LETTERING SCALE AS NOTED ISSUE DATE DRAWN BY CHECKED BY кн PB









ALL DIMENSIONS, MEASUREMENTS AND
PROJECT CONDITIONS SHALL BE CHECKED
AND VERIFIED IN THE FIELD BY THE
CONTRACTOR. REFER ALL DIFFERENCES,
IN WRITING, TO THE ARCHITECT FOR
CONSIDERATION PRIOR TO PROCEEDING
WITH THE WORK. THE CONTRACTOR
SHALL BEAR THE COST OF RECTIFYING
WORK NOT APPROVED BY THE ARCHITECT,
CAUSED BY LACK OF COORDINATION AND
OR NOTIFICATION.

WINDOW AND DOOR NOTES:

REPLACEMENT WINDOW AND DOOR DETAILS ARE INTENDED TO REPRESENT TYPICAL CONDITIONS. CONDITIIONS AT INDIVIDUAL WINDOWS MAY VARY ACCORDING TO AREA OF CONSTRUCTION AND OTHER MITIGATING FACTORS. ALL WINDOWS HAVE BEEN DRAWN PER MANUFACTURER RECOMMENDATIONS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION, PER MANUFACTURERS REQUIREMENTS. BASIS OF DESIGN FOR WINDOWS IN MILL 1/2/3, BUILDINGS 20/21 AND THE BOILER PLANT BUILDING, ARE ALUMINUM CLAD, SINGLE HUNG WINDOWS. MONITOR WINDOWS TO BE REPLACED AS WELL. ALTERNATE SYSTEMS ARE ACCEPTABLE INDIVIDUAL CASES IN BOILER PLANT BUILDING MATCH THE BASIS OF DESIGN INTENT FOR PHASE II. BASIS OF DESIGN FOR WINDOWS IN MILL 5 AND 6 ARE METAL WINDOWS WITH SOME OPERABLE LOUVERS TO MATCH ORIGINALS. ALTERNATE BASIS OF DESIGN FOR WINDOWS IN MULLS 5 AND 6 ARE CUSTOM FILED-MULLED ALUMINUM CLAD WINDOWS. ALTERNATE SYSTEMS ARE ACCEPTABLE. BASIS OF DESIGN INTENT FOR ALL FINISH IS FOREST GREEN. ALTERNATE COLORS ARE WHITE OR GREY, BUT NOT BLACK. 6. ALL REPLACEMENT TRIMS AND BRICK MOLDS TO MATCH EXISTING. ALL NEW THRESHOLDS TO BE ADA COMPLIANT. 8. EXISTING SILL CONDITIONS ARE SHOWN AT ALL WINDOW ELEVATIONS, BUT ARE NOT INCLUDED IN OVERALL DIMENSIONS. 9. IF SILL CONDITION IS NOT PRESENT AT INDICATED LOCATION. I.E WHERE WINDOW CONDITION CHANGE. MAKE CONCRETE SILL TO MATCH ADJACENT CONDITIONS. 10. REPAIR / PATCH EXISTING CONCRETE SILL WHERE NECESSARY ALL EXISTING WINDOWS HAD ARCHED HEADS. ALL PROPOSED WINDOWS AND REPLACEMENTS WILL HAVE FLAT HEADS, WITH ARCHED INFILLS TO CLOSE SPACE BETWEEN HEAD OF WINDOWS AND BOTTOM OF EXISTING BRICK ARCHES. ALL EXISTING DOORS ARE TO REMAIN AND BE REPAIRED AND REFURBISHED. IF EXISTING DOORS NEED TOTAL REPLACEMENT, THEN DO SO (AND FOR SIDE LIGHTS AND TRANSOMS AS WELL) TO MATCH EXISTING CONDITIONS. 13. ALL REFURBISHED/REPLACED HISTORICAL STOREFRONT DOORS WITHIN UNITS TO BE MADE INOPERABLE IN FIELD AND HAVE HARWARE REMOVED 14. ALL WINDOW DIMENSIONS AND COUNTS TO BE VERIFIED ON SITE. 15. ALL POSITIONS OF LAMINATED OR TEMPERED GLAZING TO BE DETERMINED AND VERIFIED BY WINDOW MANUFACTURER. 16. PROVIDE FIRE-RATED GLAZING AT ALL REQUIRED LOCATIONS INCLUDING, BUT NOT LIMITED TO, UNITS OVER PORTIONS OF ROOF BELOW. WINDOWS BASIS OF DESIGN INTENT: U-VALUE OF 0.29. 18. GLAZING SHGC OF 0.5. <u>LEGEND</u> EXISTING WALL TO REMAIN NEW FRAME WALL METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS) PARTIAL HT STUD WALL INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE EXIST DOOR TO REMAIN AND REFURBISHED NEW DOOR PANEL SIGN **BID SET PHASE II** NOT FOR CONSTRUCTION 10.28.2020

	n	Date						
$\mathbf{HA} \mathbf{A}$								
imel Associat	es Archi	IECIS, LLC						
ast Grant St, Suite 102, Lancas	ter, PA 17602 Phor	ne: 717 393-3713						
OTELLIN	<i>л</i> нн н							
STEHLI MILL, LLC								
DESCRIPTION								
DESCRIPTION								
.K MILL RENOVATIONS AND A	LTERATIONS							
	LTERATIONS							
LK MILL RENOVATIONS AND A ARTHA AVE	LTERATIONS							
LK MILL RENOVATIONS AND A ARTHA AVE	LTERATIONS							
LK MILL RENOVATIONS AND A ARTHA AVE	LTERATIONS							
LK MILL RENOVATIONS AND A ARTHA AVE ER,	LTERATIONS							
LK MILL RENOVATIONS AND A ARTHA AVE ER, 	LTERATIONS							
LK MILL RENOVATIONS AND A ARTHA AVE ER, T <b>LE</b> DOOR DETAILS								
LK MILL RENOVATIONS AND A ARTHA AVE ER, T <b>LE</b> DOOR DETAILS	SCALE	CHECKED BY						
LK MILL RENOVATIONS AND A ARTHA AVE ER, <b>LE</b> DOOR DETAILS	SCALE AS NOTED	СНЕСКЕД ВУ РВ						
LK MILL RENOVATIONS AND A ARTHA AVE ER, <b>LE</b> DOOR DETAILS	SCALE AS NOTED DRAWN BY							
LK MILL RENOVATIONS AND A ARTHA AVE ER, <b>LE</b> DOOR DETAILS	SCALE AS NOTED DRAWN BY	РВ						

A0.0U

STAMP

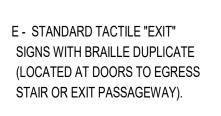
## NOT USED

#### FEMALE RESTROOM SIGN WITH RAISED LETTERS AND BRAILLE DUPLICATE

JANITOR

6"

JANITOR



#### NOTES:

1. ALL SIGNS TO BE ADA COMPLIANT

ARCHITECT

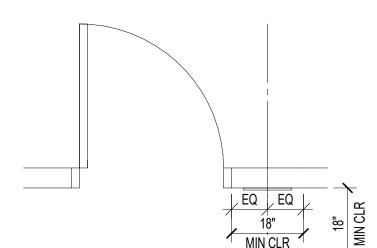
18" MIN CLR

EQEQ

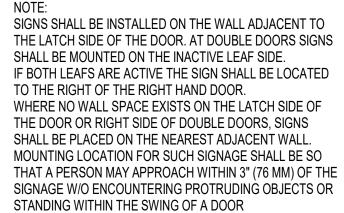
SIGN

- ALL SIGNS TO MATCH EXISTING STANDARD SIGNS, MATERIALS, COLORS, MOUNTING, LETTERING, SPACING, CONFIGURATION ETC
- ALL SIGNS MUST BE APPROVED BY OWNER BEFORE FABRICATION SIGN N AT ENTRY DOOR OF EVERY APPARTMENT. FINAL UNIT NUMBERING NOT BY

D - TYPICAL ROOM SIGNS WITH BRAILLE DUPLICATE, INFORMATION DISPLAYED BASED ON ROOM NAME AND NUMBER AS SHOWN ON ARCHITECTURAL PLANS, CONFIRM WITH OWNER DURING SHOP DRAWING PROCESS.

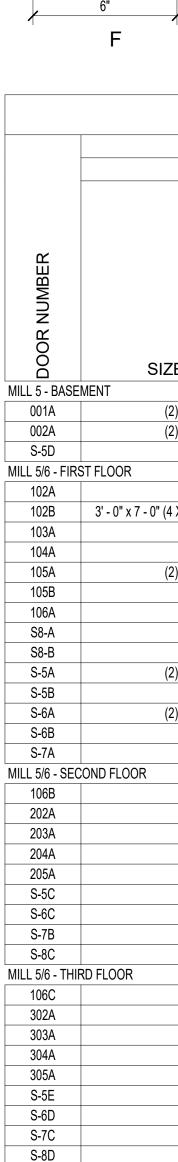


 $+ \Rightarrow$ 

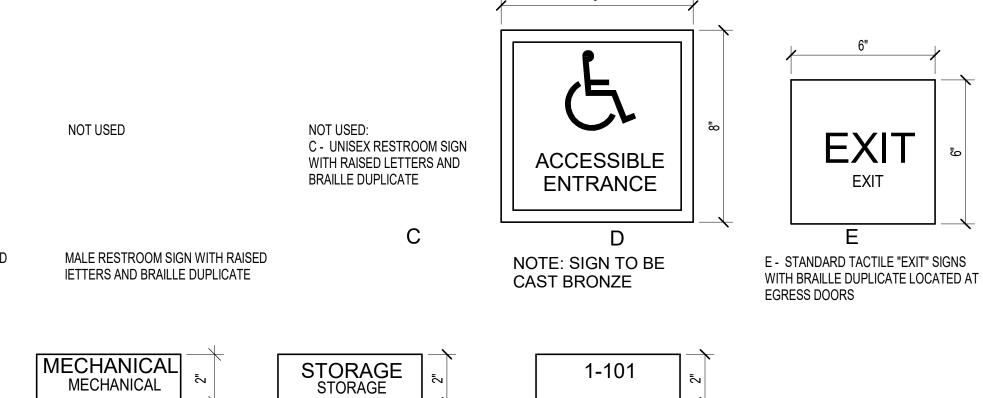




- REFER TO 2018 IBC CHAPTER 11
- SUBMIT SIGNAGE SCHEDULE FOR ARCHITECT APPROVAL COLORS TO BE SELECTED BY ARCHITECT/OWNER
- ACRYLIC SHEET: 0.080 INCH (2.03 MM) THICK
- CORNER CONDITION: SQUARE CORNERS TEXT & NUMBERS: AS INDICATED
- BRAILLE: GRADE 2 BRAILLE RAISED 1/32 INCH (0.8 MM) ABOVE SURFACE WITH CONTRASTING COLORS 10. WALL MOUNTED WITH CONCEALED ANCHORS



FINISH H
1. COORDINATE HARDWARE WITH OTHER WORK. FURNISH HARDWARE ITEMS OF PROPER DESIGN FOR USE ON DOORS AND FRAMES OF THE THICKNESSES, PROFILE, SWING, SECURITY AND SIMILAR REQUIREMENTS INDICATED, AS NECESSARY FOR PROPER INSTALLATION AND FUNCTION.
2. FURNISH HARDWARE TEMPLATES TO EACH FABRICATOR OF DOORS, FRAMES AND OTHER WORK TO BE FACTORY-PREPARED FOR THE INSTALLATION OF HARDWARE. CHECK THE SHOP DRAWINGS OF SUCH OTHER WORK, TO CONFIRM THAT ADEQUATE PROVISIONS ARE MADE FOR THE PROPER INSTALLATION OF HARDWARE.
3. MOUNT HARDWARE AT HEIGHTS ABOVE FLOOR LINES AS LISTED:
LOCK AND LATCH SETS - KNOB CENTER 38" OTHER HARDWARE - AS DIRECTED BY THE ARCHITECT
4. SET UNITS LEVEL, PLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE AS NECESSARY FOR PROPER INSTALLATION AND OPERATION.
5. DRILL AND COUNTERSINK UNITS WHICH ARE NOT FACTORY-PREPARED FOR ANCHORAGE FASTENERS. SPACE FASTENERS AND ANCHORS IN ACCORDANCE WITH INDUSTRY STANDARDS.
6. PROVIDE UL LABELED HARDWARE FOR ALL FIRE-RATED AND LABELED DOOR ASSEMBLIES IDENTIFIED IN THE DOOR SCHEDULE.
7. PROVIDE NON-FERROUS COMPONENTS FOR ALL HARDWARE AT EXTERIOR DOORS.
8. ALL LOCKS MUST BE PROVIDED WITH REMOVABLE CORES OR CYLINDERS WITH REMOVABLE CORES AS APPROPRIATE TO THE TYPE OF LOCK. PROVIDE CONSTRUCTION CORES FOR THE CONSTRUCTION PERIOD. PROVIDE FINAL CORE INSERTS. INSTALL FINAL CORE INSERTS IN COOPERATION WITH THE OWNER'S REPRESENTATIVE.
9. PROVIDE CONSTRUCTION KEYED CYLINDERS WHERE CYLINDERS ARE SPECIFIED AND CYLINDRICAL LOCKSETS WITH CONSTRUCTION KEYS WHERE CYLINDRICAL LOCKS ARE SPECIFIED. SYSTEM PROVIDED MUST E COMPATIBLE WITH OWNERS EXISTING SYSTEM.
10. MEET REQUIREMENTS OF U.S. AMERICANS WITH DISABILITIES ACT AND PA UNIVERSAL ACCESSIBILITY STANDARD FOR ALL HARDWARE MATERIALS AND INSTALLATION.
11 HARDWARE FINISH US10B



6"

						DOOF	R SCHE	DULE -	1				
DC	OR			FRA	ME		DETAIL	_			MISC		
NOTE		(1)	(2)	(4)	(5)	REF	A6.50,	UNO	(6)		(7)	(8)	
SIZE	THICKNESS	ТҮРЕ	MATERIAL & FINISH	Frame Type	MATERIAL & FINISH	HEAD	JAMB	SILL	DOOR & FRAME RATING	ACCESS CONTROL	HARDWARE GROUP	REMARKS	DOOR_SIGNAGE
(2) 3' - 0" x 7' - 0"	1 3/4"	A	C	A	В	H3	J3	S2			5B - DOUBLE STAIRWAY TO OUTSIDE		
(2) 3' - 0" x 7' - 0"	1 3/4"	Α	В	Α	В	H3	J3	S1	В		08B - DOUBLE STOREROOM		G
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		08A - SINGLE STOREROOM		
3' - 0" x 7' - 0"	1 3/4"	В	В	A	В	H3	J3	S1	В		4 - MILL TO STAIRWAY DOOR		E
)" (4 X 3 MUNTINS)	1 3/4"	F	G	E	G	H4	J4	S4			5 - STAIRWAY TO OUTSIDE		DE
3' - 0" x 7' - 0"	1 3/4"	A	B	A	B	H3	J3	S1			08A - SINGLE STOREROOM		F
3' - 0" x 7' - 0"	1 3/4"	A	B	A	B	H3	J3	S1			08A - SINGLE STOREROOM		G
(2) 3' - 0" x 7' - 0"	1 3/4"	C	C	В	В	H5	J5	S4			5B - DOUBLE STAIRWAY TO OUTSIDE		DE
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	A	В	В	В	H5	J5	S1			08A - SINGLE STOREROOM		Н
3' - 0" x 7' - 0"	1 3/4"	C	D	A	C	2/A5.71	1/A5.71	S4			15B		
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S2	В		4 - MILL TO STAIRWAY DOOR		E
(2) 3' - 0" x 7' - 0"	1 3/4"	C	C	В	В	H5	J5	S4			5B - DOUBLE STAIRWAY TO OUTSIDE		DE
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
(2) 3' - 0" x 7' - 0"	1 3/4"	С	С	В	В	H5	J5	S4			5B - DOUBLE STAIRWAY TO OUTSIDE		DE
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	A	В	В	В	H5	J5	S1			08A - SINGLE STOREROOM		Н
3' - 0" x 7' - 0"	1 3/4"	B	B		B	H3	J3	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"		B	A	B	H3	J3	S1	D		08A - SINGLE STOREROOM		
		A	_	A				S1					
3' - 0" x 7' - 0"	1 3/4"	A	B	A	B	H3	J3				08A - SINGLE STOREROOM		
3' - 0" x 7' - 0"	1 3/4"	B	B	B	B	H5	J5	S1	B		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	B	B	B	B	H5	J5	S1	B		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	B	B	B	B	H5	J5	S1	B		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	B	B	B	B	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	В	B	В	В	H5	J5	S2	В		4 - MILL TO STAIRWAY DOOR		E
										1			
3' - 0" x 7' - 0"	1 3/4"	A	В	В	В	H5	J5	S1			08A - SINGLE STOREROOM		Н
3' - 0" x 7' - 0"	1 3/4"	В	В	A	В	H3	J3	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	A	В	A	В	H3	J3	S1			08A - SINGLE STOREROOM		F
3' - 0" x 7' - 0"	1 3/4"	A	В	A	В	H3	J3	S1			08A - SINGLE STOREROOM		Н
3' - 0" x 7' - 0"	1 3/4"	В	В	A	В	H3	J3	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	В	В	A	В	H3	J3	S1	В		4 - MILL TO STAIRWAY DOOR		E
3' - 0" x 7' - 0"	1 3/4"	В	В	В	В	H5	J5	S2	В		4 - MILL TO STAIRWAY DOOR		E
		1		I		I	1	1	1	1			

Н	
(3) <u>FRAME TYP</u>	<u>E</u>
2"	]-
A	

B. HM - PNT

ALUM

INS HM - PNT

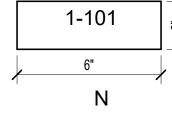
3' - 0" X /' - 0" 1 3/4" B B A	в нз	J3	51	В	4 - MILL TO STAIRWAY DOOR	E	
3' - 0" x 7' - 0" 1 3/4" A B A	B H3	J3	S1		08A - SINGLE STOREROOM	F	F. SOLID WD STILE AND R G. MATERIAL TBD BY OWN
3' - 0" x 7' - 0" 1 3/4" A B A	B H3	J3	S1		08A - SINGLE STOREROOM	Н	H. EXISTING WD DOOR TO
3' - 0" x 7' - 0" 1 3/4" B B A	B H3	J3	S1	В	4 - MILL TO STAIRWAY DOOR	E	
3' - 0" x 7' - 0" 1 3/4" B B B	B H5	J5	S1	В	4 - MILL TO STAIRWAY DOOR	E	(4) FRAME MATERIAL & FINISH
3' - 0" x 7' - 0" 1 3/4" B B B	B H5	J5	S1	В	4 - MILL TO STAIRWAY DOOR	E	A. WOOD, PNT
3' - 0" x 7' - 0" 1 3/4" B B A	B H3	J3	S1	В	4 - MILL TO STAIRWAY DOOR	E	B. HM - PNT C. ALUM
3' - 0" x 7' - 0" 1 3/4" B B B	B H5	J5	S2	В	4 - MILL TO STAIRWAY DOOR	E	D. OVERHEAD DOOR FAC
							E. GWB JAMB - PNT F. BRICK JAMB - EXPOSED G. MATERIAL TBD BY OWN
FINISH HA	RDV	VAR	ENC	DTES	5		#1 TYPICAL APARTMENT E 3 INTERMEDIATE DUTY HINGE 1 ENTRY LOCKSET W LEVER F
FURNISH HARDWARE ITEMS OF PROPER DESIGN FOR USE LE, SWING, SECURITY AND SIMILAR REQUIREMENTS IN AND FUNCTION.			D FIT THRESI IN MASTIC SI		HE PROFILE OF DOOR JAMBS AND TRIM. AT EXTERIOR DOO	RS SET	1 CLOSER 1 KICKPLATE 1 GASKET
RICATOR OF DOORS, FRAMES AND OTHER WORK TO BE	13.	PROVID	E HEAVY DU	TY EXIT AND	FIRE-EXIT DEVICES WITH SOLID BRONZE CROSS BARS.		1 VINYL DOOR SWEEP 1 WALL OR FLOOR STOP AS R
E MADE FOR THE PROPER INSTALLATION OF HARDWARE.	14.	PROVID	E FUNCTION	THAT ALLOV	VS EGRESS FROM ROOM SIDE WITHOUT USE OF KEY (INSID	DE ALWAYS FREE).	<b>#2A TYPICAL APARTMENT E</b> 3 INTERMEDIATE DUTY HINGE
LINES AS LISTED:	15.	PROVID	E LEVER HAN	NDLES ON BO	OTH SIDES OF ALL CYLINDRICAL HARDWARE SETS.		1 PRIVACY LOCKSET W LEVER 1 WALL OR FLOOR STOP AS R
HITECT	16.	PROVID	E HEAVY DU	TY STYLE FO	R ALL CYLINDRICAL HARDWARE SETS.		#2B TYPICAL APARTMENT E
D LOCATION. ADJUST AND REINFORCE THE ATTACHMENT	17.	PROVID	E BEVELED E	EDGE KICKPL	ATES (3 SIDES) MIN. GAUGE .050.		1 DOOR TRACK & SLIDING FIT 2 DUMMY LEVER
ON AND OPERATION.	18. NO	PROVID T BE ACCEF		E FROM THE	FOLLOWING LIST OF MANUFACTURERS. OTHER MANUFAC	TURERS WILL	1 STOP BRACKET
T FACTORY-PREPARED FOR ANCHORAGE FASTENERS. /ITH INDUSTRY STANDARDS.			RROW	RDWARE COF	RPORATION		<b>#3 TYPICAL APARTMENT E</b> 3 INTERMEDIATE DUTY HINGE 1PRIVACY LOCKSET W LEVER
-RATED AND LABELED DOOR ASSEMBLIES IDENTIFIED IN		C. B		ORP.			1 WALL OR FLOOR STOP AS R

**#3B TYPICAL BATHROOM-BEDROOM DOOR** 3 INTERMEDIATE DUTY HINGES 1 COMMUNICATING LOCKSET W LEVER HANDLES 1 WALL OR FLOOR STOP AS REQUIRED PER LOCATION

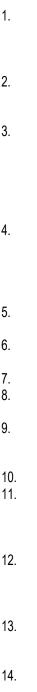
#4 MILL TO STAIRWAY DOOR 3 HEAVY DUTY HINGES 1 FIRE EXIT DEVICE W PASSAGE LOCKSET 1 CLOSER 1 KICKPLATE 1 GASKET

## ERTS IN COOPERATION WITH THE OWNER'S RE CYLINDERS ARE SPECIFIED AND CYLINDRICAL CAL LOCKS ARE SPECIFIED. SYSTEM PROVIDED MUST BE

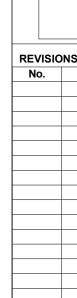
- BUILDERS BRASS WORKS, CORP. CORBIN RUSSWIN DORMA EMTEK DOOR CONTROLS, INC.
- FALCON HAGER HINGE COMPANY
- IVES MCKINNEY BUILDERS HARDWARE
- PEMKO ROCKWOOD MANUFACTURING COMPANY
- REESE ENTERPRISES, INC. SARGENT AND CO.
- SIMPLEX ACCESS CONTROLS CORP. SCHLAGE/LCN/VON DUPRIN
- Q. STANLEY HARDWARE R. YALE SECURITY GROUP
- 19. PROVIDE NON-REMOVABLE PINS (NRP) AT ALL EXTERIOR DOORS.
- 20. SUBMIT HARDWARE SCHEDULE TO ARCHITECT FOR APPROVAL.



## DOOR SCHEDULE NOTES





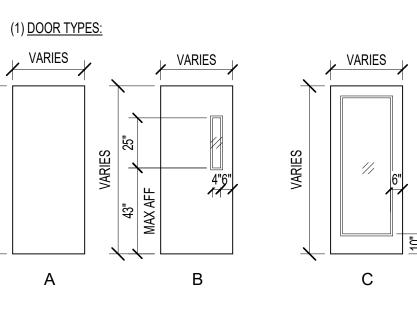


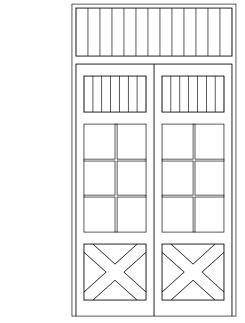


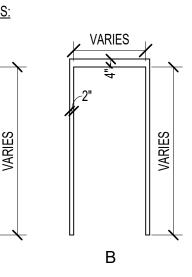


SHEET TITLE ISSUE DATE

FILE NUMBER 1929







(2) DOOR MATERIAL & FINISH . - NOT USED -

> OVERHEAD DOOR FACTORY FINISH ) RAIL, PNT WNER R TO BE REFURBISHED, PNT

> > ACTORY FINISH SED WNER

IT ENTRY DOOR GES R HANDLES

REQUIRED PER LOCATION FBEDROOM DOOR

ER HANDLES S REQUIRED PER LOCATION IT BEDROOM BARN DOOR FITTING SET

<u>F BATHROOM DOOR</u> ER HANDLES 6 REQUIRED PER LOCATION

1 WALL OR FLOOR STOP AS REQUIRED PER LOCATION

#5STAIRWAY TO OUTSIDE3INTERMEDIATE DUTY HINGES 1 PANIC EXIT DEVICE W STOREROOM FUNCTION 1 CLOSER 1 KICKPLATE 1 GASKET

1 DOOR SWEEP 1 DRIP CAP 1 ALUM THRESHOLD #5B DOUBLE #5 STAIRWAY TO OUTSIDE

NOT USED

С

(6) DOOR & FRAME RATING

(7) HARDWARE GROUPS:

A. 20 MIN

B. 60 MIN

GENERAL NOTES:

6 INTERMEDIATE DUTY HINGES (CONTINIOUS HINGES @ ALUM FRAMING 2 EXIT DEVICE W STOREROOM FUNCTION 2 CLOSER

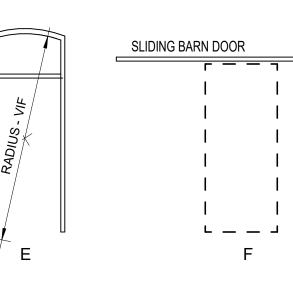
- 2 KICKPLATE 1 GASKET 2 BRUSH SWEEP 2 DRIP CAP
- 1 ALUM THRESHOLD #6 NOT USED

<u>#6B NOT USED</u> #7 NOT USED

#8A SINGLE STOREROOM 3 INTERMEDIATE DUTY HINGES 1 STOREROOM LOCKSET W LEVER HANDLES 1 WALL OR FLOOR STOP AS REQUIRED PER LOCATION 1 KICKPLATE 1 GASKET 1 CLOSER

#8B DOUBLE STOREROOM

6 INTERMEDIATE DUTY HINGES 1 STOREROOM LOCKSET W LEVER HANDLES 2 FLUSH BOLTS IN INACTIVE LEAF 2 WALL OR FLOOR STOP AS REQUIRED PER LOCATION 2 KICKPLATE 2 CLOSER 1 GASKET



3' - 0"

NOT USED

' R.O.

VARIES

NOT USED

D

NOT USED

D

PROVIDE SILENCERS AT ALL HM FRAME WITHOUT GASKETS

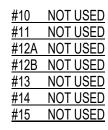
(8) REMARKS A. NOTE: NON TYPICAL CONDITION IN UNIT SCHEDULE

D

- B. RESTORE / REPLACE ORIGINAL HISTORICAL DOOR AND HARDWARE MATERIALS. HARDWARE TO BE MADE INOPERABALE
- HIGH CLEARANCE OVERHEAD GARAGE DOOR. RUN DOOR TRACKS AS HIGH UP TO EXPOSED STRUCTURE AS POSSIBLE. SIZE IN SCHEDULE IS SIZE OF DOOR. NOT R.O. - IN OPEN POSITION DOOR
- OVERLAP 6". 36" CLEARANCE MIN WITH. SEE DTL FOR DOOR REPLACEMENTS:
- CUSTOM DOOR; MAHOGANY; APPLIES TO NEW OR REPLACEMENT DOOR PROVIDE GALVANIZED DOOR AND FRAME FOR EXTERIOR DOOR
- FINAL MATERIAL CHOICE TBD PER OWNER EXISTING, HISTORICAL OPERATING HARDWARE MAY REMAIN IN LIEU OF REPLACEMENT. PATCH ALL EXISTING HARDWARE PREPS AS REQUIRED
- I. DOOR TO MATCH EXISTING ADJACENT 011A

## #9DOUBLE INTERIOR CLOSET6 INTERMEDIATE DUTY HINGES

2 DUMMY LOCKSETS W/ LEVER HANDLE 2 ROLLER LATCHES 2 OVERHEAD STOP



15B SINGLE EGRESS STOREFRONT CONTINIOUS HINGES

1 PANIC EXIT DEVICE - FIRE RATED W/ ENTRANCE FUNCTION 1 CLOSER

1 KICKPLATE 1 GASKET 1 DOOR SWEEP

1 DRIP CAP 1 ALUM THRESHOLD #16 NOT USED

**#17 INOPERABLE HISTORICAL DOORS** RESTORE / REPAIR HARDWARE

#18A NOT USED #18B NOT USED

19 SINGLE CLOSET/STORAGE **3 INTERMEDIATE DUTY HINGES** 1 PASSAGE LOCKSET W LEVER HANDLES 1 WALL OR FLOOR STOP AS REQUIRED PER LOCATION

ALL DIMENSIONS, MEASUREMENTS AND
PROJECT CONDITIONS SHALL BE CHECKED
AND VERIFIED IN THE FIELD BY THE
CONTRACTOR. REFER ALL DIFFERENCES,
IN WRITING, TO THE ARCHITECT FOR
CONSIDERATION PRIOR TO PROCEEDING
WITH THE WORK. THE CONTRACTOR
SHALL BEAR THE COST OF RECTIFYING
WORK NOT APPROVED BY THE ARCHITECT,
CAUSED BY LACK OF COORDINATION AND
OR NOTIFICATION.

STAMP

1. DIMENSIONS OF ALL DOORS. INCLUDING SLIDING DOORS. TRANSOMS TO BE VERIFIED ON SITE

#### WINDOW AND DOOR NOTES:

REPLACEMENT WINDOW AND DOOR DETAILS ARE INTENDED TO REPRESENT TYPICAL CONDITIONS. CONDITIONS AT INDIVIDUAL WINDOWS MAY VARY ACCORDING TO AREA OF CONSTRUCTION AND OTHER MITIGATING FACTORS.

ALL WINDOWS HAVE BEEN DRAWN PER MANUFACTURER RECOMMENDATIONS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION, PER MANUFACTURERS REQUIREMENTS. BASIS OF DESIGN FOR WINDOWS IN MILL 1/2/3, BUILDINGS 20/21 AND THE BOILER PLANT BUILDING, ARE ALUMINUM CLAD, SINGLE HUNG WINDOWS. MONITOR WINDOWS TO BE REPLACED AS WELL. ALTERNATE SYSTEMS ARE ACCEPTABLE. INDIVIDUAL CASES IN BOILER PLANT BUILDING MATCH THE BASIS OF DESIGN INTENT FOR PHASE II. BASIS OF DESIGN FOR WINDOWS IN MILL 5 AND 6 ARE METAL WINDOWS WITH SOME OPERABLE LOUVERS TO MATCH ORIGINALS. ALTERNATE BASIS OF DESIGN FOR WINDOWS IN MULLS 5 AND 6 ARE CUSTOM FILED-MULLED ALUMINUM CLAD WINDOWS. ALTERNATE SYSTEMS ARE ACCEPTABLE. BASIS OF DESIGN INTENT FOR ALL FINISH IS FOREST GREEN. ALTERNATE COLORS ARE WHITE OR GREY, BUT NOT BLACK.

ALL REPLACEMENT TRIMS AND BRICK MOLDS TO MATCH EXISTING.

ALL NEW THRESHOLDS TO BE ADA COMPLIANT. EXISTING SILL CONDITIONS ARE SHOWN AT ALL WINDOW ELEVATIONS, BUT ARE NOT INCLUDED IN OVERALL DIMENSIONS. IF SILL CONDITION IS NOT PRESENT AT INDICATED LOCATION. I.E WHERE WINDOW CONDITION CHANGE. MAKE CONCRETE SILL TO MATCH ADJACENT CONDITIONS. 10. REPAIR / PATCH EXISTING CONCRETE SILL WHERE NECESSARY

11. ALL EXISTING WINDOWS HAD ARCHED HEADS. ALL PROPOSED WINDOWS AND REPLACEMENTS WILL HAVE FLAT HEADS, WITH ARCHED INFILLS TO CLOSE SPACE BETWEEN HEAD OF WINDOWS AND BOTTOM OF EXISTING BRICK ARCHES. ALL EXISTING DOORS ARE TO REMAIN AND BE REPAIRED AND REFURBISHED. IF EXISTING DOORS NEED TOTAL REPLACEMENT, THEN DO SO (AND FOR SIDE LIGHTS AND

TRANSOMS AS WELL) TO MATCH EXISTING CONDITIONS. 13. ALL REFURBISHED/REPLACED HISTORICAL STOREFRONT DOORS WITHIN UNITS TO BE MADE INOPERABLE IN FIELD AND HAVE HARWARE REMOVED 14. ALL WINDOW DIMENSIONS AND COUNTS TO BE VERIFIED ON SITE.

15. ALL POSITIONS OF LAMINATED OR TEMPERED GLAZING TO BE DETERMINED AND VERIFIED BY WINDOW MANUFACTURER. 16. PROVIDE FIRE-RATED GLAZING AT ALL REQUIRED LOCATIONS INCLUDING, BUT NOT LIMITED TO, UNITS OVER PORTIONS OF ROOF BELOW.

17. WINDOWS BASIS OF DESIGN INTENT: U-VALUE OF 0.29. 18. GLAZING SHGC OF 0.5.



			DOO	R SCH	IEDUL	.E - 2	- UNITS								DOOF	R SCH	EDUL	E - 2	- UNITS					
	I NOTE	DOOR	(1)	(2)	FRA (4)	ME (5)	DETAI REF A6.50		(6) U	MI	SC (7) (8)		E NOTE	DOOR	(1)	(2)	FRA (4)	ME (5)	DE REF A6	TAIL 5.50, 1	UNO	(6) ()	М	SC (7) (8)
OR NUMBER		THICKNESS		MATERIAL & FINISH	e Type	MATERIAL & FINISH	0		<u>~</u>	ESS CONTROL	HARDWARE GROUP REMARKS	R NUMBER		THICKNESS		MATERIAL & FINISH	e Type	MATERIAL & FINISH		0		R & FRAME RATING	ESS CONTROL	HARDWARE GROUP REMARKS
OQ	SIZE	THIC	ТҮРЕ	MAT	Frame	MATI	HEAD	SILL	DOOR	ACCE	HAR REM	DOOR	SIZE	•	ТҮРЕ	MAT	Frame	-		JAIMB	SILL	DOOR	ACCESS	
MILL 5/6 - F 5101 01	FIRST FLOOR 3' - 0" x 7' - 0"	1 3/4"	A	В	A	В	H1 J1	S1	A		01	5211 03 5212 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B		13 11	S1 S1	A		03 01
5101 03 5102 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B	A A	B B	H3 J3 H1 J1	S1 S1	A		03 01	5212 03 5213 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B		J3 J1	S1 S1	A		03 01
5102 02 5102 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H2 J2 H3 J3	S1 S1			02B 03	5213 02 5213 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B		12 13	S1 S1			02B 03
5103 01 5103 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	BE	H1 J1 H2 J2	S1 S1	A		01 02B	5213 04 5213 05	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	l	12 13	S1 S1			02B 03
5103 03 5103 H	3' - 0" x 7' - 0" (2) EXISTING - VIF	1 3/4"	A H	B H	A B	B A	H3 J3 H4 J4	S1 S3			03 17 B, E	5213 06 5213 31	3' - 0" x 7' - 0" (2) 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B		13 13	S1 S1			03B 9
5103 H2 5104 01	(2) EXISTING - VIF 3' - 0" x 7' - 0"	1 3/4"	H	H B	A	A B	H4 J4 H1 J1	S3 S1	A		17 B, E 01	5214 01 5214 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A F	B	H1 J H2 J	J1 J2	S1 S1	A		01 02B
5104 02 5104 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	BB	F	E B	H2 J2 H3 J3	S1 S1			02B 03	5214 03 6201 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B	H3 J H1 J	J3 J1	S1 S1	A		03 01
5104 H 5105 01	(2) EXISTING - VIF 3' - 0" x 7' - 0"	1 3/4"	I A	H B	B	A B	H4 J4 H1 J1	S3 S1	A		17 B, E 01	6201 02 6201 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B B	F A	EB	l	12 13	S1 S1			02B 03
5105 02 5105 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B	F	E B	H2 J2 H3 J3	S1 S1			02B 03	6202 01 6202 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A A	B	H1 J H3 J	J1 J3	S1 S1	A		01 03
5106 01 5106 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BE	H1 J1 H2 J2	S1 S1	A		01 02B	6202 02 6203 01	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B B	F	E		J2	S1 S1	A		02B 01
5106 03 5106 04	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BE	H3 J3 H2 J2	S1 S1			03 02B	6203 02 6203 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B B	F A	EB		12 13	S1 S1			02B 03
5106 05 5106 06	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A A	BB	H3 J3 H3 J3	S1 S1			03 03B	6204 01 6204 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B	A F	B	H1 J		S1 S1	A		01 02B
5106 31 5107 01	(2) 3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	BB	A A	BB	H3 J3 H1 J1	S1 S1	A		9 01	6204 03 6205 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B	A	B	H3 J	J3 J1	S1 S1	A		03 01
5107 02 5107 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	BB	F A	EB	H2 J2 H3 J3	S1 S1			02B 03	6205 02 6205 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B	F	E	H2 J	12 13	S1 S1			02B 03
5107 H 5108 01	(2) EXISTING - VIF 3' - 0" x 7' - 0"	1 3/4"	H	H B	B	A B	H4         J4           H1         J1	S3 S1	A		17 B,E 01	6206 01 6206 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B	A F	B	H1 J		S1 S1	A		01 02B
5108 02 5108 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	BB	F	E B	H2 J2 H3 J3	S1 S1			02B 03	6206 03 6206 04	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A F	B		13 12	S1 S1			03 02B
5109 01 5109 03	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BB	H1 J1 H3 J3	S1 S1	A		01 03	6206 05 6206 06	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A A	B		13 13	S1 S1			03 03B
5110 01 5110 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A F	BE	H1 J1 H2 J2	S1 S1	A		01 02B	6206 21 6206 23	3' - 0" x 7' - 0" (2) 2' - 0" x 7' - 0"	1 3/4" 1 3/4"	AJJJJ	B B	A A	BB		13 13	S1 S1			19 9
5110 03 5111 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BB	H3 J3 H1 J1	S1 S1	A		03 01	6206 31	(2) 2' - 6" x 7' - 0"	1 3/4"	A	В	A	В		13	S1			9
5111 02 5111 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B	F	EB	H2 J2 H3 J3	S1 S1			02B 03	MILL 5/6 - THIF 5301 01	2D FLOOR 3' - 0" x 7' - 0"	1 3/4"	A	В	A	В	H1 J	J1	S1	A		01
5112 01 5112 03	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B	H1 J1 H3 J3	S1 S1	A		01 03	5301 03 5302 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B		J3 J1	S1 S1	A		03 01
5113 01 5113 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B	H1 J1 H2 J2	S1 S1	A		01 02B	5302 02 5302 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B	F	E	H2 J	12 13	S1 S1			02B 03
5113 03 5113 04	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BE	H3 J3 H2 J2	S1 S1			03 02B	5303 01 5303 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B	H1 J		S1 S1	A		01 02B
5113 05 5113 06	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	BB	H3 J3 H3 J3	S1 S1			03 03B	5303 03 5304 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B		I3 I1	S1 S1	A		03 01
5113 31 5114 01	(2) 3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B	H3 J3 H1 J1	S1 S1	A		9 01	5304 02 5304 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B	F	E	H2 J	12 13	S1 S1			02B 03
5114 02 5114 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B	F	EB	H2 J2 H3 J3	S1 S1			02B 03	5305 01 5305 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	B	A	B	H1 J	J1 J2	S1 S1	A		01 02B
6101 01 6101 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BE	H1 J1 H2 J2	S1 S1	A		01 02B	5305 03 5306 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A A	B	H3 J	J3 J1	S1 S1	A		03
6101 03 6102 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BB	H3 J3 H1 J1	S1 S1	A		03 01	5306 02 5306 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	B B	F A	EB		12 13	S1 S1			02B 03
6102 02 6102 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	BB	F	E B	H2 J2 H3 J3	S1 S1			02B 03	5306 04 5306 05	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	BB	F	EB	H2 J	12 13	S1 S1			02B 03
6103 01 6103 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BE	H1 J1 H2 J2	S1 S1	A		01 02B	5306 06 5306 31	3' - 0" x 7' - 0" (2) 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A A	BB		13 13	S1 S1			03B 9
6103 03 6104 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A	BB	H3 J3 H1 J1	S1 S1	A		03 01	5307 01 5307 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A F	B	H1 J		S1 S1	A		01 02B
6104 02 6104 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E	BB	F	E B	H2 J2 H3 J3	S1 S1			02B 03	5307 03 5308 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A A	BB	H3 J H1 J	13 11	S1 S1	A		03 01
6105 01 6105 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A F	BE	H1 J1 H2 J2	S1 S1	A		01 02B	5308 02 5308 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	EB		J2 J3	S1 S1			02B 03
6105 03 6106 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B	H3 J3 H1 J1	S1 S1	A		03 01	5309 01 5309 03	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	BB	H1 J H3 J	J1 J3	S1 S1	A		01 03
6106 02 6106 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F	E B	H2 J2 H3 J3	S1 S1			02B 03	5310 01 5310 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	B	H1 J H2 J	J1 J2	S1 S1	A		01 02B
6106 04 6106 05	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H2 J2 H3 J3	S1 S1			02B 03	5310 03 5311 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B	H3 J H1 J	13 11	S1 S1	A		03 01
6106 06 6106 21	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B	H3 J3 H3 J3	S1 S1			03B 19	5311 02 5311 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H3 J	J2 J3	S1 S1			02B 03
6106 23 6106 31	(2) 2' - 0" x 7' - 0" (2) 2' - 6" x 7' - 0"	1 3/4" 1 3/4"	JJJJ A	B B	A A	B B	H3 J3 H3 J3	S1 S1			9 9	5312 01 5312 03	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	BB		13	S1 S1	A		01 03
	SECOND FLOOR										-	5313 01 5313 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	BB	A F	B		J2	S1 S1	A		01 02B
5201 01 5201 03	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A A	B B	H1 J1 H3 J3	S1 S1	A		01 03 01	5313 03 5313 04	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	BE	H2 J	13 12	S1 S1			03 02B
5202 01 5202 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	BB	A F	BE	H1 J1 H2 J2	S1 S1	A		01 02B	5313 05 5313 06	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	BB	A A	BB	H3 J	13 13	S1 S1			03 03B
5202 03 5203 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	BB	H3 J3 H1 J1	S1 S1	A		03 01	5313 31 5314 01	(2) 3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A	B B	A A	BB	H1 J		S1 S1	A		9 01
5203 02 5203 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H2 J2 H3 J3	S1 S1			02B 03	5314 02 5314 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H3 J	12 13	S1 S1			02B 03
5204 01 5204 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	BE	H1 J1 H2 J2	S1 S1	A		01 02B	6301 01 6301 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	B	H2 J	J1 J2	S1 S1	A		01 02B
5204 03 5205 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	BB	H3 J3 H1 J1	S1 S1	A		03 01	6301 03 6302 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B	H1 J		S1 S1	A		03 01
5205 02 5205 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H2 J2 H3 J3	S1 S1			02B 03	6302 02 6302 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H3 J	12 13	S1 S1			02B 03
5206 01 5206 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	BE	H1 J1 H2 J2	S1 S1	A		01 02B	6303 01 6303 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	BE		J2	S1 S1	A		01 02B
5206 03 5206 04	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	BE	H3 J3 H2 J2	S1 S1			03 02B	6303 03 6304 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B	H1 J		S1 S1	A		03 01
5206 05 5206 06	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	BB	A A	B B	H3 J3 H3 J3	S1 S1			03 03B	6304 02 6304 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	BB	F A	E B	H3 J	12 13	S1 S1			02B 03
5206 31 5207 01	(2) 3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B	A A	B B	H3 J3 H1 J1	S1 S1	A		9 01	6305 01 6305 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	BB	A F	B	H2 J	J1 J2	S1 S1	A		01 02B
5207 02 5207 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H2 J2 H3 J3	S1 S1			02B 03	6305 03 6306 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B	H1 J	J3 J1	S1 S1	A		03 01
5208 01 5208 02	3' - 0" x 7' - 0" 3' - 8" x 7' - 0"	1 3/4" 1 3/4"	A E	B B	A F	B E	H1 J1 H2 J2	S1 S1	A		01 02B	6306 02 6306 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	l	12 13	S1 S1			02B 03
5208 03 5209 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B	H3 J3 H1 J1	S1 S1	A		03 01	6306 04 6306 05	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	l	12 13	S1 S1			02B 03
5209 03 5210 01	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	BB	A A	B B	H3 J3 H1 J1	S1 S1	A		03 01	6306 06 6306 21	3' - 0" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	A A	B B	A A	B B	H3 J	13 13	S1 S1			03B 19
5210 02 5210 03	3' - 8" x 7' - 0" 3' - 0" x 7' - 0"	1 3/4" 1 3/4"	E A	B B	F A	E B	H2 J2 H3 J3	S1 S1			02B 03	6306 23 6306 31	(2) 2' - 0" x 7' - 0" (2) 2' - 6" x 7' - 0"	1 3/4" 1 3/4"	JJJJ	BB	A A	B		13 13	S1 S1			9 9
	3' - 0" x 7' - 0"	1 3/4"							·				(-) = • •									'		· · ·

3. 4. 5.

1.



ISSUE DATE

FILE NUMBER 1929

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

#### 1. DIMENSIONS OF ALL DOORS. INCLUDING SLIDING DOORS.

DOOR SCHEDULE NOTES

TRANSOMS TO BE VERIFIED ON SITE

#### WINDOW AND DOOR NOTES:

REPLACEMENT WINDOW AND DOOR DETAILS ARE INTENDED TO REPRESENT TYPICAL CONDITIONS. CONDITIIONS AT INDIVIDUAL WINDOWS MAY VARY ACCORDING TO AREA OF CONSTRUCTION AND OTHER MITIGATING FACTORS.

2. ALL WINDOWS HAVE BEEN DRAWN PER MANUFACTURER RECOMMENDATIONS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION, PER MANUFACTURERS REQUIREMENTS. BASIS OF DESIGN FOR WINDOWS IN MILL 1/2/3, BUILDINGS 20/21 AND THE BOILER PLANT BUILDING, ARE ALUMINUM CLAD, SINGLE HUNG WINDOWS. MONITOR WINDOWS TO BE REPLACED AS WELL. ALTERNATE SYSTEMS ARE ACCEPTABLE. INDIVIDUAL CASES IN BOILER PLANT BUILDING MATCH THE BASIS OF DESIGN INTENT FOR PHASE II.

BASIS OF DESIGN FOR WINDOWS IN MILL 5 AND 6 ARE METAL WINDOWS WITH SOME OPERABLE LOUVERS TO MATCH ORIGINALS. ALTERNATE BASIS OF DESIGN FOR WINDOWS IN MULLS 5 AND 6 ARE CUSTOM FILED-MULLED ALUMINUM CLAD WINDOWS. ALTERNATE SYSTEMS ARE ACCEPTABLE. BASIS OF DESIGN INTENT FOR ALL FINISH IS FOREST GREEN. ALTERNATE COLORS ARE WHITE OR GREY, BUT NOT BLACK. 6. ALL REPLACEMENT TRIMS AND BRICK MOLDS TO MATCH EXISTING.

7. ALL NEW THRESHOLDS TO BE ADA COMPLIANT. 8. EXISTING SILL CONDITIONS ARE SHOWN AT ALL WINDOW ELEVATIONS, BUT ARE NOT INCLUDED IN OVERALL DIMENSIONS. 9. IF SILL CONDITION IS NOT PRESENT AT INDICATED LOCATION. I.E WHERE WINDOW CONDITION CHANGE. MAKE CONCRETE SILL TO MATCH ADJACENT CONDITIONS. 10. REPAIR / PATCH EXISTING CONCRETE SILL WHERE NECESSARY

11. ALL EXISTING WINDOWS HAD ARCHED HEADS. ALL PROPOSED WINDOWS AND REPLACEMENTS WILL HAVE FLAT HEADS, WITH ARCHED INFILLS TO CLOSE SPACE BETWEEN HEAD OF WINDOWS AND BOTTOM OF EXISTING BRICK ARCHES. 12. ALL EXISTING DOORS ARE TO REMAIN AND BE REPAIRED AND REFURBISHED. IF EXISTING DOORS NEED TOTAL

REPLACEMENT, THEN DO SO (AND FOR SIDE LIGHTS AND TRANSOMS AS WELL) TO MATCH EXISTING CONDITIONS. 13. ALL REFURBISHED/REPLACED HISTORICAL STOREFRONT DOORS WITHIN UNITS TO BE MADE INOPERABLE IN FIELD AND HAVE HARWARE REMOVED 14. ALL WINDOW DIMENSIONS AND COUNTS TO BE VERIFIED ON

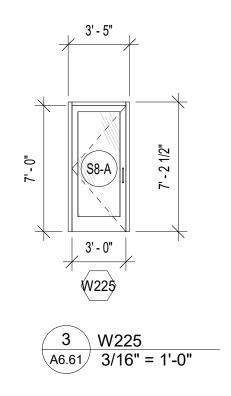
SITE. 15. ALL POSITIONS OF LAMINATED OR TEMPERED GLAZING TO BE DETERMINED AND VERIFIED BY WINDOW MANUFACTURER. 16. PROVIDE FIRE-RATED GLAZING AT ALL REQUIRED LOCATIONS INCLUDING, BUT NOT LIMITED TO, UNITS OVER PORTIONS OF ROOF BELOW.

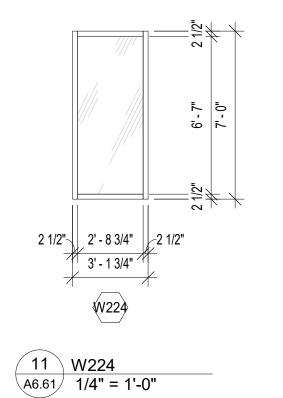
WINDOWS BASIS OF DESIGN INTENT: U-VALUE OF 0.29.
 GLAZING SHGC OF 0.5.

# BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 Description Date HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEHLI MILL, LLC PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601

SHEET TITLE PHASE II DOOR SCHDULE - UNITS SCALE AS NOTED DRAWN BY CHECKED BY SK PB







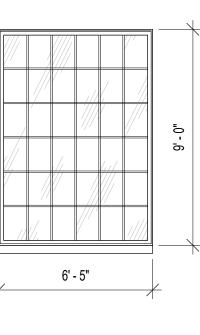
WINDOW SCHEDULE PROP	POSED UNITS - PHASE I & II
PHASE	Count
	3
1	868
2	366
Grand total: 1237	

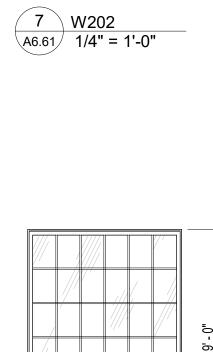
WINDOW SCHE	DULE PROPOSED UNI	TS - PHASE I
Туре	TYPE NUMBER	UNIT DIMENSION WxH
T-Building Typical W6'5H9'0	W201	6' - 5" x 9' - 0"
T-Building Typical W4'0H7'8	W202	4' - 0" x 7' - 8"
T-Building Typical W6'9H5'0 AboveDoor	W203	6' - 9" x 5' - 0"
T-Building Typical W4'2H9'4	W204	4' - 2" x 9' - 4"
T-Building Typical W4 H5	W205	4' - 0" x 5' - 0"
T-Building Typical W6'9H10'0	W207	6' - 9" x 10' - 0"
T-Building Typical W6'2H9'4	W208	6' - 2 1/2" x 9' - 4"
T-Building Typical W6'9H10'0	W210	6' - 9" x 10' - 0"
T-Building Typical W4'2H7'8	W211	4' - 2" x 7' - 8"
TOTAL COUNT:: 366		

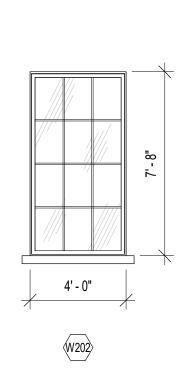


4 W201 A6.61 1/4" = 1'-0"

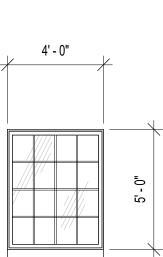
(W201)

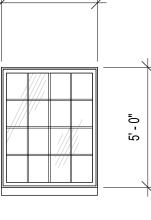


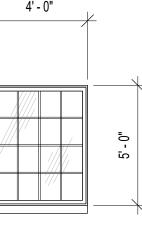


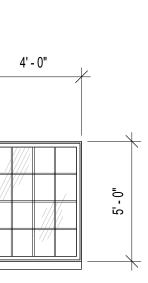


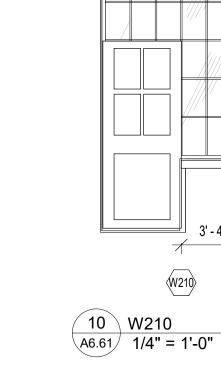
15 W205 A6.61 1/4" = 1'-0"

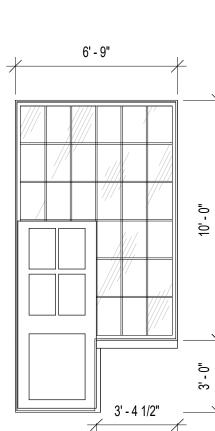


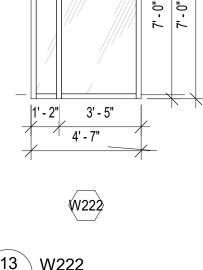




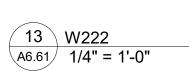


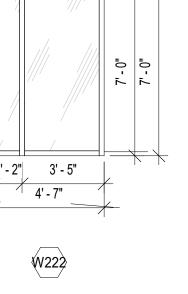




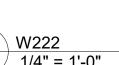


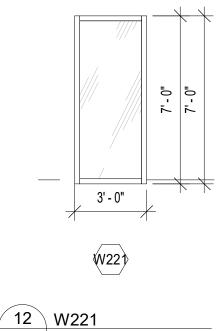
1 11

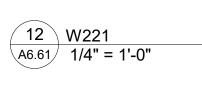


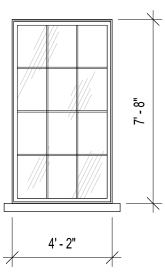


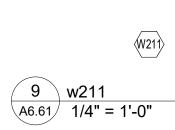
 $\rightarrow$ 











4' - 2"

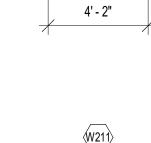
6' - 2 1/2"

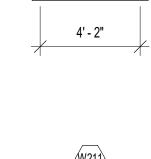
W208

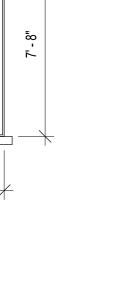
1 W208 A6.61 1/4" = 1'-0"

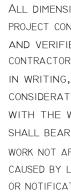
6

5 W204 A6.61 1/4" = 1'-0"



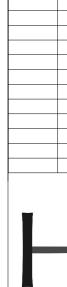


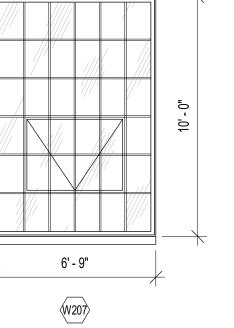




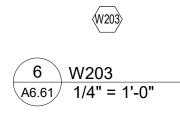
 $\langle / \rangle$  $\langle / \rangle$ TMP [LMT] 

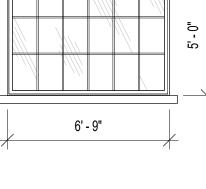
1. REPLACEMENT WINDOW AND DOOR DETAILS ARE INTENDED TO REPRESENT TYPICAL CONDITIONS. CONDITIIONS AT INDIVIDUAL WINDOWS MAY VARY ACCORDING TO AREA OF CONSTRUCTION AND OTHER MITIGATING FACTORS. 2. ALL WINDOWS HAVE BEEN DRAWN PER MANUFACTURER RECOMMENDATIONS. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION, PER MANUFACTURERS REQUIREMENTS. BASIS OF DESIGN FOR WINDOWS IN MILL 1/2/3, BUILDINGS 20/21 3. AND THE BOILER PLANT BUILDING, ARE ALUMINUM CLAD, SINGLE HUNG WINDOWS. MONITOR WINDOWS TO BE REPLACED AS WELL. ALTERNATE SYSTEMS ARE ACCEPTABLE. INDIVIDUAL CASES IN BOILER PLANT BUILDING MATCH THE BASIS OF DESIGN INTENT FOR PHASE II. BASIS OF DESIGN FOR WINDOWS IN MILL 5 AND 6 ARE METAL 4. WINDOWS WITH SOME OPERABLE LOUVERS TO MATCH ORIGINALS. ALTERNATE BASIS OF DESIGN FOR WINDOWS IN MULLS 5 AND 6 ARE CUSTOM FILED-MULLED ALUMINUM CLAD WINDOWS. ALTERNATE SYSTEMS ARE ACCEPTABLE. BASIS OF DESIGN INTENT FOR ALL FINISH IS FOREST GREEN. ALTERNATE COLORS ARE WHITE OR GREY, BUT NOT BLACK. 6. ALL REPLACEMENT TRIMS AND BRICK MOLDS TO MATCH EXISTING. ALL NEW THRESHOLDS TO BE ADA COMPLIANT. 8. EXISTING SILL CONDITIONS ARE SHOWN AT ALL WINDOW ELEVATIONS, BUT ARE NOT INCLUDED IN OVERALL DIMENSIONS. 9. IF SILL CONDITION IS NOT PRESENT AT INDICATED LOCATION. I.E WHERE WINDOW CONDITION CHANGE. MAKE CONCRETE SILL TO MATCH ADJACENT CONDITIONS. 10. REPAIR / PATCH EXISTING CONCRETE SILL WHERE NECESSARY 11. ALL EXISTING WINDOWS HAD ARCHED HEADS. ALL PROPOSED WINDOWS AND REPLACEMENTS WILL HAVE FLAT HEADS, WITH ARCHED INFILLS TO CLOSE SPACE BETWEEN HEAD OF WINDOWS AND BOTTOM OF EXISTING BRICK ARCHES. 12. ALL EXISTING DOORS ARE TO REMAIN AND BE REPAIRED AND REFURBISHED. IF EXISTING DOORS NEED TOTAL REPLACEMENT, THEN DO SO (AND FOR SIDE LIGHTS AND TRANSOMS AS WELL) TO MATCH EXISTING CONDITIONS. 13. ALL REFURBISHED/REPLACED HISTORICAL STOREFRONT DOORS WITHIN UNITS TO BE MADE INOPERABLE IN FIELD AND HAVE HARWARE REMOVED 14. ALL WINDOW DIMENSIONS AND COUNTS TO BE VERIFIED ON SITE. 15. ALL POSITIONS OF LAMINATED OR TEMPERED GLAZING TO BE DETERMINED AND VERIFIED BY WINDOW MANUFACTURER. 16. PROVIDE FIRE-RATED GLAZING AT ALL REQUIRED LOCATIONS INCLUDING, BUT NOT LIMITED TO, UNITS OVER PORTIONS OF ROOF BELOW. 17. WINDOWS BASIS OF DESIGN INTENT: U-VALUE OF 0.29. 18. GLAZING SHGC OF 0.5. WINDOW AND GLAZING LEGEND: (W)WINDOW TAG CLEAR GLASS SPANDREL GLASS TEMPERED GLASS LAMINATED GLASS ALUMINUM PANEL WOOD PANEL  $\bigcirc$ BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020 REVISIONS Description Date No. HAMMEL ASSOCIATES ARCHITECTS, LLC 25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEHLI MILL, LLC PROJECT DESCRIPTION STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE PHASE II WINDOW SCHEDULES ISSUE DATE SCALE AS NOTED DRAWN BY CHECKED BY FILE NUMBER 1929 SK PB

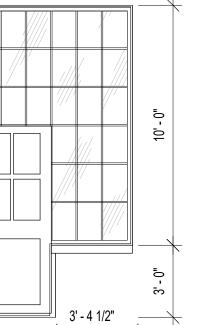


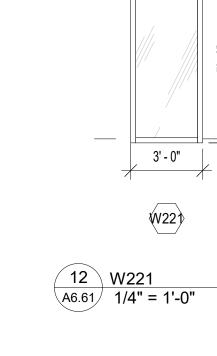


2 W207 A6.61 1/4" = 1'-0"











W221

W222

W223

W224

W225

+<u>+</u> ↓ ↓ ↓

<u>ا ۲</u>

-i 0

\_<u></u>#₽\_

 $\sim$ 

21 SF

32 SF

47 SF 22 SF

25 SF

Storefront

Storefront

Storefront

Storefront

Storefront

2 1/2" 3' - 0 1/4" 2 1/2" 3' - 0 1/4" 2 1/2"

3' - 4" 3' - 4"

6' - 8"

W223

14 W223

A6.61 1/4" = 1'-0"

SIONS, MEASUREMENTS AND
CONDITIONS SHALL BE CHECKED
FIED IN THE FIELD BY THE
OR. REFER ALL DIFFERENCES,
G, TO THE ARCHITECT FOR
ATION PRIOR TO PROCEEDING
WORK. THE CONTRACTOR
AR THE COST OF RECTIFYING
APPROVED BY THE ARCHITECT,
LACK OF COORDINATION AND
CATION.

WINDOW AND DOOR NOTES:

STAMP

	MOC	ROOM NUMBER	
MILL 5/6 ·			ROC
5101	01	5.1.01.01	LIVING/K
5101	03	5.1.01.03	BATHRO
5102	01	5.1.02.01	LIVING/K
5102	02	5.1.02.02 5.1.02.03	BEDROO
5102	03		BATHRO
5102	21	5.1.02.21	CLOSET
5103	01	5.1.03.01	LIVING/K
5103	02	5.1.03.02	BEDROO
5103	03	5.1.03.03	BATHRO
5103	21	5.1.03.21	
5104	01	5.1.04.01	LIVING/K
5104	02	5.1.04.02	BEDROO
5104	03	5.1.04.03	BATHRO
5104	21	5.1.04.21	CLOSET
5105	01	5.1.05.01	LIVING/K
5105	02	5.1.05.02	BEDROO
5105	03	5.1.05.03	BATHRO
5105	21	5.1.05.21	CLOSET
5106	01	5.1.06.01	LIVING/K
5106	02	5.1.06.02	BEDROO
5106	03	5.1.06.03	BATHRO
5106	04	5.1.06.04	BEDROO
5106	06	5.1.06.06	BATHRO
5106	21	5.1.06.21	CLOSET
5106	22	5.1.06.22	CLOSET
5106	31	5.1.06.31	W
5107	01	5.1.07.01	LIVING/K
5107	02	5.1.07.02	BEDROO
5107	03	5.1.07.03	BATHRO
5107	21	5.1.07.21	CLOSET
5108	01	5.1.08.01	LIVING/K
5108	02	5.1.08.02	BEDROO
5108	03	5.1.08.03	BATHRO
5108	21	5.1.08.21	CLOSET
5109	01	5.1.09.01	LIVING/K
5109	02	5.1.09.02	BEDROO
5109	03	5.1.09.03	BATHRO
5110	01	5.1.10.01	LIVING/K
5110	02	5.1.10.02	BEDROO
5110	03	5.1.10.03	BATHRO
5110	21	5.1.10.21	CLOSET
5111	01	5.1.11.01	LIVING/K
5111	02	5.1.11.02	BEDROO
5111	03	5.1.11.03	BATHRO
5111	21	5.1.11.21	CLOSET
5112	01	5.1.12.01	LIVING/K
5112	02	5.1.12.02	BEDROO
5112	03	5.1.12.03	BATHRO
5113	01	5.1.13.01	LIVING/K
5113	02	5.1.13.02	BEDROO
5113	03	5.1.13.03	BATHRO
5113	04	5.1.13.04	BEDROO
5113	06	5.1.13.06	BATHRO
5113	21	5.1.13.21	CLOSET
5113	22	5.1.13.22	CLOSET
5113	31	5.1.13.31	W
5114	01	5.1.14.01	LIVING/K
5114	02	5.1.14.02	BEDROO
5114	03	5.1.14.03	BATHRO
5114	21	5.1.14.21	CLOSET
6101	01	6.1.01.01	LIVING/K
6101	02	6.1.01.02	BEDROO
6101	03	6.1.01.03	BATHRO
6101	21	6.1.01.21	CLOSET
6102	01	6.1.02.01	LIVING/K
6102	02	6.1.02.02	BEDROO
6102	03	6.1.02.03	BATHRO
6102	21	6.1.02.21	CLOSET
6103	01	6.1.03.01	LIVING/K
6103	02	6.1.03.02	BEDROO
6103	03	6.1.03.03	BATHRO
6103	21	6.1.03.21	CLOSET
6104	01	6.1.04.01	LIVING/K
6104	02	6.1.04.02	BEDROO
6104	03	6.1.04.03	BATHRO
6104	21	6.1.04.21	CLOSET
6105	01	6.1.05.01	LIVING/K
6105	02	6.1.05.02	BEDROO
6105	03	6.1.05.03	BATHRO
6105	21	6.1.05.21	CLOSET
6106	01	6.1.06.01	LIVING/K
6106	02	6.1.06.02	BEDROO
6106	03	6.1.06.03	BATHRO
6106	04	6.1.06.04	BEDROO
6106	06	6.1.06.06	BATHRO
6106	24	6.1.06.21	CLOSET
6106	22	6.1.06.22	CLOSET
6106	23	6.1.06.23	CLOSET
6106	31	6.1.06.31	W
MILL 5/6 -		I	
5201	01	5.2.01.01	LIVING/K
5201	03	5.2.01.03	BATHRO
5202	01	5.2.02.01	
5202	02	5.2.02.02	BEDROO
5202	03	5.2.02.03	BATHRO
5202	21	5.2.02.21	CLOSET
5203	01	5.2.03.01	LIVING/K
5203	02	5.2.03.02	BEDROO
5203	03	5.2.03.03	BATHRO
5203	21	5.2.03.21	CLOSET
5204	01	5.2.04.01	LIVING/K
5204	02	5.2.04.02	BEDROO
5204	03	5.2.04.03	BATHRO
5204	21	5.2.04.21	CLOSET
5205	01	5.2.05.01	LIVING/K
5205	02	5.2.05.02	BEDROO
5205	03	5.2.05.03	BATHRO
5205	21	5.2.05.21	CLOSET
5206	01	5.2.06.01	LIVING/K
5206	02	5.2.06.02	BEDROO
5206	03	5.2.06.03	BATHRO
5206	04	5.2.06.04	BEDROO
5206	06	5.2.06.06	BATHRO
5206	21	5.2.06.21	CLOSET
5206	22	5.2.06.22	CLOSET
5207	01	5.2.07.01	LIVING/K

BATHBEOM         A         A         A         A         A         B         F         T           UNINKOUTO-H         A        A			(5)	(4)	_	2 - UN	-				
Image: Set Product         A	(6)	LHOI	(5)		(3)			(3)	(2)	(1)	NOTE
Image         Image         Image         Image         Image         Image           Intrecond         A	SKS	G HE	IJ	NINc				Ŧ		~	
Image         Image         Image         Image         Image         Image           ANTROOM         A <t< th=""><th>REMARKS</th><th></th><th>ILIN</th><th>ALL F</th><th>EST</th><th>ST</th><th>UTH</th><th>RTH</th><th>SE</th><th>OOR</th><th></th></t<>	REMARKS		ILIN	ALL F	EST	ST	UTH	RTH	SE	OOR	
BALTHECOM         A         A         A         A         A         A         B         C         T         C         D         C         C         C         C         C         C         C         A        A         A         A<	RE L	C	С С	1 M	ME	ЕA	S	N	BA	Ц Ц	ROOM NAME
LINADEMICIPAL         A        A         A <t< td=""><td>RCP</td><td>VARIES: SEE RCP</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></t<>	RCP	VARIES: SEE RCP									
BACHBOOLU         A        A         A         A<	RCP	VARIES: SEE RCP	А		А	В	A	А	А	А	LIVING/KITCHEN
UMAXAMOCAN         A        A         A         A											
BERFOOM         A         A         A         A         A         A         A         B         B         B         A         B         C           CAGET         A <td< td=""><td>RCP</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></td<>	RCP										
CLOSET         A <td></td> <td>SEE RCP</td> <td>В</td> <td>А</td> <td>В</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>BEDROOM</td>		SEE RCP	В	А	В	А	А	А	А	А	BEDROOM
EDROCOM         A         A         A         A         A         A         B         SEE ROP           A         <											
BACHBOOM         A        A         A         A </td <td>RCP</td> <td>VARIES: SEE RCP</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	RCP	VARIES: SEE RCP									
Lynnominical         A <t< td=""><td></td><td>9' - 0"</td><td>В</td><td>А</td><td>A</td><td>А</td><td>A</td><td>А</td><td>А</td><td>А</td><td>BATHROOM</td></t<>		9' - 0"	В	А	A	А	A	А	А	А	BATHROOM
BATHBOOM         A<	RCP	N/A VARIES: SEE RCP									
CLOSET         A         A         A         A         A         A         A         N           UNINGNTCHEN         A											
BERPROM         A         A         A         A         A         A         B         BERPROM           A         A         A         A         A         A         A         A         B         SEE CP           BETRROM         A         A         A         A         A         A         A         B         SEE CP           DISET         A		N/A	А	А	A	А	A	А	Α	А	CLOSET
BEORODIM         A         A         A         B         A         A         B         SEE PCP           BATHROOM         A		SEE RCP	В						А	А	BEDROOM
QLOSET         A <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>											
CLOSET         A <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>											
UNN-KATCHEN         A         A         A         A         A         A         A         A         A         A         A         B         A         A         A         B         A         A         B         B         A <th< td=""><td></td><td>N/A</td><td>А</td><td>А</td><td>A</td><td>А</td><td>A</td><td>А</td><td>А</td><td>А</td><td>CLOSET</td></th<>		N/A	А	А	A	А	A	А	А	А	CLOSET
BATHROOM         A        A         A         A </td <td>RCP</td> <td>N/A VARIES: SEE RCP</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	RCP	N/A VARIES: SEE RCP									
QLOSET         A <td></td> <td>SEE RCP</td> <td>В</td> <td>А</td> <td></td> <td>А</td> <td>A</td> <td>А</td> <td>А</td> <td>А</td> <td>BEDROOM</td>		SEE RCP	В	А		А	A	А	А	А	BEDROOM
iccno.com         A         A         A         A         A         A         A         B         A         B         A         B         SEE RCP           CLOSET         A		N/A	А	А	А	А	A	А	А	А	CLOSET
BATHROOM         A        A         A         A </td <td>KCP</td> <td>VARIES: SEE RCP SEE RCP</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	KCP	VARIES: SEE RCP SEE RCP									
UNNEKTOREN         A        A         A         A											
BATHROM         A </td <td>RCP</td> <td>VARIES: SEE RCP</td> <td>А</td> <td>А</td> <td>А</td> <td>В</td> <td>A</td> <td>А</td> <td>А</td> <td>А</td> <td>LIVING/KITCHEN</td>	RCP	VARIES: SEE RCP	А	А	А	В	A	А	А	А	LIVING/KITCHEN
BEDROM         A         A         A         A         A         B         SEE FCP           BATHROOM         A											
BATHROOM         A         A         A         A         A         A         A         A         A         A         NA           CLOSET         A         A         A         A         A         A         A         NA         NA           CLOSET         A         A         A         A         A         A         B         SEE RCP           CLOSET         A         A         A         A         A         A         A         A         NA         B         SE         P.O"           CLOSET         A         A         A         A         A         A         A         A         NA         A         NA         B         A         A         NA         NA         A         NA         A         NA         A         A         A         A         A         A         A         A         A         A         NA         A <td< td=""><td>RCP</td><td>VARIES: SEE RCP</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></td<>	RCP	VARIES: SEE RCP									
UNIVARITCHEN         A         A         A         A         A         A         A         VARIES: SEE RC           BEDROOM         A         A         A         A         A         A         B         BE         SEE RCP           CLOSET         A         A         A         A         A         A         A         A         N <td></td> <td>9' - 0"</td> <td>В</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>BATHROOM</td>		9' - 0"	В	А	А	А	А	А	А	А	BATHROOM
BATHROOM         A        A         A         A </td <td>RCP</td> <td>N/A VARIES: SEE RCP</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	RCP	N/A VARIES: SEE RCP									
CLOSET         A         A         A         A         A         A         A         NA           LUNGKITCHEN         A         B         B         A											
BEDROOM         A         B         A         B         A        A         A         A <td></td> <td>N/A</td> <td>А</td> <td>А</td> <td>A</td> <td>А</td> <td>A</td> <td>А</td> <td>А</td> <td>А</td> <td>CLOSET</td>		N/A	А	А	A	А	A	А	А	А	CLOSET
LININGARTCHEN         A         <		SEE RCP	В								BEDROOM
BEDROOM         A         A         A         A         A         A         A         A         A         A         A         B         B         A         A         B         B         A         A         B         B         A         A         B         B         A         A         B         B         A         A         B         B         A         A         B         A         A         B         A </td <td>RCP</td> <td>9' - 0" VARIES: SEE RCP</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	RCP	9' - 0" VARIES: SEE RCP									
BEDROOM         A         A         A         A         B         B         A         A         B         SEE RCP           BATHROOM         A		SEE RCP	В	А	А	В	A	А	А	А	BEDROOM
CLOSET         A <td></td> <td>SEE RCP</td> <td>В</td> <td>А</td> <td>А</td> <td>В</td> <td>В</td> <td>А</td> <td>А</td> <td>А</td> <td>BEDROOM</td>		SEE RCP	В	А	А	В	В	А	А	А	BEDROOM
W         A         A         A         A         A         A         A         A         A         A         A         A         NA           LIVINGKITCHEN         A         A         A         A         A         A         B         B         B         SEERCP           BATHROOM         A         A         A         A         A         A         A         A         B         A         B         SEERCP           BATHROOM         A											
LIVINGKITCHEN         A         A         A         A         A         A         B         A         <											
BATHROOM         A<	RCP	VARIES: SEE RCP	А	А	В	А	В	А	А	А	LIVING/KITCHEN
LIVINGKITCHEN         A         <											
BEDROOM         A         B         A </td <td>RCP</td> <td></td>	RCP										
CLOSET         A <td></td> <td>SEE RCP</td> <td>В</td> <td>А</td> <td>Α</td> <td>А</td> <td>A</td> <td>В</td> <td>А</td> <td>А</td> <td>BEDROOM</td>		SEE RCP	В	А	Α	А	A	В	А	А	BEDROOM
BEDROOM         A         A         A         A         A         A         A         B         SEE RCP           BATHROOM         A											
BATHROOM         A<	RCP	VARIES: SEE RCP SEE RCP									
LIVING/KITCHEN         A         A         B         A         B         SEE RCP           BATHROOM         A<				А	А	А	A		А	А	BATHROOM
BATHROOM         A<	RCP	VARIES: SEE RCP	А	А	A	А	A	В	А	А	LIVING/KITCHEN
LIVING/KITCHEN         A         A         A         A         A         A         A         VARIES: SEE RC           BEDROOM         A											
BEDROOM         A         A         A         A         A         A         A         B         SEE RCP           BATHROOM         A	RCP										
CLOSET         A         A         A         A         A         A         A         A         N/A           LIVING/KITCHEN         A         A         B         A         A         A         A         A         A         A         A         VARIES: SEE RC           BATHROOM         A         A         A         A         A         A         A         A         B         9'-0"           CLOSET         A <t< td=""><td></td><td>SEE RCP</td><td>В</td><td>А</td><td>А</td><td>А</td><td>A</td><td>В</td><td>А</td><td>А</td><td>BEDROOM</td></t<>		SEE RCP	В	А	А	А	A	В	А	А	BEDROOM
BEDROOM         A         A         A         A         A         A         A         A         B         SEE RCP           BATHROOM         A		N/A					A	А	А	А	CLOSET
BATHROOM         A         B         A         A         A         B         A         A         A         B         A         A         A         B         A         A         A         B         A         A         A         A         B         A<	RCP	VARIES: SEE RCP SEE RCP									
LIVING/KITCHEN         A         A         A         A         A         A         A         VARIES: SEE RC           BEDROOM         A         A         B         A         B         A         B         A         B         SEE RCP           BATHROOM         A         A         A         A         A         A         B         SEE RCP           BATHROOM         A         A         A         A         A         A         A         B         SEE RCP           BATHROOM         A		9' - 0"	В	А	А	А	A	А	А	А	BATHROOM
BATHROOM       A       A       A       A       A       A       A       B       9'-0"         BEDROOM       A       A       B       A       A       A       A       B       SEE RCP         BATHROOM       A       A       A       A       A       A       A       B       SEE RCP         BATHROOM       A	RCP	VARIES: SEE RCP	А	А	А	А	A	В	А	А	LIVING/KITCHEN
BEDROOM       A       A       A       B       A       A       A       B       SEE RCP         BATHROOM       A       A       A       A       A       A       A       A       B       9'-0"         CLOSET       A											
CLOSETAAAAAAAAAAAAN/ACLOSETAAAAAAAAAAAAN/ACLOSETAAAAAAAAAAAAN/AWAAAAAAAAAAAN/AWAAAAAAAAAAAN/AWAAAAAAAAAAAN/AWAAAAAAAAAAAN/AWAAAAAAAAAAN/AUVING/KITCHENAAAAAAAABSEE RCPBATHROOMAAAAAAAAAAN/ALIVING/KITCHENAAAAAAAAAAN/ALIVING/KITCHENAAAAAAAAAAN/ALIVING/KITCHENAAAAAAAAAAN/ALIVING/KITCHENAAAAAAAAAAN/ALIVING/KITCHEN </td <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>А</td> <td></td>										А	
CLOSETAAAAAAAAAAAAWAAAAAAAAAAAAN/AWAAAAAAAAAAAAN/AWAAAAAAAAAAAN/AUIVING/KITCHENAAAAAAABAAAVARIES: SEE RCBEDROOMAAAAABAAAVARIES: SEE RCBATHROOMAAAAABAABSEE RCPBATHROOMAAAAAABY-O"CLOSETAAAAAAN/AUIVING/KITCHENAAAAAAAABSEE RCPBATHROOMAAAAAAABBY-O"CLOSETAAAAAAN/AUIVING/KITCHENAAAAAAAAAAN/AN/AUIVING/KITCHENAAAAAAAAN/AN/AUIVING/KITCHENAAAAAAAAAAAN/AN/AUIVING/KITCHENA <td></td> <td>N/A</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>А</td> <td>CLOSET</td>		N/A	А	А	А	А	А	А	А	А	CLOSET
LIVING/KITCHEN       A       A       B       A       A/B       B       A       A       VARIES: SEE RC         BATHROOM       A       A       A       A       A       A       A       B       A       B       P'-0"         LIVING/KITCHEN       A       A       A       A       B       A       A       A       B       P'-0"         BEDROOM       A       A       A       A       B       A       A       B       SEE RCP         BATHROOM       A       A       A       A       A       B       A       A       B       SEE RCP         BATHROOM       A       A       A       A       A       A       B       B       A       N/A         CLOSET       A       A       A       A       A       A       A       A       N/A         LIVING/KITCHEN       A       A       A       A       A       A       B       A       VARIES: SEE RC         BATHROOM       A       A       A       A       A       A       A       A       N/A         LIVING/KITCHEN       A       A       A       A <td< td=""><td></td><td>N/A</td><td>А</td><td>А</td><td>А</td><td>А</td><td>A</td><td>А</td><td>А</td><td>А</td><td>CLOSET</td></td<>		N/A	А	А	А	А	A	А	А	А	CLOSET
BATHROOMAAAAAAAB9'-0"LIVING/KITCHENAAAABAAAVARIES: SEE ROBEDROOMAAAABAABSEE RCPBATHROOMAAAAAABABSEE RCPBATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAN/ALIVING/KITCHENAAAAABAVARIES: SEE ROBATHROOMAAAAABAVARIES: SEE ROBATHROOMAAAAABAVARIES: SEE ROBATHROOMAAAAABAVARIES: SEE ROBATHROOMAAAAAABAN/ALIVING/KITCHENAAAAAAN/ALIVING/KITCHENAAAAABAVARIES: SEE ROBATHROOMAAAAAAAAN/ALIVING/KITCHENAAAAAAAN/ALIVING/KITCHENAAAAAAAN/ABATHROOMAAAAAAAAN/ALIV		N/A	A	A	A	A	A	A	A	A	W
BATHROOMAAAAAAAB9'-0"LIVING/KITCHENAAAABAAAVARIES: SEE ROBEDROOMAAAABAABSEE RCPBATHROOMAAAAAABABSEE RCPBATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAN/ALIVING/KITCHENAAAAABAVARIES: SEE ROBATHROOMAAAAABAVARIES: SEE ROBATHROOMAAAAABAVARIES: SEE ROBATHROOMAAAAAABBSEE RCPBATHROOMAAAAAAAAN/ALIVING/KITCHENAAAAAAN/ALIVING/KITCHENAAAAAAAN/ABATHROOMAAAAAAAN/ALIVING/KITCHENAAAAAAAN/ABATHROOMAAAAAAAN/ALIVING/KITCHENAAAAAAAN/ALIVING/KITCHENA <t< td=""><td></td><td></td><td>۸</td><td>•</td><td></td><td>۵ / ۵</td><td>A 1</td><td>P</td><td>•</td><td>٨</td><td></td></t<>			۸	•		۵ / ۵	A 1	P	•	٨	
BEDROOMAAAABAABSEE RCPBATHROOMAAAAAAAAB9'-0"CLOSETAAAAAAAAAN/ALIVING/KITCHENAAAAAAAN/ABEDROOMAAAAABAAVARIES: SEE RCBATHROOMAAAAAABABSEE RCPBATHROOMAAAAAABAN/ALIVING/KITCHENAAAAAAB9'-0"CLOSETAAAAAAAAN/ALIVING/KITCHENAAAAABAVARIES: SEE RCBATHROOMAAAAAABAVARIES: SEE RCBATHROOMAAAAAABAVARIES: SEE RCBATHROOMAAAAAAAAALIVING/KITCHENAAAAAAALIVING/KITCHENAAAAAAALIVING/KITCHENAAAAAAABEDROOMAAAABAAABEDROOMA </td <td></td> <td>9' - 0"</td> <td>В</td> <td>А</td> <td>А</td> <td>А</td> <td>A</td> <td>А</td> <td>А</td> <td>А</td> <td>BATHROOM</td>		9' - 0"	В	А	А	А	A	А	А	А	BATHROOM
BATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAAAN/ALIVING/KITCHENAAAAABAAVARIES: SEE ROBEDROOMAAAAABABSEE RCPBATHROOMAAAAAAB9'-0"CLOSETAAAAAAABLIVING/KITCHENAAAAAAN/ALIVING/KITCHENAAAAAAABATHROOMAAAAABAVARIES: SEE ROBEDROOMAAAAAABAVARIES: SEE ROBATHROOMAAAAAABAVARIES: SEE ROBATHROOMAAAAAABBSEE RCPBATHROOMAAAAAAAAALIVING/KITCHENAAAABAAVARIES: SEE ROBEDROOMAAAAAAAAAAABATHROOMAAAAAAAAAAABOROOMAAAAAAABSEE	RCP	VARIES: SEE RCP SEE RCP									
LIVING/KITCHENAAAAAABAAVARIES: SEE RCBEDROOMAAAAAABABSEE RCPBATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAAN/ALIVING/KITCHENAAAAAAAN/ABEDROOMAAAAAABAVARIES: SEE RCBATHROOMAAAAAABAVARIES: SEE RCBATHROOMAAAAABAAVARIES: SEE RCBATHROOMAAAAAABAVARIES: SEE RCBATHROOMAAAAAAABSEE RCPBATHROOMAAAAAAAAN/ALIVING/KITCHENAAAAAAAABEDROOMAAAABAAASEE RCPBATHROOMAAAAAABAABSEE RCPBATHROOMAAAAAAABAABSEE RCPBATHROOMAAAAAAAAABSEE R		9' - 0"	В	А	A	А	А	А	А	А	BATHROOM
BATHROOMAAAAAAB9'-0"CLOSETAAAAAAAAN/ALIVING/KITCHENAAAAABAAVARIES: SEE ROBEDROOMAAAAABABSEE RCPBATHROOMAAAAABBBSEE RCPCLOSETAAAAAAAB9'-0"CLOSETAAAAAAAAN/ALIVING/KITCHENAAAABAAN/ABEDROOMAAAABAASEE RCPBATHROOMAAAABAASEE RCPBATHROOMAAAABAABSEE RCPBATHROOMAAAABABSEE RCPBATHROOMAAAABABSEE RCPBATHROOMAAAAAAABSEE RCPCLOSETAAAAAAAAAA	RCP	VARIES: SEE RCP	А	А	В	А	A	А	А	А	LIVING/KITCHEN
LIVING/KITCHENAAAAAABAAVARIES: SEE RCBEDROOMAAAAAABABSEE RCPBATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAAN/ALIVING/KITCHENAAAABAAVARIES: SEE RCBEDROOMAAAABAABSEE RCPBATHROOMAAAAABAB9'-0"CLOSETAAAAAAAN/A											
BEDROOMAAAAABABSEE RCPBATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAAN/ALIVING/KITCHENAAAABAAVARIES: SEE RCBEDROOMAAAABAABSEE RCPBATHROOMAAAAABAB9'-0"CLOSETAAAAAAAN/A	RCP		А	А	Α	А	A	А	А	А	CLOSET
CLOSETAAAAAAAAN/ALIVING/KITCHENAAAAABAAAVARIES: SEE RCBEDROOMAAAABAABSEE RCPBATHROOMAAAAAAB9'-0"CLOSETAAAAAAAA		SEE RCP	В	А	В	А	A	А	А	А	BEDROOM
LIVING/KITCHENAAAABAAAVARIES: SEE RCBEDROOMAAAABAABSEE RCPBATHROOMAAAAAAAB9'-0"CLOSETAAAAAAAAN/A											
BATHROOMAAAAAAB9'-0"CLOSETAAAAAAAAN/A	RCP	VARIES: SEE RCP	А	А	A	В	A	А	А	А	LIVING/KITCHEN
		9' - 0"	В	А	А	А	А	А	А	А	BATHROOM
	RCP	N/A VARIES: SEE RCP									
BEDROOM     A     A     A     A     B     A     A     B       BATHROOM     A     A     A     A     A     A     B     9'-0"							A				BEDROOM
BEDROOM A A A A B A B SEE RCP		SEE RCP	В	А	A	В	A	А	А	А	BEDROOM
BATHROOMAAAAAB9'-0"CLOSETAAAAAAAN/A		N/A			А		А	А	А	А	CLOSET
CLOSET A A A A A A A N/A	RCP		А	А	А	А	A	А	А	А	CLOSET

			ROO	M FIN	ISH S	CHED	ULE	2 - UN	IITS				
		Ш	NOTE	(1)	(2)	(3)	(3)	(3)	(3)	(4)	(5)	L H	(6)
		ROOM NUMBER					WA	<b>\LL</b> │		PAINT		CEILING HEIGHT	S
	Σ	M NC		R		Т	표		⊢		ŊŊ	- SN	REMARKS
UNIT	ROOM	200	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	WALL	CEILING	CEIL	ZEM.
5207	02	5.2.07.02	BEDROOM	A	Α	Α	A	Α	В	Α	В	SEE RCP	
5207 5207	03 21	5.2.07.03 5.2.07.21	BATHROOM CLOSET	A A	A A	A A	A A	A A	A A	A A	B A	9' - 0" N/A	
5207 5208	31 01	5.2.07.31 5.2.08.01	W LIVING/KITCHEN	A	A A	A	A A	A A	A B	A A	A A	N/A VARIES: SEE RCP	
5208	02	5.2.08.02	BEDROOM	Α	Α	Α	Α	Α	В	Α	В	SEE RCP	
5208 5208	03 21	5.2.08.03 5.2.08.21	BATHROOM CLOSET	A A	A A	A A	A A	A A	A A	A A	B A	9' - 0" N/A	
5209 5209	01 02	5.2.09.01 5.2.09.02	LIVING/KITCHEN BEDROOM	A	A A	A A	A A	B	A	A	A B	VARIES: SEE RCP SEE RCP	
5209	03	5.2.09.03	BATHROOM	Α	A	Α	Α	Α	Α	Α	В	9' - 0"	
5210 5210	01 02	5.2.10.01 5.2.10.02	LIVING/KITCHEN BEDROOM	A A	A A	A A	A A	A A	B B	A A	A B	VARIES: SEE RCP SEE RCP	
5210 5210	03 21	5.2.10.03	BATHROOM CLOSET	A A	A A	A A	A A	A A	A	A A	B	9' - 0" N/A	
5211 5211	01	5.2.11.01	LIVING/KITCHEN BEDROOM	A	A A	A A	A A	A	B	A	A B	VARIES: SEE RCP SEE RCP	
5211	03	5.2.11.03	BATHROOM	Α	A	A	A	Α	A	A	B	9' - 0"	
5211 5212	21 01	5.2.11.21 5.2.12.01	CLOSET LIVING/KITCHEN	A A	A A	A A	A A	A B	A A	A A	A A	N/A VARIES: SEE RCP	
5212 5212	02	5.2.12.02 5.2.12.03	BEDROOM BATHROOM	A	A A	A A	A A	A A	A	A A	B	SEE RCP 9' - 0"	
5213	01	5.2.13.01	LIVING/KITCHEN	Α	A	Α	Α	В	A	Α	A	VARIES: SEE RCP	
5213 5213	02	5.2.13.02 5.2.13.03	BEDROOM BATHROOM	A A	A A	A A	A A	B A	A A	A A	B B	SEE RCP 9' - 0"	
5213 5213	04 06	5.2.13.04 5.2.13.06	BEDROOM BATHROOM	A	A A	A A	B A	B A	A A	A A	B	SEE RCP 9' - 0"	
5213	21	5.2.13.21	CLOSET	Α	Α	Α	Α	Α	Α	Α	A	N/A	
5213 5213	22 31	5.2.13.22 5.2.13.31	CLOSET W	A A	A A	A A	A A	A A	A A	A A	A A	N/A N/A	
5214 5214	01 02	5.2.14.01 5.2.14.02	LIVING/KITCHEN BEDROOM	A	A A	A A	B A	A A	B B	A A	A B	VARIES: SEE RCP SEE RCP	
5214	03	5.2.14.03	BATHROOM	Α	Α	Α	Α	Α	Α	Α	В	9' - 0"	
6201 6201	01 02	6.2.01.01 6.2.01.02	LIVING/KITCHEN BEDROOM	A A	A A	B B	A A	A A	A A	A A	A B	VARIES: SEE RCP SEE RCP	
6201 6201	03 21	6.2.01.03 6.2.01.21	BATHROOM CLOSET	A A	A A	A A	A A	A A	A A	A A	B A	9' - 0" N/A	
6202	01	6.2.02.01	LIVING/KITCHEN	Α	Α	В	Α	Α	Α	Α	A	VARIES: SEE RCP	
6202 6202	02 03	6.2.02.02 6.2.02.03	BEDROOM BATHROOM	A A	A A	B A	A A	A A	A A	A A	B B	SEE RCP 9' - 0"	
6202 6203	21 01	6.2.02.21 6.2.03.01	CLOSET LIVING/KITCHEN	A A	A A	A B	A A	A A	A A	A A	A A	N/A VARIES: SEE RCP	
6203	02	6.2.03.02	BEDROOM	Α	A	В	Α	Α	A	Α	В	SEE RCP	
6203 6203	03 21	6.2.03.03 6.2.03.21	BATHROOM CLOSET	A A	A A	A A	A A	A A	A A	A A	B A	9' - 0" N/A	
6204 6204	01	6.2.04.01 6.2.04.02	LIVING/KITCHEN BEDROOM	A A	A A	B B	A A	A A	A	A A	A B	VARIES: SEE RCP SEE RCP	
6204	03	6.2.04.03	BATHROOM	Α	A	Α	Α	A	Α	Α	B	9' - 0"	
6204 6205	01	6.2.04.21 6.2.05.01	LIVING/KITCHEN	A A	A A	A B	A A	A A	A A	A A	A A	N/A VARIES: SEE RCP	
6205 6205	02	6.2.05.02 6.2.05.03	BEDROOM BATHROOM	A A	A A	B A	A A	A A	A	A A	B	SEE RCP 9' - 0"	
6205	21 01	6.2.05.21 6.2.06.01	CLOSET LIVING/KITCHEN	Α	Α	А	Α	Α	Α	Α	A		
6206 6206	02	6.2.06.02	BEDROOM	A A	A A	B B	A A	A B	A A	A A	A B	VARIES: SEE RCP SEE RCP	
6206 6206	03 04	6.2.06.03 6.2.06.04	BATHROOM BEDROOM	A A	A A	A B	A A	A A	A A	A A	B	9' - 0" SEE RCP	
6206 6206	06 22	6.2.06.06 6.2.06.21	BATHROOM CLOSET	A	A A	A A	A A	A	A	A A	B	9' - 0" N/A	
6206	21	6.2.06.22	CLOSET	Α	Α	Α	Α	A	Α	Α	Α	N/A	
6206 6206	23 31	6.2.06.23 6.2.06.31	CLOSET W	A A	A A	A A	A A	A A	A A	A A	A A	N/A N/A	
MILL 5/6	6 - 3RD FL	.00R											
5301 5301	01	5.3.01.01 5.3.01.03	LIVING/KITCHEN BATHROOM	A A	A A	B A	A A	A/B A	B A	A A	A B	VARIES: SEE RCP 9' - 0"	
5302	01	5.3.02.01	LIVING/KITCHEN	Α	A	Α	Α	В	A	Α	A	VARIES: SEE RCP	
5302 5302	02	5.3.02.02 5.3.02.03	BEDROOM BATHROOM	A A	A A	A A	A A	B A	A A	A A	B	SEE RCP 9' - 0"	
5302 5303	21 01	5.3.02.21 5.3.03.01	CLOSET LIVING/KITCHEN	A	A A	A A	A A	A A	A B	A A	A A	N/A VARIES: SEE RCP	
5303	02	5.3.03.02	BEDROOM	Α	A	A	Α	A	В	Α	В	SEE RCP	
5303 5303	03 21	5.3.03.03 5.3.03.21	BATHROOM CLOSET	A A	A A	A A	A A	A A	A A	A A	B A	9' - 0" N/A	
5304 5304	01 02	5.3.04.01 5.3.04.02	LIVING/KITCHEN BEDROOM	A	A A	A A	A A	A	BB	A	A B	VARIES: SEE RCP SEE RCP	
5304	03	5.3.04.03	BATHROOM	Α	Α	Α	Α	Α	Α	Α	В	9' - 0"	
5304 5305	21 01	5.3.04.21 5.3.05.01	CLOSET LIVING/KITCHEN	A A	A A	A A	A A	A B	A A	A A	A A	N/A VARIES: SEE RCP	
5305 5305	02	5.3.05.02 5.3.05.03	BEDROOM BATHROOM	A	A A	A A	A A	B	A A	A A	B B	SEE RCP 9' - 0"	
5305	21	5.3.05.21	CLOSET	Α	A	Α	Α	Α	Α	Α	Α	N/A	
5306 5306	01 02	5.3.06.01 5.3.06.02	LIVING/KITCHEN BEDROOM	A A	A A	A A	A A	B B	A A	A A	A B	VARIES: SEE RCP SEE RCP	
5306 5306	03 04	5.3.06.03 5.3.06.04	BATHROOM BEDROOM	A A	A A	A A	A A	A B	A A	A A	B B	9' - 0" SEE RCP	
5306 5306	06	5.3.06.06 5.3.06.21	BATHROOM	Α	A	Α	A	A	A	Α	В	9' - 0" N/A	
5306	22	5.3.06.22	CLOSET	A A	A A	A	A A	A A	A	A A	A A	N/A	
5306 5307	23 01	5.3.06.23 5.3.07.01	CLOSET LIVING/KITCHEN	A A	A A	A A	A A	A A	A B	A A	A A	N/A VARIES: SEE RCP	
5307	02	5.3.07.02	BEDROOM	Α	Α	Α	Α	Α	В	Α	В	SEE RCP	
5307 5307	03 21	5.3.07.03 5.3.07.21	BATHROOM CLOSET	A A	A A	A	A A	A A	A A	A A	B A	9' - 0" N/A	
5308 5308	01 02	5.3.08.01 5.3.08.02	LIVING/KITCHEN BEDROOM	A A	A A	A A	A A	A A	B B	A A	A B	VARIES: SEE RCP SEE RCP	$\left  \right $
5308	03	5.3.08.03	BATHROOM	Α	Α	Α	Α	Α	Α	Α	В	9' - 0"	
5308 5309	01	5.3.08.21 5.3.09.01	LIVING/KITCHEN	A A	A A	A A	A A	A B	A A	A A	A A	N/A VARIES: SEE RCP	
5309 5309	02 03	5.3.09.02 5.3.09.03	BEDROOM BATHROOM	A A	A A	A A	A A	A A	A A	A A	B B	SEE RCP 9' - 0"	
5310 5310	01	5.3.10.01 5.3.10.02	LIVING/KITCHEN BEDROOM	Α	A A	Α	A A	A	B	A	A	VARIES: SEE RCP SEE RCP	
5310	03	5.3.10.03	BATHROOM	A A	A	A	Α	Α	A	Α	B	9' - 0"	
5310 5311	21 01	5.3.10.21 5.3.11.01	CLOSET LIVING/KITCHEN	A	A A	A A	A A	A A	A B	A A	A A	N/A VARIES: SEE RCP	
5311	02	5.3.11.02	BEDROOM	Α	Α	Α	Α	Α	В	Α	В	SEE RCP	
5311 5311	03 21	5.3.11.03 5.3.11.21	BATHROOM CLOSET	A A	A A	A	A A	A A	A	A A	B A	9' - 0" N/A	
5312 5312	01 02		LIVING/KITCHEN BEDROOM	A A	A A	A A	A A	B A	A A	A A	A B	VARIES: SEE RCP SEE RCP	
5312	03	5.3.12.03	BATHROOM	Α	Α	А	Α	Α	Α	Α	В	9' - 0"	
5313	01	5.3.13.01 5.3.13.02	LIVING/KITCHEN BEDROOM	A A	A A	A A	A B	B	A A	A A	A B	VARIES: SEE RCP SEE RCP	
5313					7								, T
5313 5313 5313	03 04	5.3.13.03 5.3.13.04	BATHROOM BEDROOM	A A	A A	A A	A A	A B	A A	A A	B B	9' - 0" SEE RCP	
5313	03												

5313

5313

5314

5314 5314

6301

6303 6303 6303

6305

6305

6306

6306

Ř	NOTE	(1)	(2)	(3)	(3)	(3)	(3)	(4)	(5)	E E	
ROOM NUMBER		-			Ŵ					CEILING HEIGHT	
NUN				-	-			> WALL PAINT	U	U U U	
MO		FLOOR	Ш	NORTH	SOUTH	ST	ST		CEILING		
	ROOM NAME		BASI			EAST	WEST	MA			
3.13.22 3.13.31	CLOSET W	A A	A A	A A	A A	A A	A A	A A	A A	N/A N/A	
3.14.01	LIVING/KITCHEN	A	A	A	B	A	B	A	A	VARIES: SEE RCP	
3.14.02	BEDROOM	A	A	A	A	A	B	A	B	SEE RCP	
3.14.03 3.14.21	BATHROOM CLOSET	A A	A A	A A	A A	A A	A A	A A	B A	9' - 0" N/A	
3.14.22	CLOSET	A	A	A	A	A	A	A	A	N/A	
3.01.01	LIVING/KITCHEN	A	A	B	A	A	A	A	A	VARIES: SEE RCP	
3.01.02	BEDROOM BATHROOM	A A	A A	B A	A A	A A	A A	A A	B B	SEE RCP 9' - 0"	
3.01.21	CLOSET	A	Α	A	A	A	A	A	A	N/A	
3.02.01	LIVING/KITCHEN BEDROOM	A A	A A	B	A	A	A A	A A	A B	VARIES: SEE RCP SEE RCP	
3.02.02	BATHROOM	A	A	A	A	A	A	A	B	9' - 0"	
3.02.21	CLOSET	A	A	A	A	A	A	A	A	N/A	
3.03.01 3.03.02	LIVING/KITCHEN BEDROOM	A A	A A	B	A A	A A	A A	A A	A B	VARIES: SEE RCP SEE RCP	
3.03.03	BATHROOM	A	A	A	A	A	A	A	B	9' - 0"	
3.03.21		A	A	A	A	A	A	A	A		
3.04.01 3.04.02	LIVING/KITCHEN BEDROOM	A A	A A	B B	A A	A A	A A	A A	A B	VARIES: SEE RCP SEE RCP	+
3.04.03	BATHROOM	A	Α	A	A	Α	A	A	В	9' - 0"	
3.04.21 3.05.01	CLOSET LIVING/KITCHEN	A A	A A	A B	A A	A	A	A A	A A	N/A VARIES: SEE RCP	
3.05.02	BEDROOM	A	A	B	A	A	A	A	B	SEE RCP	
3.05.03	BATHROOM	A	A	A	A	A	A	A	B	9' - 0"	1
3.06.01	LIVING/KITCHEN BEDROOM	A A	A A	B	A A	A B	A A	A A	A B	VARIES: SEE RCP SEE RCP	+
3.06.03	BATHROOM	A	Α	Α	A	Α	A	A	В	9' - 0"	
3.06.04 3.06.06	BEDROOM BATHROOM	A	A	B	A A	A A	A A	A A	B B	SEE RCP 9' - 0"	
3.06.06	CLOSET	A A	A A	A A	A	A	A	A A	A A	9' - 0" N/A	+
3.06.22	CLOSET	A	Α	Α	A	Α	A	A	Α	N/A	
3.06.23 3.06.31	CLOSET W	A A	A A	A A	A A	A A	A A	A A	A A	N/A N/A	
0.00.01											
	NOTE	1			1			1	(5)		
ROOM NUMBER	NOTE	(1)	(2)	(3)	(3) WA	(3) ALL	(3)	(4)	(5)	CEILING HEIGHT	
ΠM								PAINT		<u> </u>	
Z		R		王	_ <u>ب</u>		L	PA -	ŊŊ	U N N	
00		FLOOR	BASE	NORTH	SOUTH	EAST	WEST	WALL	CEILING		
	ROOM NAME		B	Ž	Ň	Ш	>	3	Ū	Ū	
001	STORAGE	В	Α	D	A/D	A/D	D	-	А	N/A	
002 S-5	ELECTRICAL STAIR #5	B	A A	A B	D B	D B	A B	-	A A	N/A N/A	
3-0	STAIR #3	D	A	D		D	D	-	A	IN/A	
LL 5/6 - 101	1ST FLOOR CORRIDOR	A	A	A/B	A/B	A/B	A	A	A	N/A	
101	CORRIDOR	A	A	A/B	B	B	A	A	A	N/A	
103	JANITOR CLOSET	Α	Α	Α	A/B	Α	Α	Α	Α	N/A	
104 105	ELECTRICAL CIRCULATION	A A	A A	B	A B	A B	A B	A A	A A	N/A N/A	
106	UNPROGRAMMED	A	A	B	B	B	B	A	A	N/A	
107	CIRCULATION	A	A	В	В	В	В	A	А	N/A	
108 E-5	UNPROGRAMMED										
E-6	ELEV #5 ELEV #6							I	А	N1/A	-
S-5	ELEV #6 STAIR #5	B	A	B	B	B	B	-		N/A	+
	ELEV #6	B B B	A A A	B B B	B B B	B B B	B B B	- - -	A A A	N/A N/A N/A	
S-5 S-6 S-7	ELEV #6 STAIR #5 STAIR #6 STAIR #7	В	А	В	В	В	В	-	А	N/A	
S-5 S-6 S-7	ELEV #6 STAIR #5 STAIR #6	В	А	В	В	В	В	-	А	N/A	
S-5 S-6 S-7 LL 5/6 - 201 202	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR	B B A A	A A A A	B B A/B A/B	B B A/B B	B B A/B B	B B A A	- - A A	A A A A	N/A N/A N/A N/A	
S-5 S-6 S-7 LL 5/6 - 201 202 203	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET	B B A A A	A A A A A	B B A/B A/B A	B B A/B B A/B	B B A/B B A	B B A A A	- - A A A	A A A A A	N/A N/A N/A N/A N/A	
S-5 S-6 S-7 LL 5/6 - 201 202	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR	B B A A	A A A A	B B A/B A/B	B B A/B B	B B A/B B	B B A A	- - A A	A A A A	N/A N/A N/A N/A	
S-5 S-6 S-7 201 202 203 204 205 206	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED	B B A A A A A A A A	A A A A A A A A	B B A/B A/B A B B B B	B B A/B A/B A	B B A/B B A A B B B	B B A A A A B B B	- - A A A A A A A	A A A A A A A A A	N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE	B B A A A A A A A A	A A A A A A A A A	B B A/B A/B A B B B B B	B B A/B B A/B A B B B -	B B A/B B A A B B B E	B B A A A A B B B E	- - A A A A A A A A	A A A A A A A A A	N/A N/A N/A N/A N/A N/A N/A N/A N/A	
S-5 S-6 S-7 201 202 203 204 205 206	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED	B B A A A A A A A A	A A A A A A A A	B B A/B A/B A B B B B	B B A/B A/B A/B A B B B	B B A/B B A A B B B	B B A A A A B B B	- - A A A A A A A	A A A A A A A A A	N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A           N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6	B B A A A A A A A A	A A A A A A A A A	B B A/B A/B A B B B B B	B B A/B B A/B A B B B -	B B A/B B A A B B B E	B B A A A A B B B E	- - A A A A A A A A	A A A A A A A A A	N/A N/A N/A N/A N/A N/A N/A N/A N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5	B B A A A A A A A A A	A A A A A A A A A	B B A/B A/B A B B B B B	B B A/B B A/B A B B B -	B B A/B B A A B B B E	B B A A A A B B B E	- - A A A A A A A A	A A A A A A A A A	N/A N/A N/A N/A N/A N/A N/A N/A N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-5 E-6 E-7 S-5 S-6	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #6	B B A A A A A A A A A B B B	A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B A B B B B B B B B B	B B A/B B A B B B B B B B B	B B A A A A B B B B B B B B B B	- - A A A A A A A A	A A A A A A A A A A A A A	N/A           N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5	B B A A A A A A A A B	A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A B B B - B B B B B B	B B A/B B A A B B B B B B B	B B A A A B B B E B B B B B	- - A A A A A A A A -	A A A A A A A A A A A A A	N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 LL 5/6 -	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #6 ELEV #7 STAIR #5 STAIR #5 STAIR #7	B B A A A A A A A A B B B B	A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A B B B B B B B B B	B B A/B B A B B B B B B B B B	B B A A A B B B B B B B B B B	- - A A A A A A A - -	A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #6 STAIR #7	B B A A A A A A A A A B B B	A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B A B B B B B B B B B	B B A/B B A B B B B B B B B	B B A A A A B B B B B B B B B B	- - A A A A A A A A -	A A A A A A A A A A A A A	N/A           N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-7 LL 5/6 - 301 302 303	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #5 STAIR #6 STAIR #7 3RD FLOOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR	B           A           A           A           A           A           A           A           A           A           B           B           B           A	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B B B B	B B A A A A B B B B B B B B B B A A A A	- - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-6 S-7 ULL 5/6 - 301 302 303 304	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #6 STAIR #6 STAIR #7 3RD FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE	B           A           A           A           A           A           A           A           A           B           B           B           A	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B A/B B A A	B           B           A           A           A           B           B           B           B           B           B           B           A           A           A           A           A           A           A           A           A           A           A           A           A           A           A           A           A	- - - - - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-7 LL 5/6 - 301 302 303	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #6 ELEV #7 STAIR #5 STAIR #5 STAIR #6 STAIR #7 3RD FLOOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR	B           A           A           A           A           A           A           A           A           A           B           B           B           A	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B B B B	B B A A A A B B B B B B B B B B A A A A	- - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-5 S-6 S-7 ULL 5/6 - 301 302 303 304 305 306 307	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #5 STAIR #6 STAIR #7 3RD FLOOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR STORAGE CIRCULATION UNPROGRAMMED CIRCULATION	B           A           A           A           A           A           A           A           A           A           B           B           B           B           A	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B B B B	B B A A A A B B B B B B B B B B B B A A A A A A B	- - - - - - - - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-5 S-6 S-7 ULL 5/6 - 301 302 303 304 305 306 307 E-5	ELEV #6STAIR #5STAIR #72ND FLOORCORRIDORCORRIDORJANITOR CLOSETSTORAGECIRCULATIONUNPROGRAMMEDSTORAGECIRCULATIONELEV #5ELEV #6ELEV #7STAIR #5STAIR #5STAIR #6STAIR #73RD FLOORCORRIDORCORRIDORJANITOR CLOSETSTORAGECIRCULATIONUNPROGRAMMEDELEV #7STAIR #5STAIR #5STAIR #6STAIR #73RD FLOORCORRIDORJANITOR CLOSETSTORAGECIRCULATIONUNPROGRAMMEDCIRCULATIONUNPROGRAMMEDCIRCULATIONELEV #5	B           A           A           A           A           A           A           A           A           A           B           B           B           B           B           A	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B A/B B A A B B B B	B B A A A A B B B B B B B B B B B C C C C	- - - - - - - - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-5 S-6 S-7 301 302 303 304 305 306 307	ELEV #6 STAIR #5 STAIR #6 STAIR #7 2ND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #5 STAIR #6 STAIR #7 3RD FLOOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR STORAGE CIRCULATION UNPROGRAMMED CIRCULATION	B           A           A           A           A           A           A           A           A           A           B           B           B           B           B           A	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B A/B B A A B B B B	B B A A A A B B B B B B B B B B B C C C C	- - - - - - - - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N/A	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-6 S-7 301 302 303 304 305 306 307 E-5 E-6 E-7 S-5 E-6 E-7 S-5 S-6 S-7	ELEV #6 STAIR #5 STAIR #7 STAIR #7 ZND FLOOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED STORAGE CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5 STAIR #6 STAIR #7 STAIR #7 3RD FLOOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR JANITOR CLOSET STORAGE CIRCULATION UNPROGRAMMED CIRCULATION UNPROGRAMMED CIRCULATION ELEV #5 ELEV #6 ELEV #7 STAIR #5	B         A         B          B          B	A         A <td< td=""><td>B B A/B A/B A B B B B B B B B B B B B B</td><td>B         A/B         A/B         A/B         A         B         A         B         B         B         A         B         A         B         A         B         A         B         A         B         A/B         B         A/B         B         A/B         B         A/B         B</td><td>B B A/B B A B B B B B B B B B B B B B B</td><td>B B A A A B B B B B B B B B B B B B B B</td><td>- - - - - - - - - - - - - - - - - - -</td><td>A A A A A A A A A A A A A A A A A A A</td><td>N/A         N/A         N</td><td></td></td<>	B B A/B A/B A B B B B B B B B B B B B B	B         A/B         A/B         A/B         A         B         A         B         B         B         A         B         A         B         A         B         A         B         A         B         A/B         B         A/B         B         A/B         B         A/B         B	B B A/B B A B B B B B B B B B B B B B B	B B A A A B B B B B B B B B B B B B B B	- - - - - - - - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N	
S-5 S-6 S-7 201 202 203 204 205 206 207 208 E-5 E-6 E-7 S-5 S-6 S-7 S-5 S-6 S-7 301 302 303 304 305 306 307 E-5 E-6 E-7	ELEV #6STAIR #5STAIR #6STAIR #72ND FLOORCORRIDORCORRIDORJANITOR CLOSETSTORAGECIRCULATIONUNPROGRAMMEDSTORAGECIRCULATIONELEV #5ELEV #6ELEV #7STAIR #5STAIR #6STAIR #6STAIR #73RD FLOORCORRIDORCORRIDORJANITOR CLOSETSTORAGECIRCULATIONUNPROGRAMMEDCORRIDORJANITOR CLOSETSTORAGECIRCULATIONUNPROGRAMMEDCIRCULATIONUNPROGRAMMEDCIRCULATIONELEV #5ELEV #6ELEV #6ELEV #7	B         A <td< td=""><td>A A A A A A A A A A A A A A A A A A A</td><td>B B A/B A/B A B B B B B B B B B B B B B</td><td>B B A/B A/B A/B B B B B B B B B B B B B</td><td>B B A/B B A B B B B B B B B B B B B B B</td><td>B B A A A B B B B B B B B B B B B B B B</td><td>- - - - - - - - - - - - - - - - - - -</td><td>A A A A A A A A A A A A A A A A A A A</td><td>N/A         N/A         N</td><td></td></td<>	A A A A A A A A A A A A A A A A A A A	B B A/B A/B A B B B B B B B B B B B B B	B B A/B A/B A/B B B B B B B B B B B B B	B B A/B B A B B B B B B B B B B B B B B	B B A A A B B B B B B B B B B B B B B B	- - - - - - - - - - - - - - - - - - -	A A A A A A A A A A A A A A A A A A A	N/A         N	

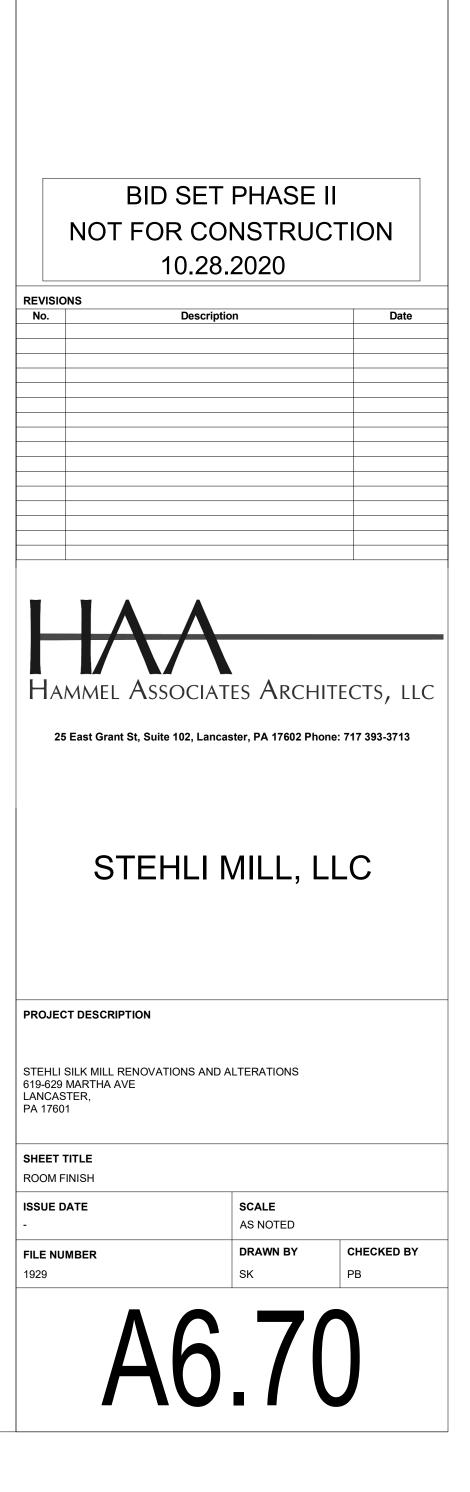
(1) FLOOR:
A. ENGINEERED WOOD, TBD
B. EXPOSED EXISTING CONCRETE
C. EXPOSED EXISTING WOOD

(2) BASE: A. 1X5 FLAT STOCK

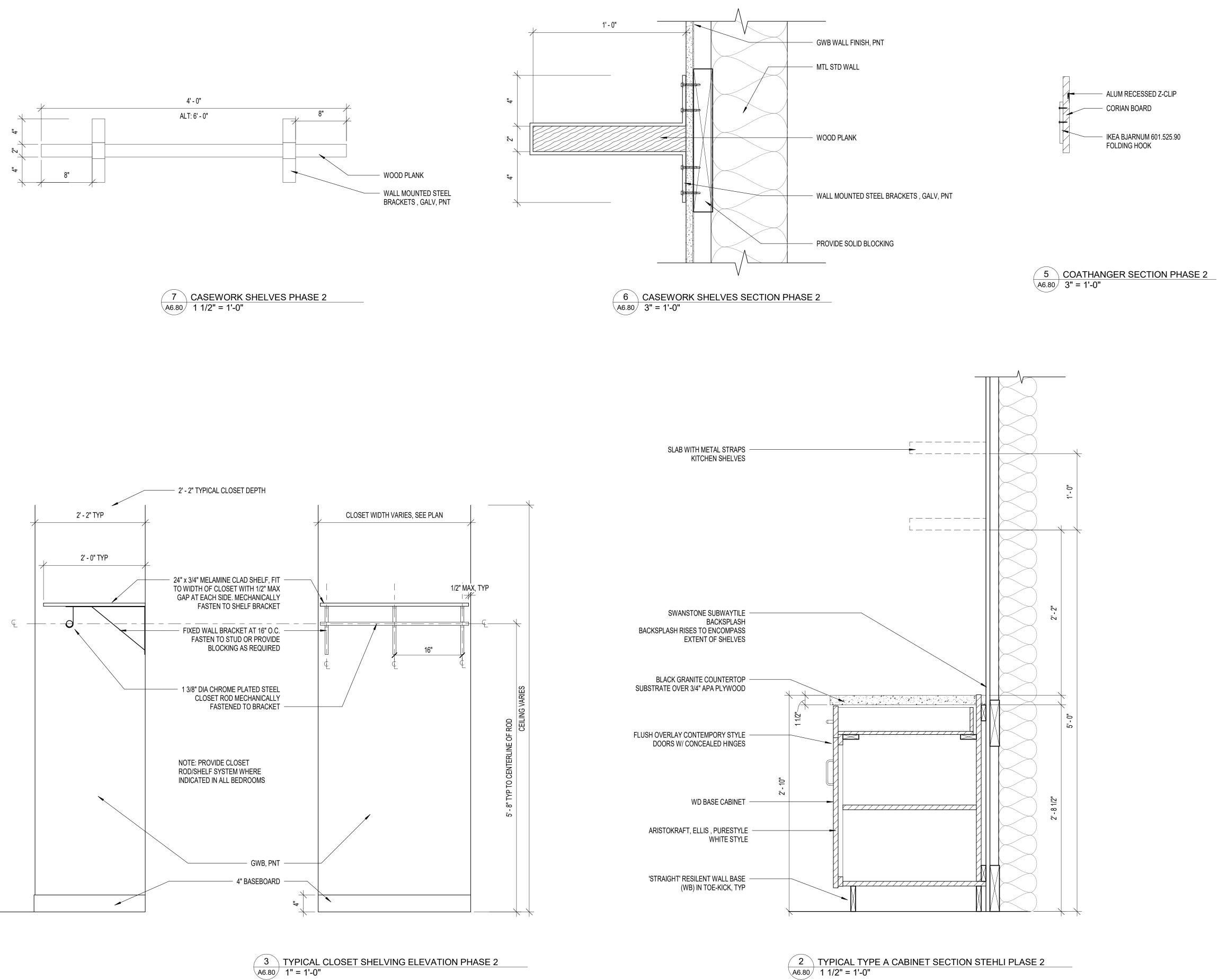
(3) WALL: A. GWB, PNT

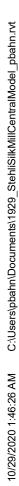
B. EXPOSED BRICK AT EXISTING OR INFILL CONDITIONS. CLEAR MATTE ANTI GRAFFITI
C. CLUGARNO, CARROLLTON, WHITE GLOSS, 4X12 BRICK PATTERN SUBWAY TILE
D. EXPOSED EXISTING STONE
E. EXPOSED EXISTING CONCRETE

(5) CEILING A. EXPOSED B. GWB, PNT: SW WHITE (FINAL TBD)

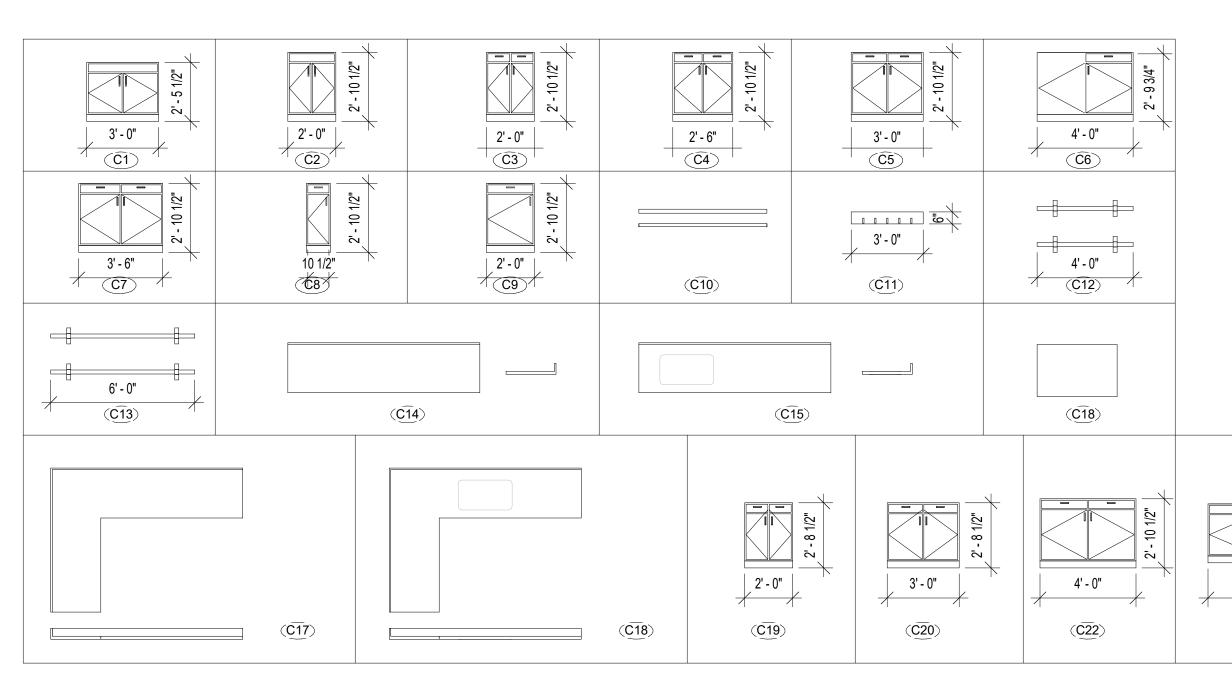


ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.



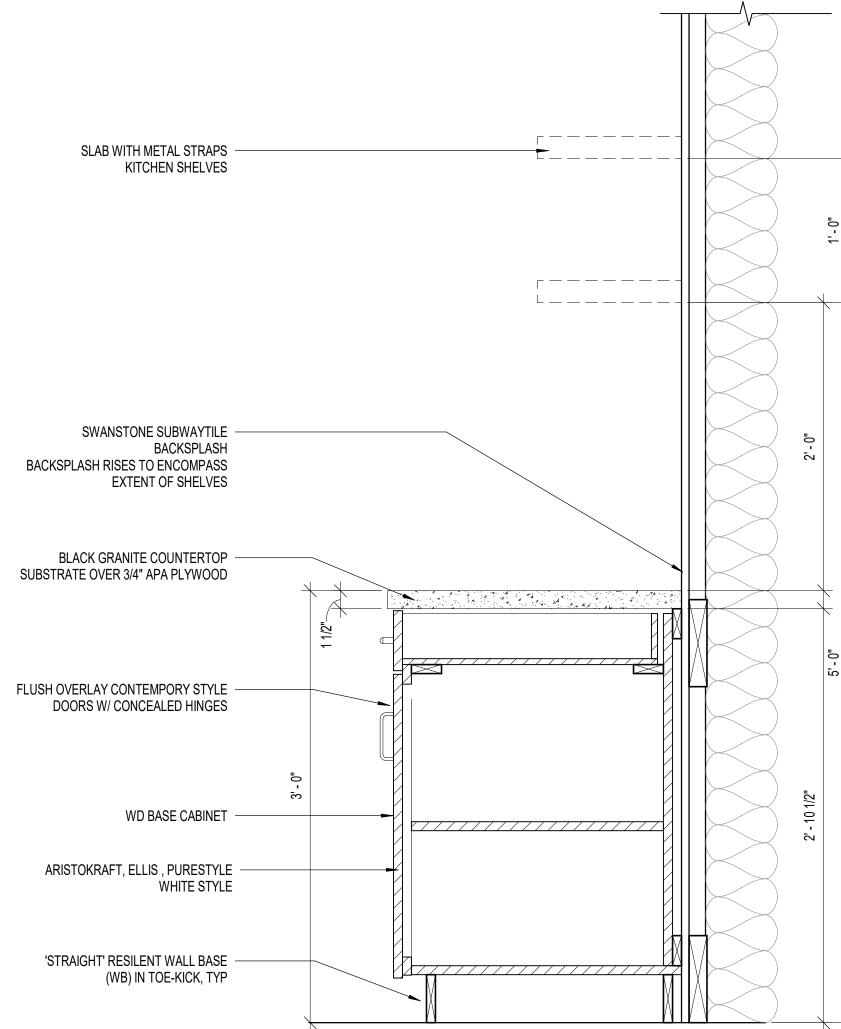


2 TYPICAL TYPE A CABINET SECTION STEHLI PLASE 2 A6.80 1 1/2" = 1'-0"



OR NOTIFICATION.

# - CORIAN BOARD - IKEA BJARNUM 601.525.90 FOLDING HOOK 4 CASEWORK COATHANGER PHASE 2 A6.80 1 1/2" = 1'-0"



3' - 0"

EQ EQ

NOTE: 1 PER EVERY UNIT

EQ

EQ

EQ

5 \A6.30

EQ

\_\_\_\_\_

1 1/4"

1 TYPICAL CABINET SECTION STEHLI PHASE 2 A6.80 1 1/2" = 1'-0"

CASEWORK SCHEDULE											
Casework_NameInSchedule	Type Mark	Width	Height	Depth							
BASE CABINET - DOUBLE DOOR & 2 DRAWER 24"	C3	2' - 0"	2' - 10 1/2"	2' - 0"							
BASE CABINET - DOUBLE DOOR & 2 DRAWER 30"	C4	2' - 6"	2' - 10 1/2"	2' - 0"							
CORNER BASE CABINET - 1 DOOR & 1 DRAWER - 48"	C6	4' - 0"	2' - 10 1/2"	2' - 0"							
BASE CABINET - SINGLE DOOR & 2 DRAWER 12"	C8	1' - 0"	2' - 10 1/2"	2' - 0"							
BASE CABINET - SINGLE DOOR & 2 DRAWER 24"	C9	2' - 0"	2' - 10 1/2"	2' - 0"							
4' LENGTH DOUBLE KITCHEN SHELVING	C12		2"	1' - 0"							
COUNTER TOP W SINK HOLE 24" DEPTH	C14		3' - 0"	2' - 1"							
COUNTER TOP W/O SINK HOLE	C15		3' - 0"	2' - 1"							
L SHAPED COUNTER TOP W SINK HOLE	C17		3' - 0"	2' - 1"							
ISLAND COUNTER TOP	C18		3' - 0"								
BASE CABINET - SINGLE DOOR & 2 DRAWER 18"	C21	1' - 6"	2' - 10 1/2"	2' - 0"							
BASE CABINET - DOUBLE DOOR & 2 DRAWER 48"	C22	4' - 0"	2' - 10 1/2"	2' - 0"							
BASE CABINET - SINGLE DOOR & 2 DRAWER 15"	C.19	1' - 3"	2' - 10 1/2"	2' - 0"							
VANITY CABINET 48"	C.23	4' - 0"	2' - 5 1/2"	2' - 0"							

4' - 0"  $(\overline{C23})$ 

No.

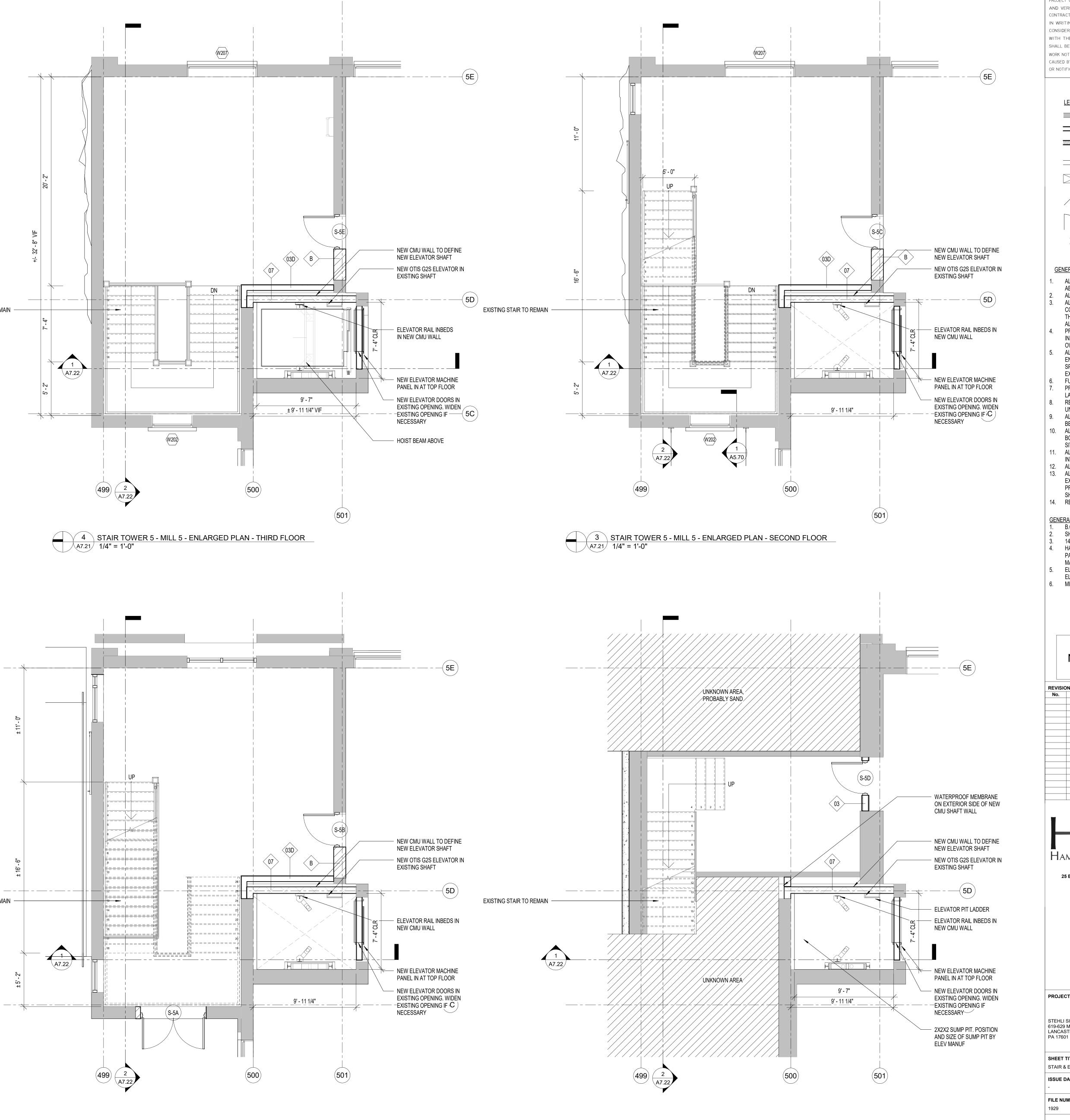
SHEET TITLE CASEWORK

FILE NUMBER 1929



\_\_\_\_ EXISTING STAIR TO REMAIN --

EXISTING STAIR TO REMAIN -



2 STAIR TOWER 5 - MILL 5 - ENLARGED PLAN - FIRST FLOOR A7.21 1/4" = 1'-0"

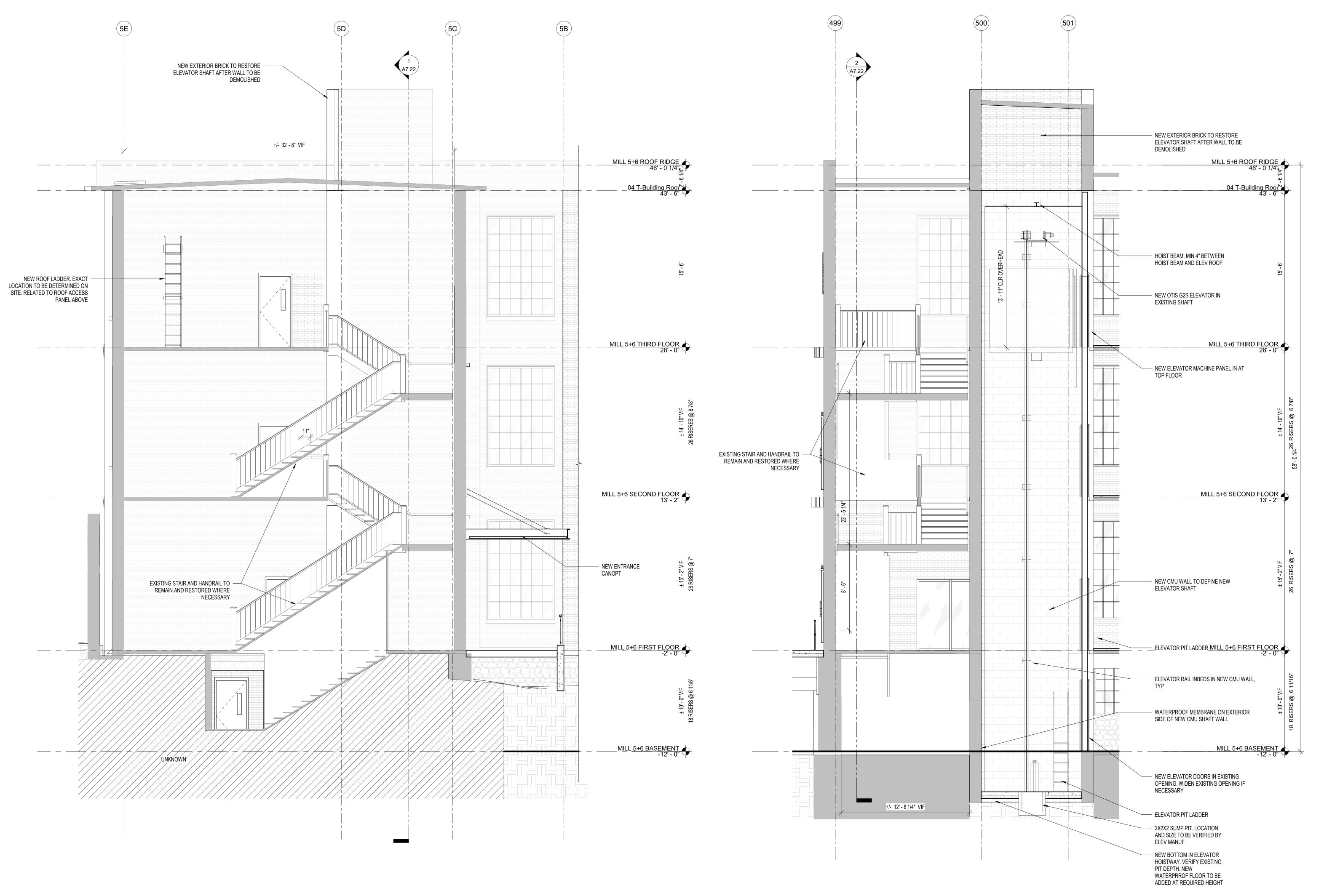
1 STAIR TOWER 5 - ENLARGED PLAN - BASEMENT A7.21 1/4" = 1'-0"

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

EXISTING WALL TO REMAIN

**LEGEND** 

77		
		METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)
		PARTIAL HT STUD WALL
	~	INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE
		EXIST DOOR TO REMAIN AND REFURBISHED
		NEW DOOR
	X	PANEL SIGN
GFN	ERAL NOTE	S
1.       2.         2.       3.         3.       4.         5.       6.         6.       7.         8.       9.         10.       4.         11.       4.         12.       4.         13.       4.         5.       4.         5.       5.	ALL WALLS ABOVE U.N ALL DIMEN ALL DOOR CORNER C THROUGH ALL FINAL I PROVIDE B INSTALLED OWNER. ALL PLUME ENCLOSED SPACE WH EXTEND FF FURNITURI PROVIDE F LAUNDRY I REFER TO UNITS, STA ALL GRID L BE VERIFIE ALL EXISTI BOOTS AT SITE DRAIN ALL EXPOS INTUMESC ALL BRICK ALL EXISTI BOOTS AT SITE DRAIN ALL EXPOS INTUMESC ALL BRICK ALL NEW B EXISTING E PRESERVE SHOWN IN REFER TO REFER TO REFER TO CHALL SIDE PANEUS TO MANUFACT ELEVATOR ELEVATOR	EXTEND TO UNDERSIDE OF EXISTING STRUCTURE O. SIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. OPENINGS TO BE LOCATED 8" FROM THE NEAREST R WALL U.N.O. COORDINATE EXISTING CONDITIONS DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. LOCKING IN WALLS FOR OWNER FURNISHED AND ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH ING SUPPLY PIPING AND DRAIN PIPING ARE TO BE WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED ETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR VAMING AS REQUIRED. E BY OWNER AND SHOWN FOR REFERENCE ONLY. OUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. EQUIPMENT BY OWNER. ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT IRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. INE DIMENSIONS BETWEEN COLUMN CENTER LINES TO D IN FIELD. NG GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL IAGE PER CIVIL ENGINEERING. ED INTERIOR STEEL TO BE COATED WITH BLACK ENT PAINT. TO BE REPOINTED AS NECESSARY. RICK WORK TO BE INSET FROM FACES OF ADJACENT RICKWORK. ALL EXISTING BRICK ARCHES TO BE D AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY BACKGROUND BRICK HATCH. CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE. <b>TOR NOTES:</b> G2S X 97" CLAER
REVISIC No.		BID SET PHASE II FOR CONSTRUCTION 10.28.2020
		FOR CONSTRUCTION 10.28.2020
		FOR CONSTRUCTION 10.28.2020
		FOR CONSTRUCTION 10.28.2020
		FOR CONSTRUCTION 10.28.2020
		FOR CONSTRUCTION 10.28.2020
	DNS	FOR CONSTRUCTION 10.28.2020
No.	DNS DNS DNS DNS DNS DNS DNS DNS DNS DNS	FOR CONSTRUCTION   10.28.2020     Description
	SILK MILL F MARTHA A STER,	FOR CONSTRUCTION   10.28.2020     Description
No.	SILK MILL F MARTHA A STER, 01	FOR CONSTRUCTION   10.28.2020     Description
No.	SILK MILL F MARTHA A STER, 1 SILK MILL F MARTHA A	FOR CONSTRUCTION 10.28.2020 Description Date Description Description Date Description Descr
No.	DNS DNS DNS DNS DNS DNS DNS DNS DNS DNS	FOR CONSTRUCTION   10.28.2020     Description



2 STAIR TOWER 5 - SECTION 2 A7.22 1/4" = 1'-0"

1 STAIR TOWER 5 - SECTION 1 A7.22 1/4" = 1'-0"

STEHLI SI 619-629 M LANCAST PA 17601

SHEET TI STAIR & E ISSUE DAT

**FILE NUMB** 1929

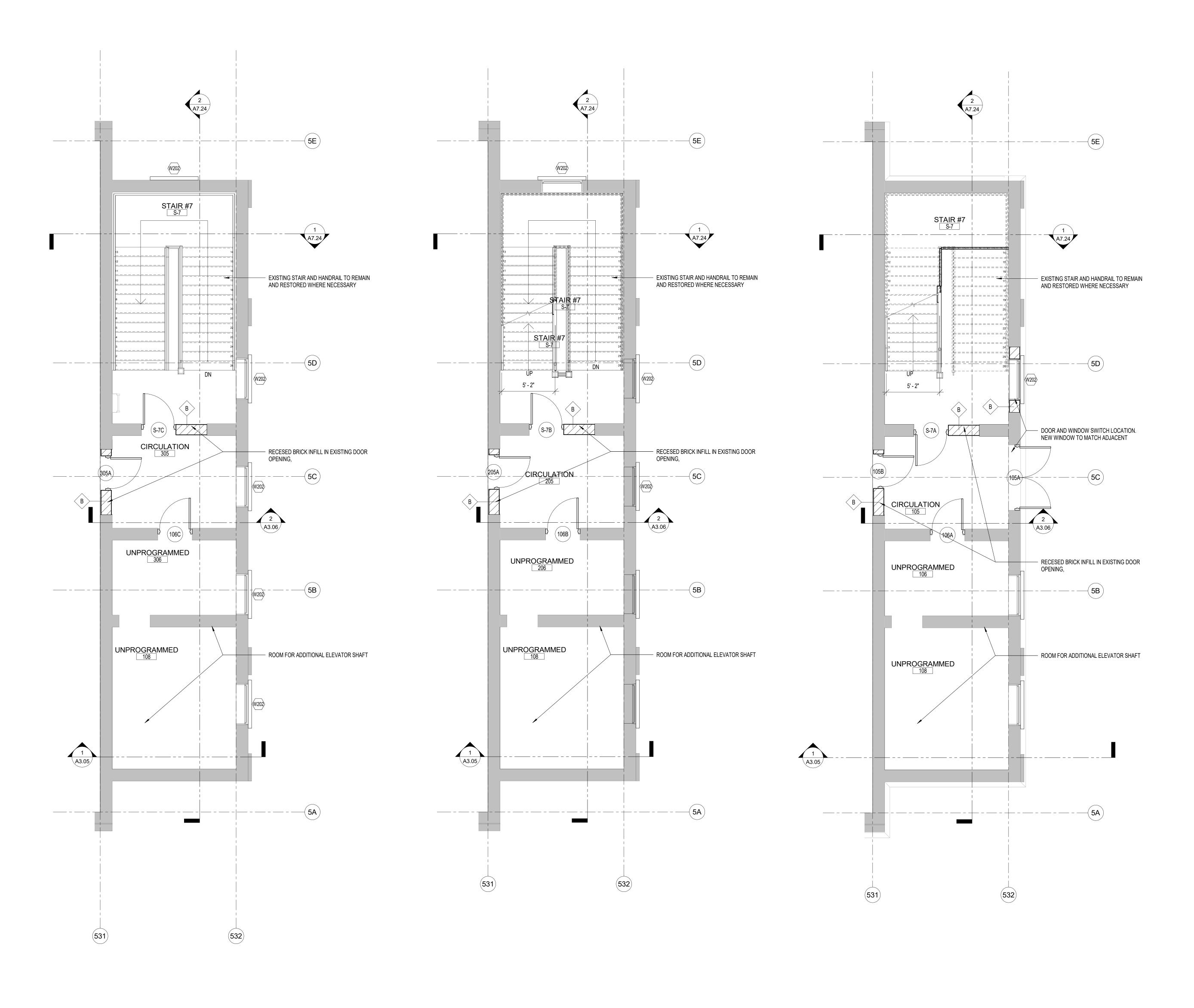
OR NOTIFICATION.

LEGEND

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND

EXISTING WALL TO REMAIN

		NEW FRAME WALL		
	*****		w/ THERMAL OR SC DICATED ON DRAW	
-		PARTIAL HT STUD		
		PLUMBING, OR ELE		
ſ		EXIST DOOR TO RE	MAIN AND REFURB	SHED
		NEW DOOR		
	X	PANEL SIGN		
1.		S EXTEND TO UNDER	SIDE OF EXISTING	STRUCTURE
2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. <u>GENEF</u> 1. 2. 3. 4. 5.	ALL DOOR CORNER O THROUGH ALL FINAL PROVIDE E INSTALLEE OWNER. ALL PLUME ENCLOSEE SPACE WH EXTEND FI FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, STA ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAID ALL EXPOS INTUMESO ALL BRICK ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN REFER TO REFER TO REFER TO CALL ELEVAT HALL SIDE PANELS TO MANUFAC ELEVATOF	ISIONS SHOWN ARE OPENINGS TO BE LO OR WALL U.N.O. COO DEMOLITION/ALTER REQUIRED DOOR CL BLOCKING IN WALLS DITEMS. COORDINA BING SUPPLY PIPING DITEMS. COORDINA ENLARGED PLANS F AIRS, ELEVATORS. E LINE DIMENSIONS BE DIN FIELD. INE DIMENSIONS BE DIN FIELD. INE DIMENSIONS BE DIN FIELD. INE DIMENSIONS BE DIN FIELD. ING GUTTERS AND D BASE OF DOWNSPO VAGE PER CIVIL ENG SED INTERIOR STEEL ENT PAINT. TO BE REPOINTED A BRICKWORK. ALL EX ED AND BE LEFT VISII BACKGROUND BRIC CIVIL ENGINEERING TOR NOTES: S G2S 'X 9'7" CLAER DVERHEAD LANTERNS, BUTTON D BE COORDINATED TURER AND OWNER A MANUFACTURER	DCATED 8" FROM TH DRDINATE EXISTING ATION AND NEW CC EARANCES @ PUSI FOR OWNER FURN TE BLOCKING REQU AND DRAIN PIPING TIONS WHEN LOCA D ENCLOSED OR NO D. HOWN FOR REFERE HOWN FOR REFERE HOWN FOR REFERE OR DIMENSIONS/W EXSTG STAIRS/RAILI TWEEN COLUMN CO INERING. TO BE COATED WI AS NECESSARY. NSET FROM FACES (ISTING BRICK ARCH BLE, EVEN IF NOT S ISTING BRICK ARCH ISTING BRICK	IE NEAREST CONDITIONS INSTRUCTION FOR H/PULL/LATCHES. SHED AND IREMENTS WITH ARE TO BE TED IN FINISHED DT. FUR WALL OR INCE ONLY. QUIPMENT. ALL TYPES AT NGS TO REMAIN. ENTER LINES TO EMAIN. REPLACE R MISSING. ALL TH BLACK OF ADJACENT HES TO BE PECIFICALLY RATELY FOR SITE.
6.		WEEN ROOF AND HO	DIST BEAM	
		BID SET	PHASE II	
REVISIO No.		FOR COI 10.28.	2020	
		10.28.	2020	
		10.28.	2020	
		10.28.	2020	
		10.28.	2020	
			n	Date
		10.28.	2020	Date
		10.28. Descriptio	2020	Date
	DNS	10.28. Descriptio	2020	Date
	DNS	10.28. Descriptio	2020	Date
	SILK MILL F MARTHA A		2020 n ES ARCHIT ster, PA 17602 Phone	Date
No.	SILK MILL F MARTHA A STER, 01			Date
No.	Silk MILL F MARTHA A STER, 1 TITLE ELEVATOF			Date
No.	Silk MILL F MARTHA A STER, 1 TITLE ELEVATOF		ES ARCHIT Ster, PA 17602 Phone ATTLL, LI Ster ARCHIT SCALE AS NOTED DRAWN BY	Date Date Date





2 STAIR TOWER 6 - MILL 5 - ENLARGED PLAN - SECOND FLOOR A7.23 1/4" = 1'-0"

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

EXISTING WALL TO REMAIN

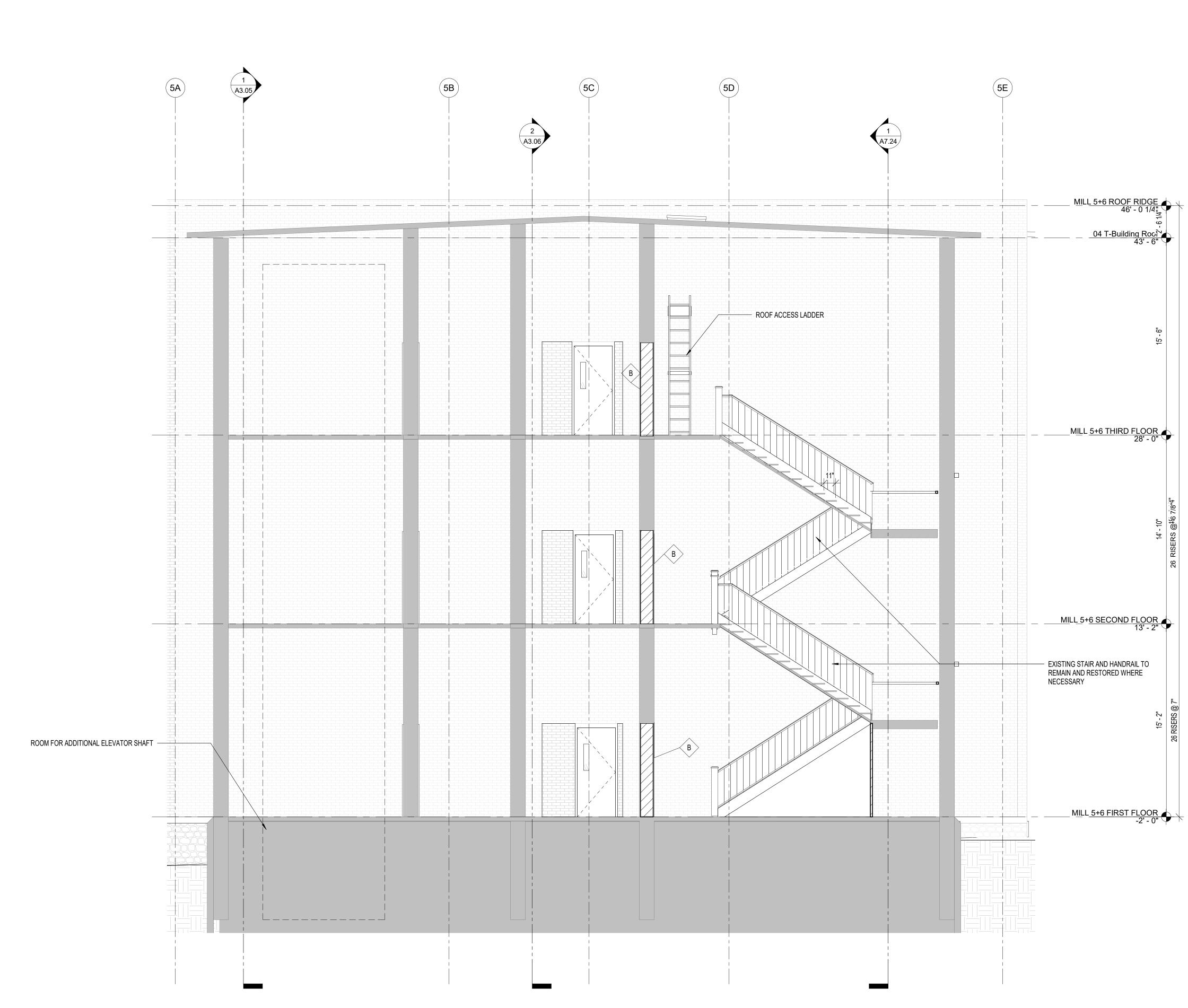
NEW FRAME WALL

<u>LEGEND</u>

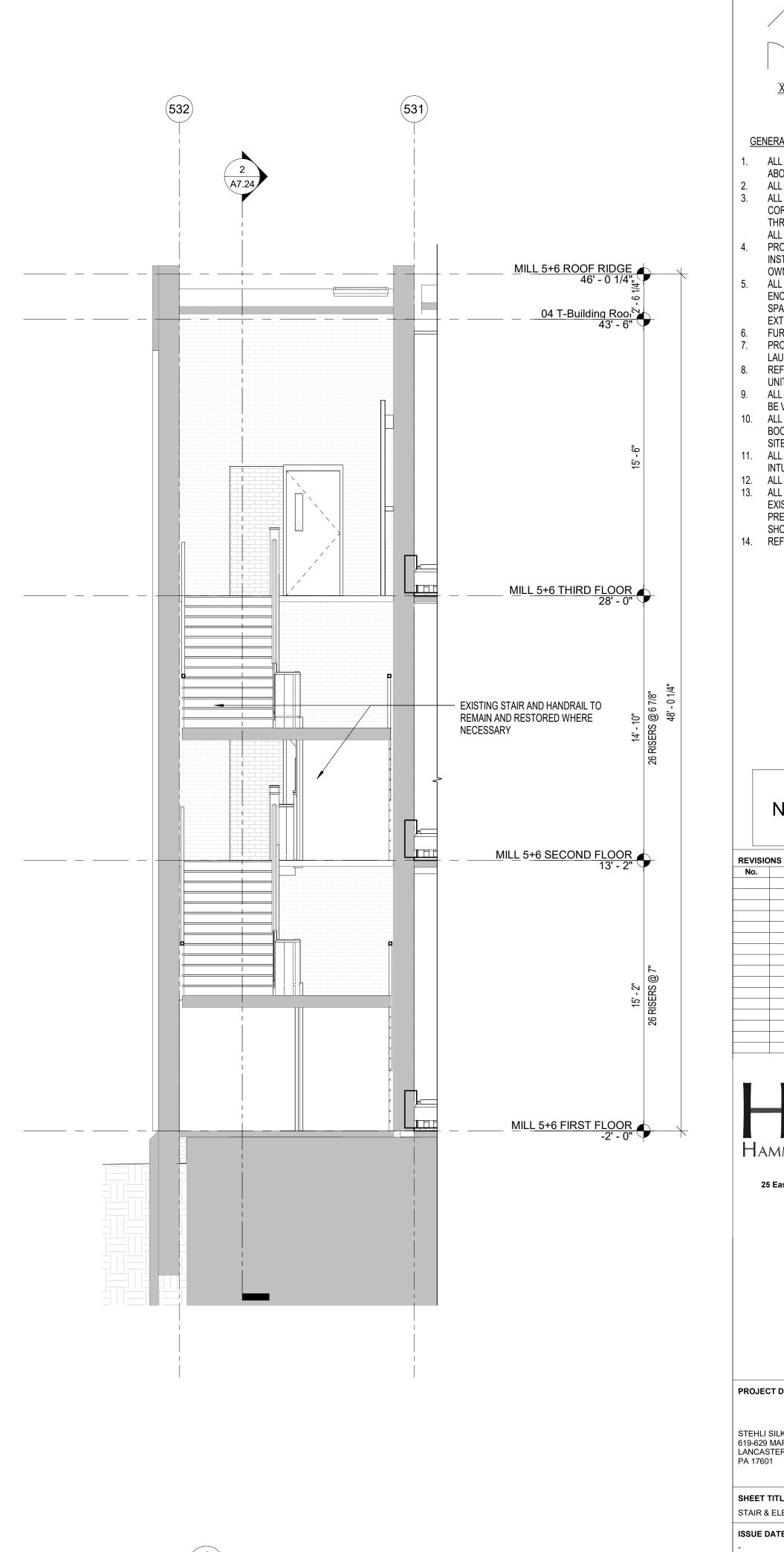
1 STAIR TOWER 6 - MILL 5 - ENLARGED PLAN - FIRST FLOOR A7.23 1/4" = 1'-0"

ABOVE U.N ALL DIMEN ALL DOOR CORNER C THROUGH ALL FINAL PROVIDE E INSTALLEE OWNER. ALL PLUME ENCLOSEI SPACE WH EXTEND FI FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, ST/ ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAII ALL EXPOS INTUMESC ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN	S EXTEND TO I N.O. ISIONS SHOWI OPENINGS TO DR WALL U.N.C DEMOLITION/ REQUIRED DO BLOCKING IN V DITEMS. COOI BING SUPPLY I OWITHIN GWB IETHER ILLUS RAMING AS RE E BY OWNER / ROUGH-INS TO EQUIPMENT B ENLARGED PI AIRS, ELEVATO LINE DIMENSIO ED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED INTERIOR ENT PAINT. TO BE REPOIL BRICK WORK T BRICK WORK T BRICKWORK.	MECHAN OR ELE TO RE TO RE UNDERS N ARE T D BE LOO DOR CLE VALLS F RDINATI PIPING A DOR CLE VALLS F RDINATI PIPING A DOR CLE VALLS F RDINATI PIPING A DOR CLE VALLS F RDINATI PIPING A DOR CLE VALLS F RDINATI TRATED CONS DOR CLE VISPOL DOR CLE NTED AS TO BE IN ALL ENSIB D BRICK	AICAL, CTRICAL CH MAIN AND F MAIN AND F MAIN AND F OFACE OF CATED 8" FF RDINATE EX TION AND N EARANCES ( OR OWNEF E BLOCKING AND DRAIN OR  WHEN ON FOR F UNIT LAUN STG STAIR WEEN COL OWN SPOUT STIS IF DAMA VEERING. TO BE COA STING BRIC LE, EVEN IF CHATCH.	STING STF STRUCTU ROM THE N ISTING CC IEW CONS @ PUSH/P FURNISH G REQUIRE PIPING AR I LOCATEI O OR NOT. SFERENC DRY EQUIR ONS/WALL S/RAILING UMN CENT STO REM/ AGED OR N TED WITH RY. FACES OF K ARCHES NOT SPEC	RUCTURE RE U.N.O. NEAREST ONDITIONS STRUCTION FOR ULL/LATCHES. ED AND EMENTS WITH E TO BE D IN FINISHED FUR WALL OR E ONLY. PMENT. TYPES AT S TO REMAIN. TER LINES TO AIN. REPLACE MISSING. ALL BLACK ADJACENT S TO BE
ERAL NOT ALL WALLS ABOVE U.P ALL DIMEN ALL DIMEN ALL DOOR CORNER O THROUGH ALL FINAL PROVIDE F INSTALLEE OWNER. ALL PLUME ENCLOSEI SPACE WH EXTEND F FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, ST/ ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAII ALL EXPOS INTUMESO ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN	EXIST DOOF NEW DOOR PANEL SIGN PANEL SIGN ES S EXTEND TO I NO. ISIONS SHOWI OPENINGS TO DR WALL U.N.C DEMOLITION/ REQUIRED DO DO WITHING IN V DITEMS. COOI BING SUPPLY I DOWITHIN GWB IETHER ILLUS RAMING AS RE E BY OWNER / COUGH-INS TO EQUIPMENT B ENLARGED PI AIRS, ELEVATO LINE DIMENSIO ED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED IN FIELD. ING GUTTERS BASE OF DOV	N ARE T D BE LOO D E LOO D E LOO D COOF ALTERA DOR CLE VALLS F RDINATI PIPING A DOR CLE VALLS F RDINATI PIPING A DOR CLE VALLS F OR CLE VALLS	MAIN AND F BIDE OF EXI O FACE OF CATED 8" FF RDINATE EX TION AND N EARANCES OR OWNEF E BLOCKING AND DRAIN OR OWNEF E BLOCKING AND DRAIN OR OWNEF E BLOCKING AND DRAIN OR OWNEF E BLOCKING E BLOCKING AND DRAIN OR OWNEF E BLOCKING E BLOCKING AND DRAIN OR OWNEF UNIT LAUN ER. OR DIMENSI (STG STAIR WEEN COL OWNSPOUT STIS IF DAM/ NEERING. TO BE COA STING BRIC E, EVEN IF C HATCH.	STING STF STRUCTU ROM THE N ISTING CC IEW CONS @ PUSH/P FURNISH G REQUIRE PIPING AR I LOCATEI O OR NOT. SFERENC DRY EQUIR ONS/WALL S/RAILING UMN CENT STO REM/ AGED OR N TED WITH RY. FACES OF K ARCHES NOT SPEC	RUCTURE RE U.N.O. NEAREST DNDITIONS STRUCTION FOR ULL/LATCHES. ED AND EMENTS WITH E TO BE D IN FINISHED FUR WALL OR E ONLY. PMENT. TYPES AT S TO REMAIN. TER LINES TO AIN. REPLACE MISSING. ALL BLACK ADJACENT 5 TO BE CIFICALLY
ERAL NOT ALL WALLS ABOVE U.P ALL DIMEN ALL DIMEN ALL DOOR CORNER O THROUGH ALL FINAL PROVIDE F INSTALLEE OWNER. ALL PLUME ENCLOSEI SPACE WH EXTEND F FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, ST/ ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAII ALL EXPOS INTUMESO ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN	PANEL SIGN ES S EXTEND TO I N.O. ISIONS SHOWI OPENINGS TO DR WALL U.N.O DEMOLITION/ REQUIRED DO BLOCKING IN V D ITEMS. COOL BING SUPPLY I O WITHIN GWB IETHER ILLUS RAMING AS RE E BY OWNER / ROUGH-INS TO EQUIPMENT B ENLARGED PI AIRS, ELEVATO INE DIMENSIO ED IN FIELD. ING GUTTERS BASE OF DOW NAGE PER CIV SED INTERIOR ENT PAINT. TO BE REPOIL BRICK WORK T BRICK WORK T BRICKWORK. ED AND BE LEFI BACKGROUN	UNDERS N ARE T D BE LOO D. COOF ALTERA DOR CLE VALLS F RDINAT PIPING A PARTIT TRATED EQUIRED AND SH DALL IN- Y OWNE LANS FC DRS. ED DNS BET AND DC VNSPOL IL ENGI STEEL TO BE IN ALL EXIS TO BE IN ALL EXIS TO BE IN ALL EXIS	O FACE OF CATED 8" FI RDINATE EX TION AND N ARANCES ( OR OWNEF E BLOCKING DR DDRAIN ONS WHEN ENCLOSED OWN FOR F UNIT LAUN ER. OR DIMENSI (STG STAIR WEEN COL WNSPOUTS ITS IF DAM/ NEERING. TO BE COA S NECESSA SET FROM STING BRIC LE, EVEN IF ( HATCH.	STRUCTU ROM THE N ISTING CC IEW CONS @ PUSH/P & FURNISH G REQUIRE N LOCATEI O OR NOT. REFERENC DRY EQUIR ONS/WALL S/RAILING UMN CENT & TO REM/ AGED OR N TED WITH RY. FACES OF K ARCHES NOT SPEC	RE U.N.O. NEAREST DNDITIONS STRUCTION FOR ULL/LATCHES. ED AND EMENTS WITH E TO BE D IN FINISHED FUR WALL OR E ONLY. PMENT. TYPES AT S TO REMAIN. TER LINES TO AIN. REPLACE MISSING. ALL BLACK ADJACENT 5 TO BE CIFICALLY
ERAL NOT ALL WALLS ABOVE U.P ALL DIMEN ALL DIMEN ALL DOOR CORNER O THROUGH ALL FINAL PROVIDE F INSTALLEE OWNER. ALL PLUME ENCLOSEI SPACE WH EXTEND F FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, ST/ ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAII ALL EXPOS INTUMESO ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN	ES S EXTEND TO I N.O. ISIONS SHOWI OPENINGS TO DEMOLITION/ REQUIRED DO BLOCKING IN V D ITEMS. COOL BING SUPPLY I O WITHIN GWB IETHER ILLUS RAMING AS RE E BY OWNER / ROUGH-INS TO EQUIPMENT B ENLARGED PI AIRS, ELEVATO LINE DIMENSIO ED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED INTERIOR ENT PAINT. TO BE REPOIL BRICK WORK T BRICK WORK T BRICK WORK T BRICKWORK.	UNDERS N ARE T D BE LOO D COOF ALTERA DOR CLE VALLS F RDINATI PIPING A PARTIT TRATED EQUIREL AND SH D ALL IN- Y OWNE LANS FC DRS. ED DNS BET AND DC VNSPOL IL ENGII STEEL NTED AS O BE IN ALL EXIS T VISIB D BRICK	O FACE OF CATED 8" FI RDINATE EX TION AND N ARANCES ( OR OWNEF E BLOCKING DR DDRAIN ONS WHEN ENCLOSED OWN FOR F UNIT LAUN ER. OR DIMENSI (STG STAIR WEEN COL WNSPOUTS ITS IF DAM/ NEERING. TO BE COA S NECESSA SET FROM STING BRIC LE, EVEN IF ( HATCH.	STRUCTU ROM THE N ISTING CC IEW CONS @ PUSH/P & FURNISH G REQUIRE N LOCATEI O OR NOT. REFERENC DRY EQUIR ONS/WALL S/RAILING UMN CENT & TO REM/ AGED OR N TED WITH RY. FACES OF K ARCHES NOT SPEC	RE U.N.O. NEAREST DNDITIONS STRUCTION FOR ULL/LATCHES. ED AND EMENTS WITH E TO BE D IN FINISHED FUR WALL OR E ONLY. PMENT. TYPES AT S TO REMAIN. TER LINES TO AIN. REPLACE MISSING. ALL BLACK ADJACENT 5 TO BE CIFICALLY
ALL WALLS ABOVE U.N ALL DIMEN ALL DOOR CORNER C THROUGH ALL FINAL PROVIDE E INSTALLEE OWNER. ALL PLUME ENCLOSEI SPACE WH EXTEND FI FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, ST/ ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAII ALL EXPOS INTUMESC ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN	S EXTEND TO I N.O. ISIONS SHOWI OPENINGS TO DR WALL U.N.C DEMOLITION/ REQUIRED DO BLOCKING IN V DITEMS. COOI BING SUPPLY I OWITHIN GWB IETHER ILLUS RAMING AS RE E BY OWNER / ROUGH-INS TO EQUIPMENT B ENLARGED PI AIRS, ELEVATO LINE DIMENSIO ED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED INTERIOR ENT PAINT. TO BE REPOIL BRICK WORK T BRICK WORK T BRICKWORK.	N ARE T D BE LOO D E LOO D. COOF ALTERA DOR CLE VALLS F RDINATI PIPING A PARTIT TRATED QUIREI AND SH D ALL IN- Y OWNE LANS FC DRS. ED DNS BET AND DC VNSPOL IL ENGI STEEL NTED AS TO BE IN ALL EXIS T VISIB D BRICK	O FACE OF CATED 8" FI RDINATE EX TION AND N ARANCES ( OR OWNEF E BLOCKING DR DDRAIN ONS WHEN ENCLOSED OWN FOR F UNIT LAUN ER. OR DIMENSI (STG STAIR WEEN COL WNSPOUTS ITS IF DAM/ NEERING. TO BE COA S NECESSA SET FROM STING BRIC LE, EVEN IF ( HATCH.	STRUCTU ROM THE N ISTING CC IEW CONS @ PUSH/P & FURNISH G REQUIRE N LOCATEI O OR NOT. REFERENC DRY EQUIR ONS/WALL S/RAILING UMN CENT & TO REM/ AGED OR N TED WITH RY. FACES OF K ARCHES NOT SPEC	RE U.N.O. NEAREST DNDITIONS STRUCTION FOR ULL/LATCHES. ED AND EMENTS WITH E TO BE D IN FINISHED FUR WALL OR E ONLY. PMENT. TYPES AT S TO REMAIN. TER LINES TO AIN. REPLACE MISSING. ALL BLACK ADJACENT 5 TO BE CIFICALLY
ABOVE U.N ALL DIMEN ALL DOOR CORNER C THROUGH ALL FINAL PROVIDE E INSTALLEE OWNER. ALL PLUME ENCLOSEI SPACE WH EXTEND FI FURNITUR PROVIDE F LAUNDRY REFER TO UNITS, ST/ ALL GRID I BE VERIFIE ALL EXISTI BOOTS AT SITE DRAII ALL EXPOS INTUMESC ALL BRICK ALL NEW E EXISTING I PRESERVE SHOWN IN	N.O. ISIONS SHOWI OPENINGS TO DR WALL U.N.C DEMOLITION/ REQUIRED DO BLOCKING IN V DITEMS. COOL BING SUPPLY I OWITHIN GWB IETHER ILLUS RAMING AS RE E BY OWNER / ROUGH-INS TO EQUIPMENT B ENLARGED PI AIRS, ELEVATO LINE DIMENSIO ED IN FIELD. ING GUTTERS BASE OF DOV VAGE PER CIV SED INTERIOR ENT PAINT. TO BE REPOIL BRICK WORK T BRICK WORK T BRICKWORK. ED AND BE LEFI I BACKGROUN	N ARE T D BE LOO D E LOO D. COOF ALTERA DOR CLE VALLS F RDINATI PIPING A PARTIT TRATED QUIREI AND SH D ALL IN- Y OWNE LANS FC DRS. ED DNS BET AND DC VNSPOL IL ENGI STEEL NTED AS TO BE IN ALL EXIS T VISIB D BRICK	O FACE OF CATED 8" FI RDINATE EX TION AND N ARANCES ( OR OWNEF E BLOCKING DR DDRAIN ONS WHEN ENCLOSED OWN FOR F UNIT LAUN ER. OR DIMENSI (STG STAIR WEEN COL WNSPOUTS ITS IF DAM/ NEERING. TO BE COA S NECESSA SET FROM STING BRIC LE, EVEN IF ( HATCH.	STRUCTU ROM THE N ISTING CC IEW CONS @ PUSH/P & FURNISH G REQUIRE N LOCATEI O OR NOT. REFERENC DRY EQUIR ONS/WALL S/RAILING UMN CENT & TO REM/ AGED OR N TED WITH RY. FACES OF K ARCHES NOT SPEC	RE U.N.O. NEAREST DNDITIONS STRUCTION FOR ULL/LATCHES. ED AND EMENTS WITH E TO BE D IN FINISHED FUR WALL OR E ONLY. PMENT. TYPES AT S TO REMAIN. TER LINES TO AIN. REPLACE MISSING. ALL BLACK ADJACENT 5 TO BE CIFICALLY
	De	scriptior	1		Date
5 East Grar	nt St, Suite 102,	Lancas	ter, PA 1760	2 Phone: 7	17 393-3713
-	-				
MARTHA A STER,		S AND AL	TERATIONS	5	
ELEVATO	R TOWER 7 - M	11LL 5 - E	NLARGED F SCALE AS NOTED	PLANS	
IMBER			DRAWN BY		CHECKED BY
	DNS	NOT FOR 10. 10. 10. 10. 10. 10. 10. 10. 10. 10.	NOT FOR CON 10.28.2 Description Description Description Example of the second of	NOT FOR CONSTR 10.28.2020	Description Descri





2 STAIR TOWER 6 - SECTION 2 A7.24 1/4" = 1'-0"



1 STAIR TOWER 6 - SECTION 1 A7.24 1/4" = 1'-0"

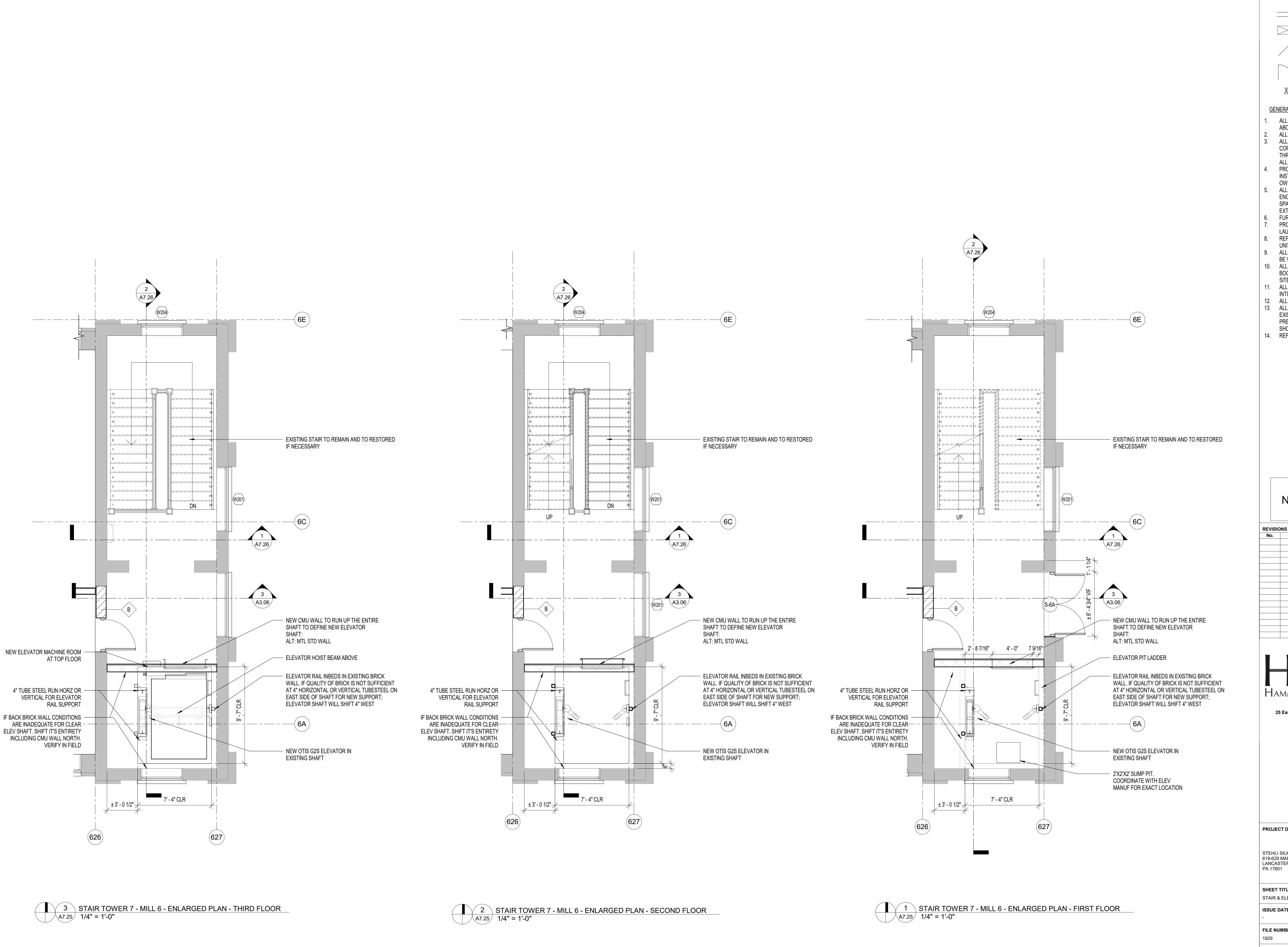
OR NOTIFICATION.

LEGEND

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND

EXISTING WALL TO REMAIN

1		NEW FRAME WALL				
	<u></u>	METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)				
		PARTIAL HT STUD WALL				
		INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE				
	$\frown$	EXIST DOOR TO REMAIN AND REFURBISHED				
		NEW DOOR				
	X	PANEL SIGN				
<u>GE</u> 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12.	ABOVE U.N ALL DIMEN ALL DOOR CORNER C THROUGH ALL FINAL PROVIDE E INSTALLED OWNER. ALL PLUME ENCLOSEE SPACE WH EXTEND FF FURNITUR PROVIDE F LAUNDRY I REFER TO UNITS, STA ALL GRID L BE VERIFIE ALL EXISTI BOOTS AT SITE DRAIM ALL EXPOS INTUMESC					
12.	ALL NEW B EXISTING E	BRICK WORK TO BE INSET FROM FACES OF ADJACENT BRICKWORK. ALL EXISTING BRICK ARCHES TO BE				
14.	PRESERVE SHOWN IN	ED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY BACKGROUND BRICK HATCH. CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.				
	NOT	BID SET PHASE II FOR CONSTRUCTION 10.28.2020				
REVIS No.	IONS	Description Date				
┢	/					
<b>  </b>   <b>  </b> /	AMMEL	Associates Architects, LLC				
		t St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713				
	C.					
	S	TEHLI MILL, LLC				
	S	TEHLI MILL, LLC				
	S	TEHLI MILL, LLC				
PROJE						
STEHL 619-62	ECT DESCRIF LI SILK MILL F 29 MARTHA A ASTER,	PTION RENOVATIONS AND ALTERATIONS				
STEHL 619-62 LANCA PA 176	ECT DESCRIF LI SILK MILL F 29 MARTHA A ASTER,	PTION RENOVATIONS AND ALTERATIONS				
STEHL 619-62 LANCA PA 176 SHEET STAIR	ECT DESCRIF 29 MARTHA A ASTER, 601 T TITLE	PTION RENOVATIONS AND ALTERATIONS				
STEHL 619-62 LANCA PA 176 SHEET STAIR ISSUE -	ECT DESCRIF 29 MARTHA A ASTER, 601 T TITLE & ELEVATOR	PTION RENOVATIONS AND ALTERATIONS VE R TOWER 7 - SECTIONS				
STEHL 619-62 LANCA PA 176 SHEET STAIR ISSUE -	ECT DESCRIF 29 MARTHA A ASTER, 601 T TITLE & ELEVATOF	PTION RENOVATIONS AND ALTERATIONS VE R TOWER 7 - SECTIONS SCALE AS NOTED				
STEHL 619-62 LANCA PA 176 SHEE1 STAIR ISSUE - FILE N	ECT DESCRIF 29 MARTHA A ASTER, 601 T TITLE & ELEVATOF	PTION RENOVATIONS AND ALTERATIONS VE R TOWER 7 - SECTIONS SCALE AS NOTED DRAWN BY CHECKED BY				



ALL DIMENSIONS, MEASUREMENTS AND PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

<u>LEGEND</u>	
	EXISTING WALL TO REMAIN
	NEW FRAME WALL
	METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)
	PARTIAL HT STUD WALL
	INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE
$\wedge$	EXIST DOOR TO REMAIN AND REFURBISHED
$\square$	NEW DOOR
<u>X</u>	PANEL SIGN
NERAL NOTE	<u>ES</u>

1. ALL WALLS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE ABOVE U.N.O.

ALL DIMENSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O. ALL DOOR OPENINGS TO BE LOCATED 8" FROM THE NEAREST CORNER OR WALL U.N.O. COORDINATE EXISTING CONDITIONS THROUGH DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR ALL FINAL REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. PROVIDE BLOCKING IN WALLS FOR OWNER FURNISHED AND INSTALLED ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH OWNER.

ALL PLUMBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ENCLOSED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED SPACE WHETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR EXTEND FRAMING AS REQUIRED. FURNITURE BY OWNER AND SHOWN FOR REFERENCE ONLY.

PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER.

REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD.

10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK

INTUMESCENT PAINT. 12. ALL BRICK TO BE REPOINTED AS NECESSARY.

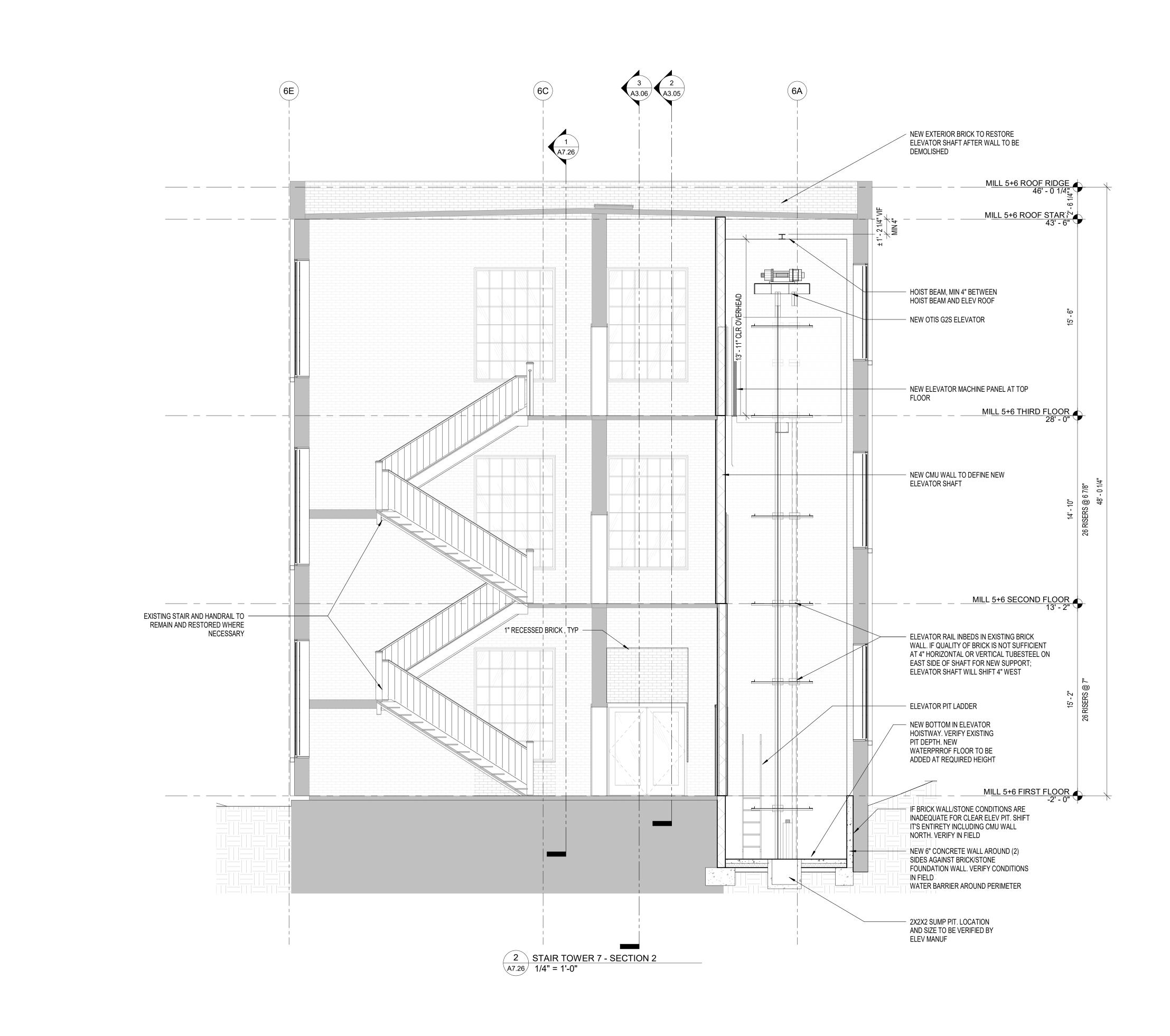
13. ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY

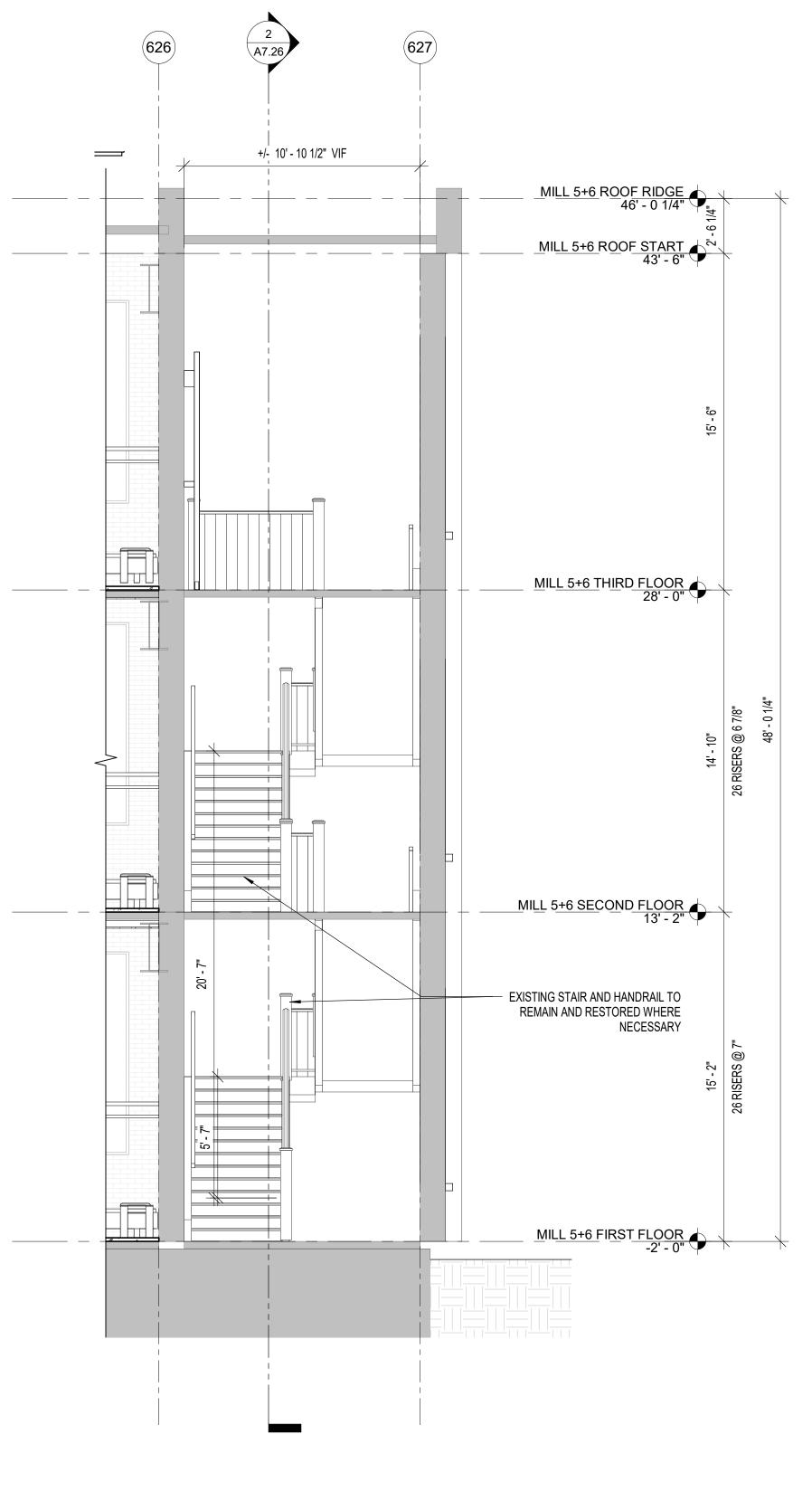
SHOWN IN BACKGROUND BRICK HATCH. 14. REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

## BID SET PHASE II NOT FOR CONSTRUCTION 10.28.2020

IS Descriptio	n	Date
AMEL ASSOCIATI	es Archit	ECTS, LLC
East Grant St, Suite 102, Lancas	ter, PA 17602 Phone	: 717 393-3713
STEHLI N	/ILL, Ll	C
DESCRIPTION		
ILK MILL RENOVATIONS AND AI MARTHA AVE	LTERATIONS	
ĒR,		
TLE		
ELEVATOR TOWER 6 - MILL 6 - E	ENLARGED PLANS	
TE	SCALE AS NOTED	
IBER	DRAWN BY	CHECKED BY
	КН	PB

A7.25





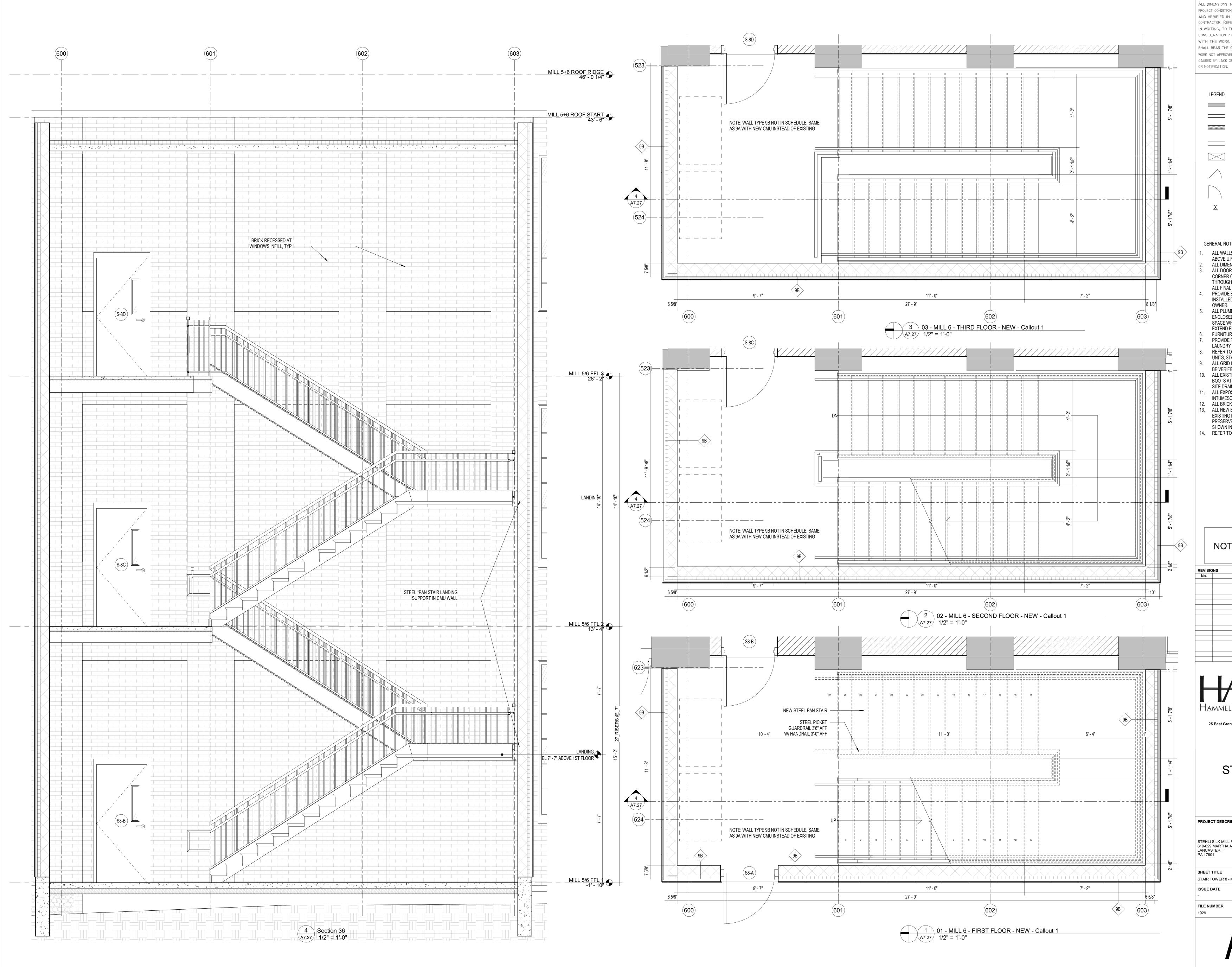
1 STAIR TOWER 7 - SECTION 1 A7.26 1/4" = 1'-0"

ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

EXISTING WALL TO REMAIN

LEGEND

=		NEW FRAME WALL	
		METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)	
-		PARTIAL HT STUD WALL	
		INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE	
		EXIST DOOR TO REMAIN AND REFURBISHED	
		NEW DOOR	
	X	PANEL SIGN	
1.         2.         3.         4.         5.         6.         7.         8.         9.         10.         11.         12.         13.         14.	ABOVE U. ALL DIMEI ALL DOOF CORNER THROUGH ALL FINAL PROVIDE INSTALLE OWNER. ALL PLUM ENCLOSE SPACE WI EXTEND F FURNITUF PROVIDE LAUNDRY REFER TO UNITS, ST ALL GRID BE VERIFI ALL EXIST BOOTS AT SITE DRAI ALL SIST BOOTS AT SITE DRAI ALL SIST SITE DRAI ALL SIST BOOTS AT SITE DRAI ALL SIST BOOTS AT SITE DRAI ALL SIST BOOTS AT SITE DRAI ALL SIST SITE DRAI SITE	S EXTEND TO UNDERSIDE OF EXISTING STRUCTURE	5. I IR
REVISIO		BID SET PHASE II FOR CONSTRUCTION 10.28.2020	
REVISIC No.		FOR CONSTRUCTION	
		FOR CONSTRUCTION 10.28.2020	
		FOR CONSTRUCTION 10.28.2020         Description       Date         Image: Construction of the second secon	
	DNS	FOR CONSTRUCTION 10.28.2020         Description       Date	
	DNS	FOR CONSTRUCTION 10.28.2020         Description       Date         Image: Construction of the second secon	
	DNS	FOR CONSTRUCTION 10.28.2020         Description       Date	
	DNS	FOR CONSTRUCTION 10.28.2020         Description	
	DNS	FOR CONSTRUCTION 10.28.2020         Description       Date         Image: Construction of the second secon	
No.	SILK MILL MARTHA A TTRR, 1	FOR CONSTRUCTION 10.28.2020         Description       Date         Image: Construction of the second secon	
No.	SILK MILL MARTHA A STER, 1	FOR CONSTRUCTION 10.28.2020         Description       Date	
No.	DNS DNS DNS DNS DNS DNS DNS DNS DNS DNS	FOR CONSTRUCTION 10.28.2020         Description       Date         PTION       RENOVATIONS AND ALTERATIONS IVE         R TOWER 6 - SECTIONS       SCALE	
No.	DNS DNS DNS DNS DNS DNS DNS DNS DNS DNS	TEHLI MILL, LLC	



All dimensions, measurements and STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND

	EXISTING WALL TO REMAIN	
	NEW FRAME WALL	
<u></u>	METAL STUD WALL w/ THERMAL OR SOUND BATT	
	INSULATION (AS INDICATED ON DRAWINGS)	
	PARTIAL HT STUD WALL	
$\times$	INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE	
$\land$		
١	EXIST DOOR TO REMAIN AND REFURBISHED	
$\sum$	NEW DOOR	
1		
X	PANEL SIGN	
ERAL NOT	<u>'ES</u>	
	S EXTEND TO UNDERSIDE OF EXISTING STRUCTURE	
ABOVE U. All Dimei	N.O. NSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O.	
	R OPENINGS TO BE LOCATED 8" FROM THE NEAREST OR WALL U.N.O. COORDINATE EXISTING CONDITIONS	
[HROUGH	I DEMOLITION/ALTERATION AND NEW CONSTRUCTION FOR	
PROVIDE	. REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES. BLOCKING IN WALLS FOR OWNER FURNISHED AND	
NSTALLE OWNER.	D ITEMS. COORDINATE BLOCKING REQUIREMENTS WITH	
•	IBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE D WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED	
SPACE W	HETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OR	
URNITU	RAMING AS REQUIRED. RE BY OWNER AND SHOWN FOR REFERENCE ONLY.	
AUNDRY	ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. EQUIPMENT BY OWNER.	
REFER TO	D ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT AIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN.	
ALL GRID	LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO ED IN FIELD.	
ALL EXIST	ING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE	
SITE DRA	FBASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL INAGE PER CIVIL ENGINEERING.	
	SED INTERIOR STEEL TO BE COATED WITH BLACK CENT PAINT.	
ALL BRICH	( TO BE REPOINTED AS NECESSARY. BRICK WORK TO BE INSET FROM FACES OF ADJACENT	
EXISTING	BRICKWORK. ALL EXISTING BRICK ARCHES TO BE	
	ED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY N BACKGROUND BRICK HATCH.	
REFER TO	) CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.	
	BID SET PHASE II	
NOT	BID SET PHASE II FOR CONSTRUCTION	
ΝΟΊ		
	FOR CONSTRUCTION	
	FOR CONSTRUCTION	
	FOR CONSTRUCTION 10.28.2020	
	FOR CONSTRUCTION 10.28.2020	
NS	FOR CONSTRUCTION 10.28.2020	
	FOR CONSTRUCTION 10.28.2020	
	FOR CONSTRUCTION 10.28.2020         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Hermitian       Hermitia	
	FOR CONSTRUCTION 10.28.2020         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Hermitian       Hermitia	
	FOR CONSTRUCTION 10.28.2020         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Hermitian       Hermitia	
NS	Description       Date         Description       Date <td></td>	
NS	FOR CONSTRUCTION 10.28.2020         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Description       Date         Hermitian       Hermitian         Hermitian       Hermitia	
NS	Description       Date         Description       Date <td></td>	
NS	Description       Date         Description       Date <td></td>	
	Description       Date         Description       Date <td></td>	
NS MMEL East Grai	FOR CONSTRUCTION 10.28.2020         Description       Date	
NS MMEL East Grai	FOR CONSTRUCTION 10.28.2020         Description       Date	
NS MMEL East Gran	FOR CONSTRUCTION 10.28.2020         Description       Date	
NS MARTHA	FOR CONSTRUCTION 10.28.2020         Description       Date         PTION       RENOVATIONS AND ALTERATIONS	
NS MARTHA	FOR CONSTRUCTION 10.28.2020         Description       Date         PTION       RENOVATIONS AND ALTERATIONS	
NS NS NS East Gran	FOR CONSTRUCTION 10.28.2020         Description       Date         PTION       RENOVATIONS AND ALTERATIONS	
	FOR CONSTRUCTION 10.28.2020         Description       Date         PTION       RENOVATIONS AND ALTERATIONS	

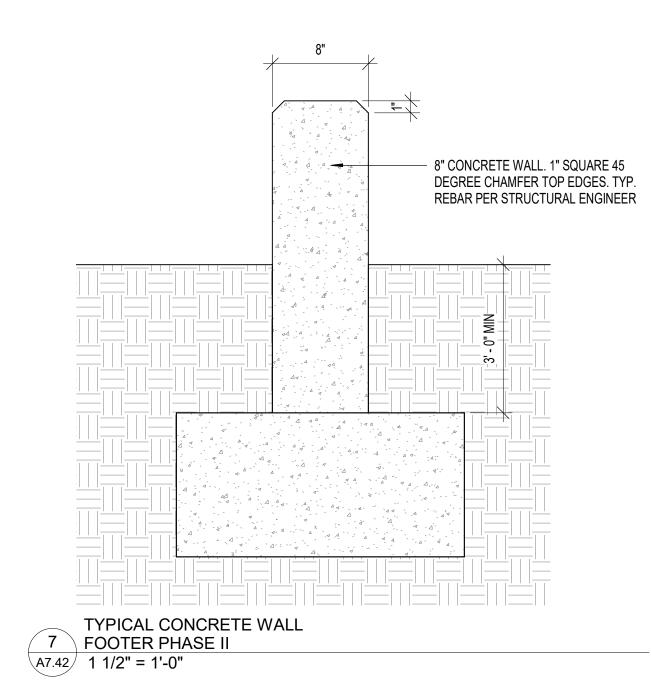
Author

AS NOTED

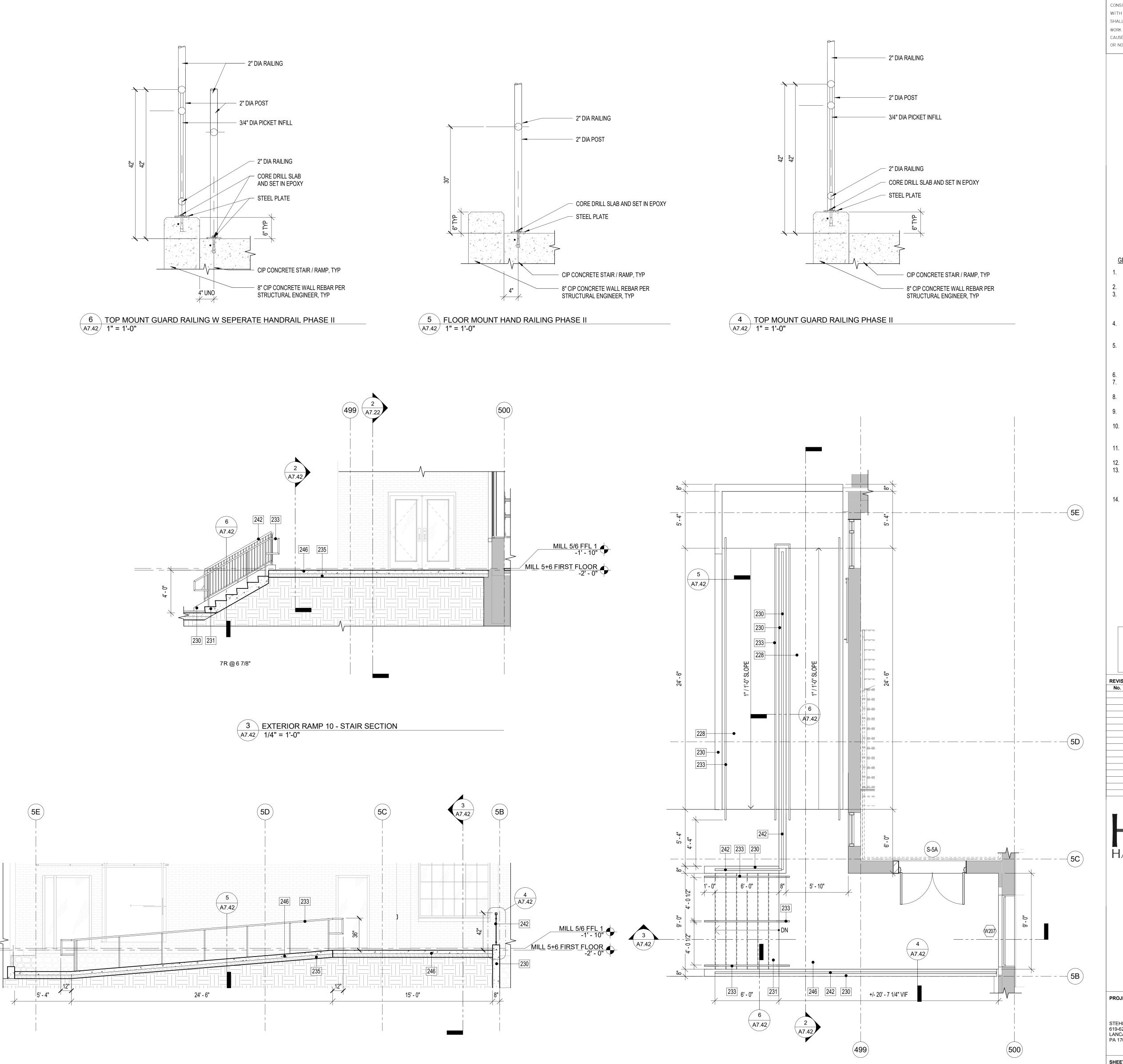
DRAWN BY

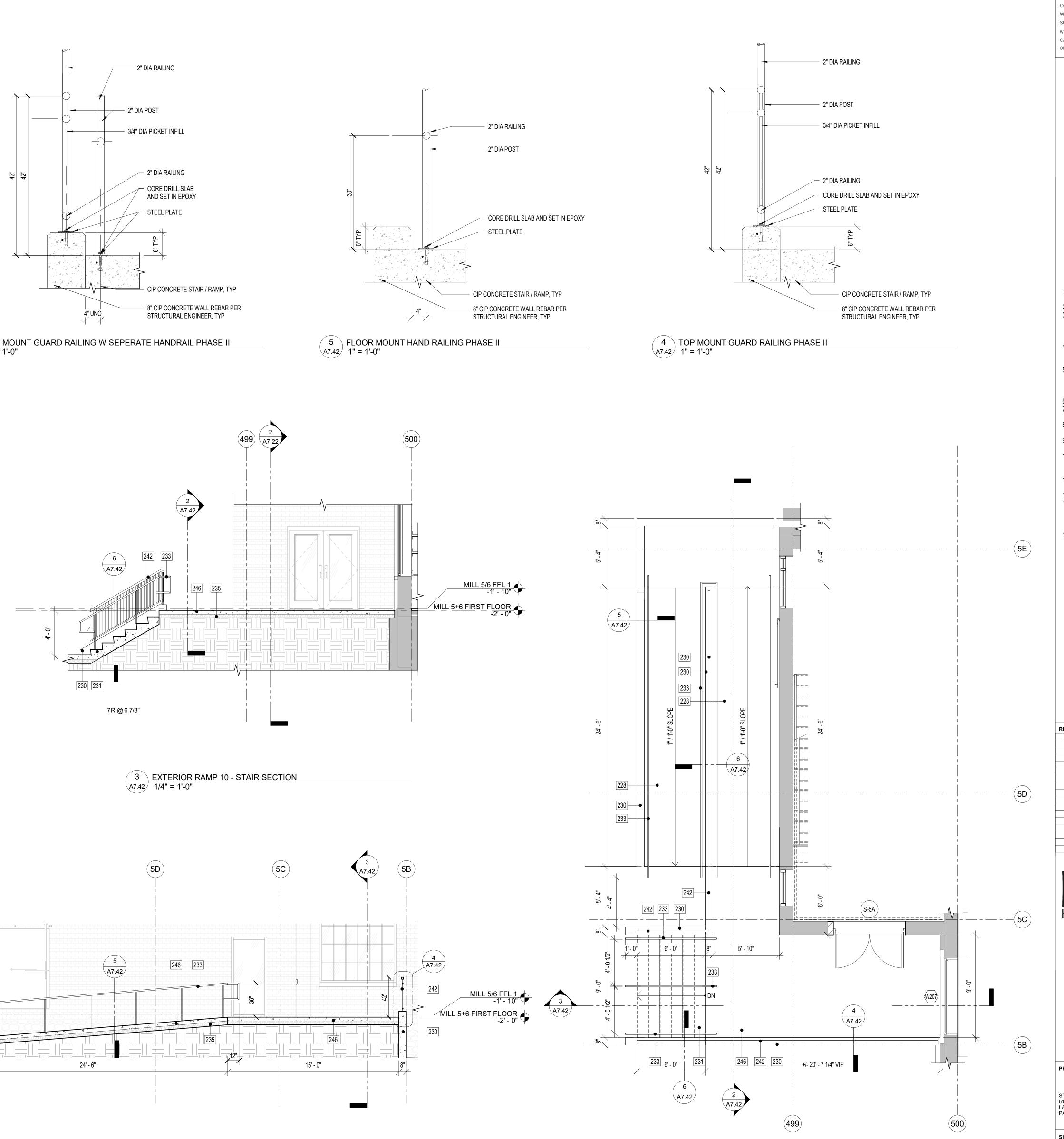
CHECKED BY

Checker

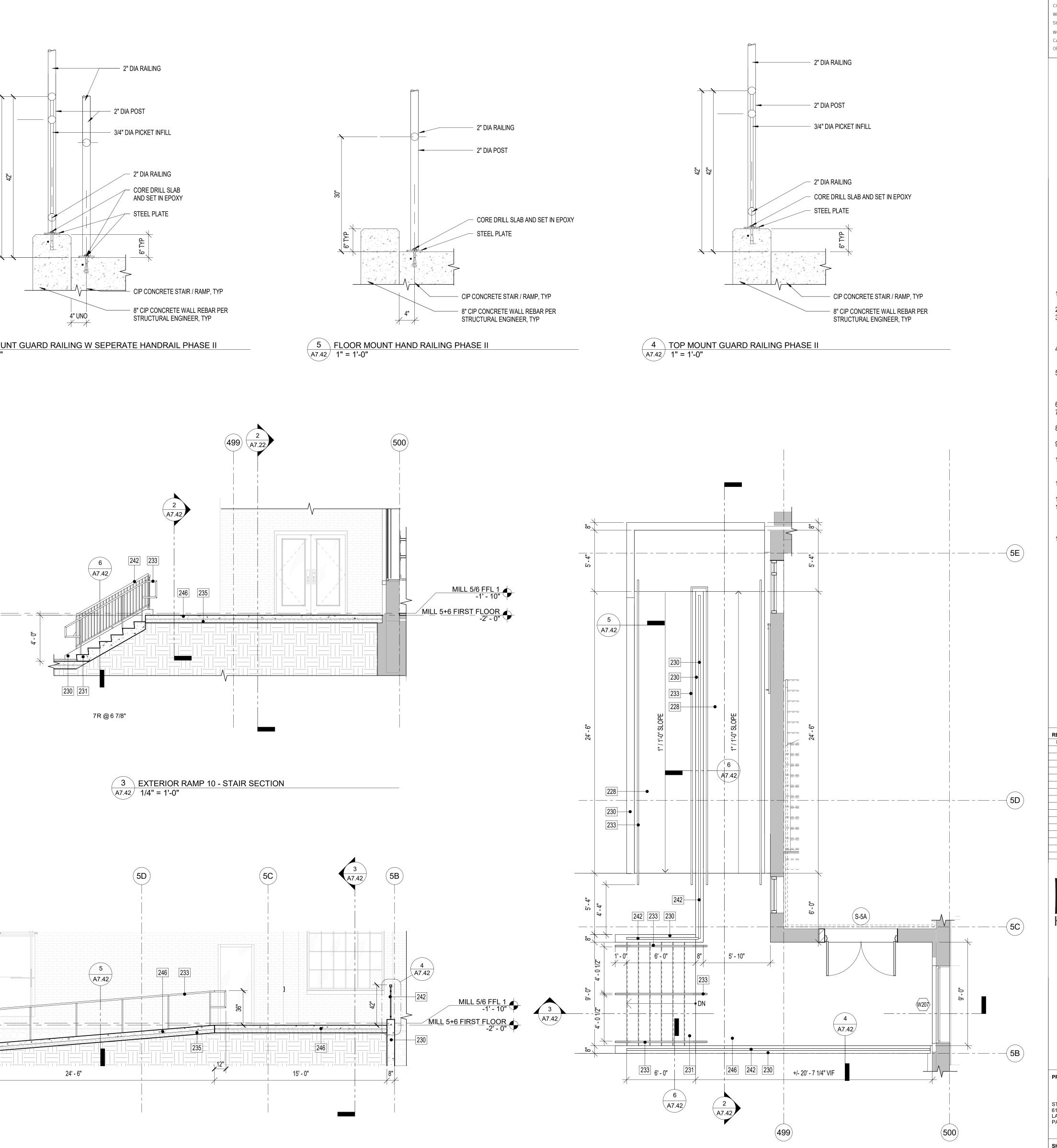


KEYNOTE LEGEND					
Key Value	Keynote Text				
	1				
228	NEW CIP CONCRETE RAMP, BY CONTRACTOR. SLOPE MAX 1:12, REFER TO DETAILS. VERIFY COORDINATION WITH CIVIL DOCUMENTS IN FIELD PRIOR TO CONSTRUCTION.				
230	8" CONCRETE WALL, BY CONTRACTOR. 1" SQUARE 45 DEGREE CHAMFER TOP EDGES. TYP. REBAR PER STRUCTURAL ENGINEER, REFER TO DETAILS.				
231	NEW CIP CONCRETE STAIR, BY CONTRACTOR. EXTEND STAIR AND THREADS TO MATCH ADJACENT SIDEWALK, REFER TO DETAILS.				
233	NEW STEEL HANDRAIL, BY CONTRACTOR. GALVANIZED, PAINT FOREST GREEN. CENTER POST 4" OFFSET FROM EDGE CONCRETE MIN, TYP.				
235	4" AGGREGATE GRAVEL BED, TYP., BY CONTRACTOR.				
242	NEW STEEL PICKET GUARDRAIL, BY CONTRACTOR. GALVANIZED, PAINT FOREST GREEN. CENTER POST 4" OFFSET FROM EDGE CONCRETE MIN, TYP.				
246	NEW 4" CIP CONCRETE SLAB, BY CONTRACTOR. REFER TO STRUCTURAL DETAILS.				









2 EXTERIOR RAMP 10 - SECTION 2 A7.42 1/4" = 1'-0"



ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

	LEGEND	
		EXISTING WALL TO REMAIN
		NEW FRAME WALL
	******	METAL STUD WALL w/ THERMAL OR SOUND BATT INSULATION (AS INDICATED ON DRAWINGS)
		PARTIAL HT STUD WALL
		INDICATES MECHANICAL, PLUMBING, OR ELECTRICAL CHASE
	$\bigwedge$	EXIST DOOR TO REMAIN AND REFURBISHED
		NEW DOOR
	X	PANEL SIGN
_		
_	SENERAL NO	
1.	ALL WALL ABOVE U	LS EXTEND TO UNDERSIDE OF EXISTING STRUCTURE
2.	ALL DIME	NSIONS SHOWN ARE TO FACE OF STRUCTURE U.N.O.
3.		R OPENINGS TO BE LOCATED 8" FROM THE NEAREST OR WALL U.N.O. COORDINATE EXISTING CONDITIONS
		H DEMOLITION/ALTERATION AND NEW CONSTRUCTION FO
,		REQUIRED DOOR CLEARANCES @ PUSH/PULL/LATCHES.
4.		BLOCKING IN WALLS FOR OWNER FURNISHED AND DITEMS. COORDINATE BLOCKING REQUIREMENTS WITH
_	OWNER.	
5.		IBING SUPPLY PIPING AND DRAIN PIPING ARE TO BE ED WITHIN GWB PARTITIONS WHEN LOCATED IN FINISHED
		HETHER ILLUSTRATED ENCLOSED OR NOT. FUR WALL OF
0		FRAMING AS REQUIRED.
6.	FURNITU	RE BY OWNER AND SHOWN FOR REFERENCE ONLY.

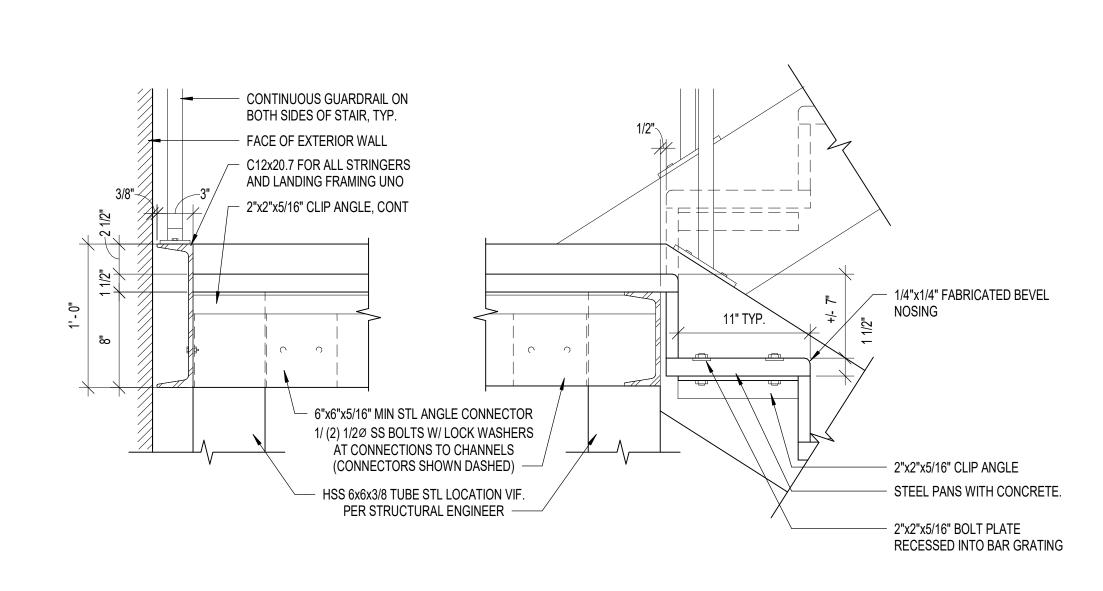
PROVIDE ROUGH-INS TO ALL IN-UNIT LAUNDRY EQUIPMENT. LAUNDRY EQUIPMENT BY OWNER. REFER TO ENLARGED PLANS FOR DIMENSIONS/WALL TYPES AT

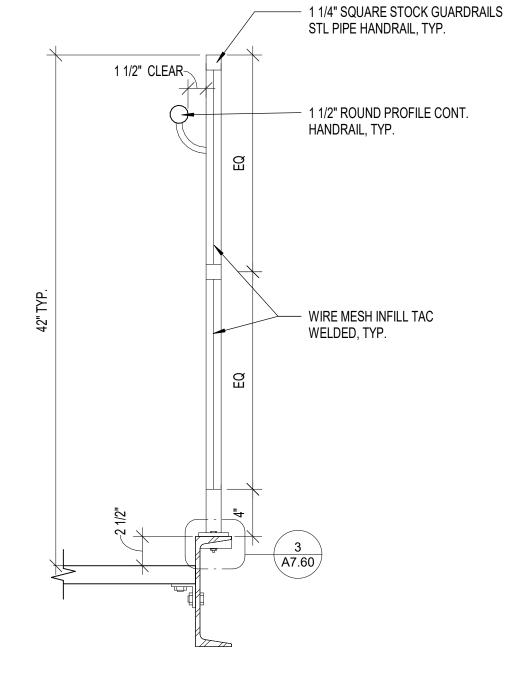
UNITS, STAIRS, ELEVATORS. EXSTG STAIRS/RAILINGS TO REMAIN. 9. ALL GRID LINE DIMENSIONS BETWEEN COLUMN CENTER LINES TO BE VERIFIED IN FIELD. 10. ALL EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN. REPLACE

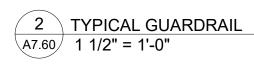
BOOTS AT BASE OF DOWNSPOUTS IF DAMAGED OR MISSING. ALL SITE DRAINAGE PER CIVIL ENGINEERING. 11. ALL EXPOSED INTERIOR STEEL TO BE COATED WITH BLACK INTUMESCENT PAINT.

12. ALL BRICK TO BE REPOINTED AS NECESSARY. ALL DRICK TO BE REPORTED AS RECESSART.
 ALL NEW BRICK WORK TO BE INSET FROM FACES OF ADJACENT EXISTING BRICKWORK. ALL EXISTING BRICK ARCHES TO BE PRESERVED AND BE LEFT VISIBLE, EVEN IF NOT SPECIFICALLY SHOWN IN BACKGROUND BRICK HATCH.
 REFER TO CIVIL ENGINEERING DOCUMENTS SEPARATELY FOR SITE.

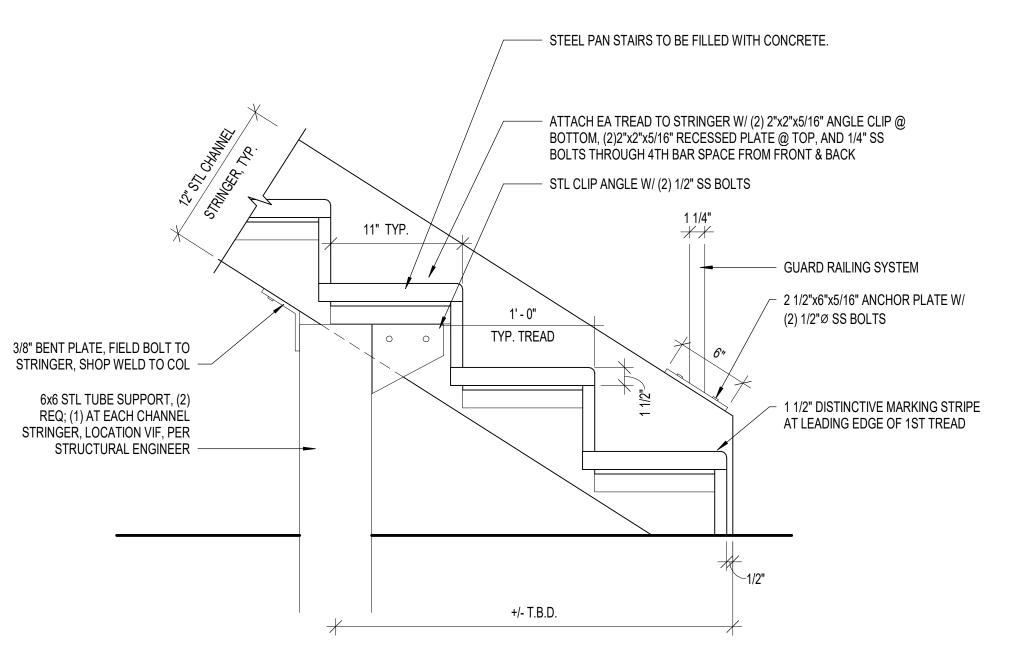




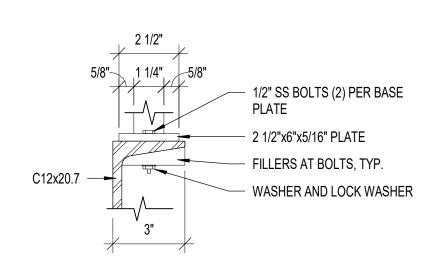






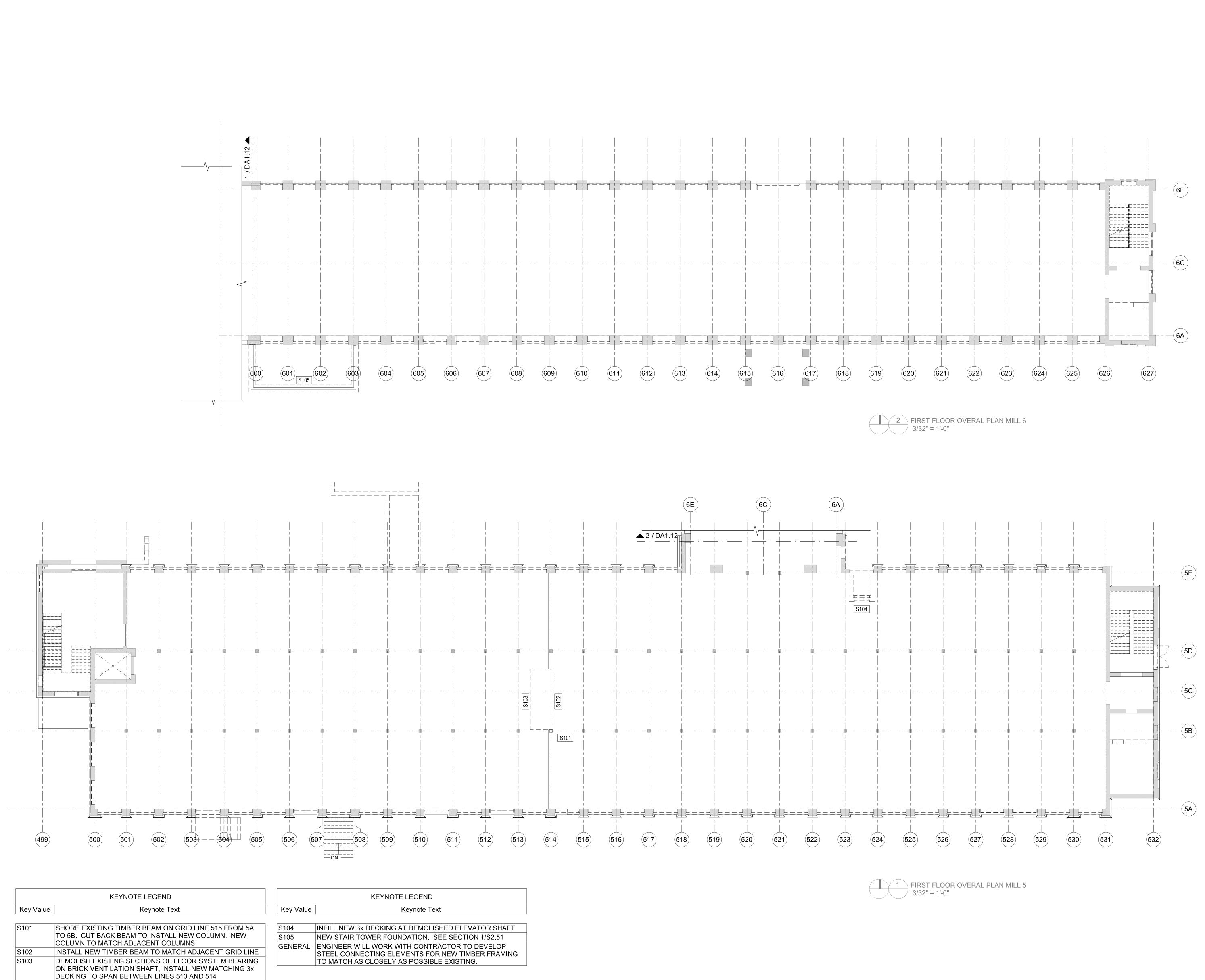


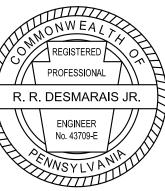
3 TYPICAL GUARDRAIL CONNECTION A7.60 3" = 1'-0"





ALL DIMENSIONS, MEASUREMENTS AND STAMP PROJECT CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR. REFER ALL DIFFERENCES, IN WRITING, TO THE ARCHITECT FOR CONSIDERATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BEAR THE COST OF RECTIFYING WORK NOT APPROVED BY THE ARCHITECT, CAUSED BY LACK OF COORDINATION AND OR NOTIFICATION.

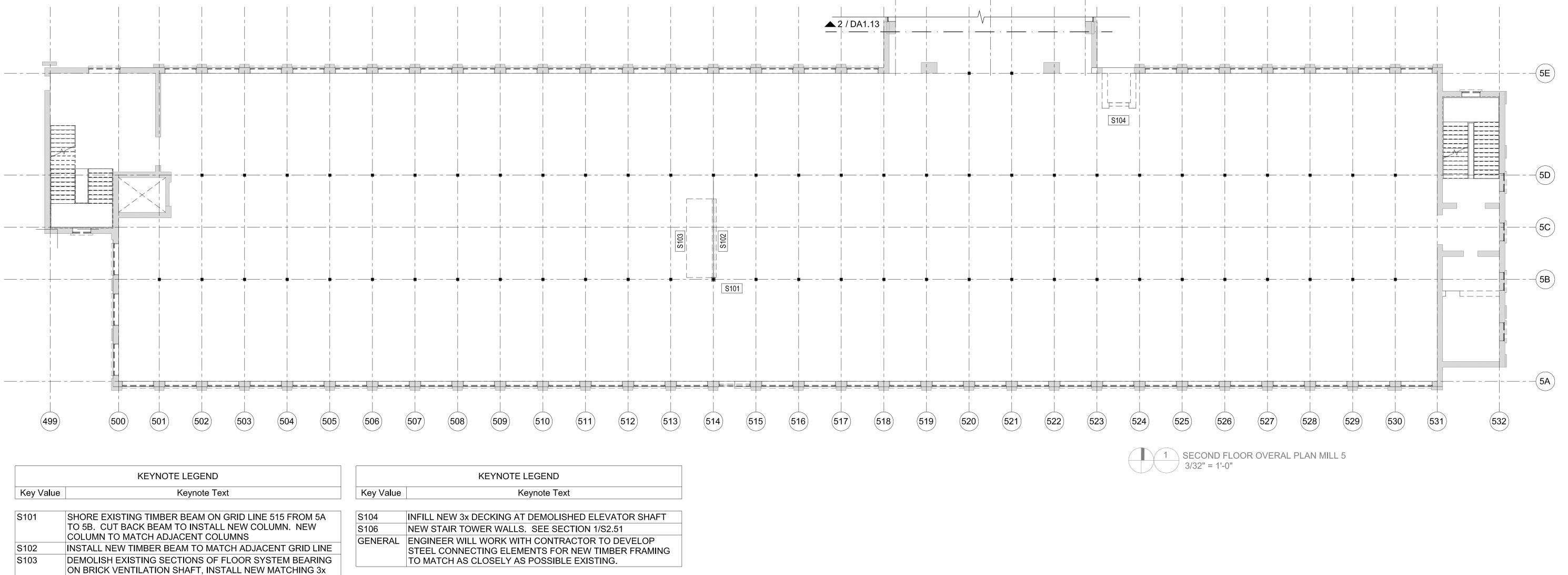


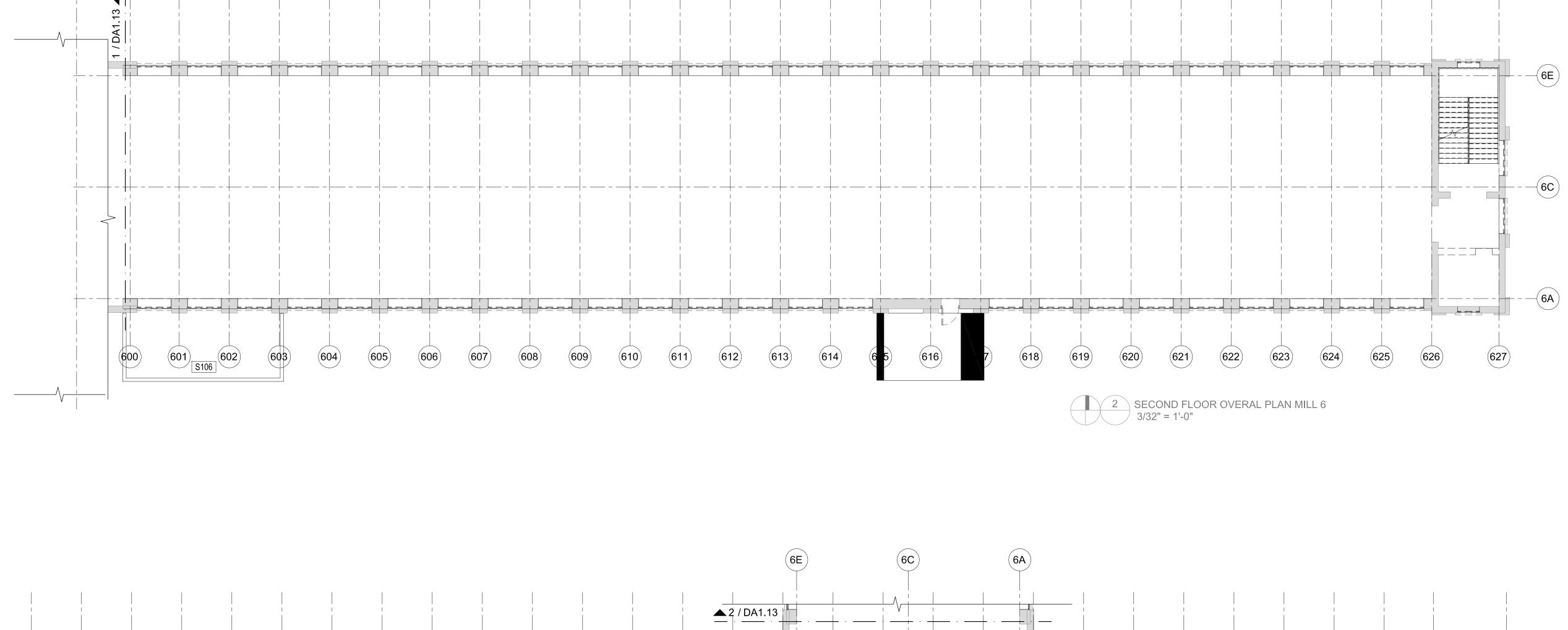




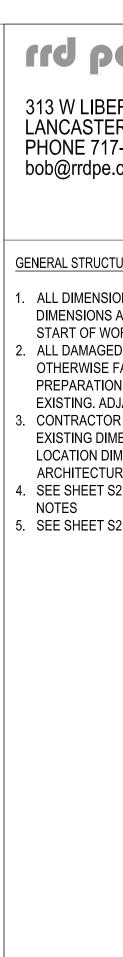
NOT REVISIONS
No. Hammel 25 East Grant S PROJECT DESCRIPT STEHLI SILK MILL F 619-629 MARTHA AV LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTE ISSUE DATE 10-05-2020 FILE NUMBER 03494

uq be cou	ρ
313 W LIBERTY ST, SU	ITE 101
LANCASTER, PA 17603 PHONE 717-617-2725	-2766
bob@rrdpe.com	
GENERAL STRUCTURAL ALTERATION	NINOTER
1. ALL DIMENSIONS ARE APPRO	
DIMENSIONS AND CONDITION	
START OF WORK. 2. ALL DAMAGED, CRACKED, DE	
OTHERWISE FAILING MASONF PREPARATION FOR REPLACE	
EXISTING. ADJACENT MASON 3. CONTRACTOR SHALL COORD	INATE FIELD-VERIFIED
EXISTING DIMENSIONS WITH T LOCATION DIMENSIONS INDIC	ATED ON THE
ARCHITECTURAL DRAWINGS. 4. SEE SHEET S2.50 FOR GENER	
NOTES 5. SEE SHEET S2.51 FOR TYPICA	AL MASONRY DETAILS
	PHASE 2
	NSTRUCTION 3.2020
10.20	
REVISIONS	ion Data
No. Descript	ion Date
HAMMEL ASSOCIAT	res Architects, llc
	ster, PA 17602 Phone: 717 393-3713
20 Last Grant Gt, Guite 102, Lancas	
STEHLI	MILL, LLC
	,
PROJECT DESCRIPTION	
	LTERATIONS
	I
619-629 MARTHA AVE LANCASTER,	
STEHLI SILK MILL RENOVATIONS AND A 619-629 MARTHA AVE LANCASTER, PA 17601	
619-629 MARTHA AVE LANCASTER,	LOOR MILLS 5 AND 6
619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE	LOOR MILLS 5 AND 6 SCALE AS NOTED
619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 1st F SSUE DATE 10-05-2020	SCALE
619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 1st F	SCALE AS NOTED
S19-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 1st F SSUE DATE 10-05-2020 FILE NUMBER	SCALE       AS NOTED       DRAWN BY     CHECKED BY
619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 1st F ISSUE DATE 10-05-2020 FILE NUMBER	SCALE       AS NOTED       DRAWN BY     CHECKED BY





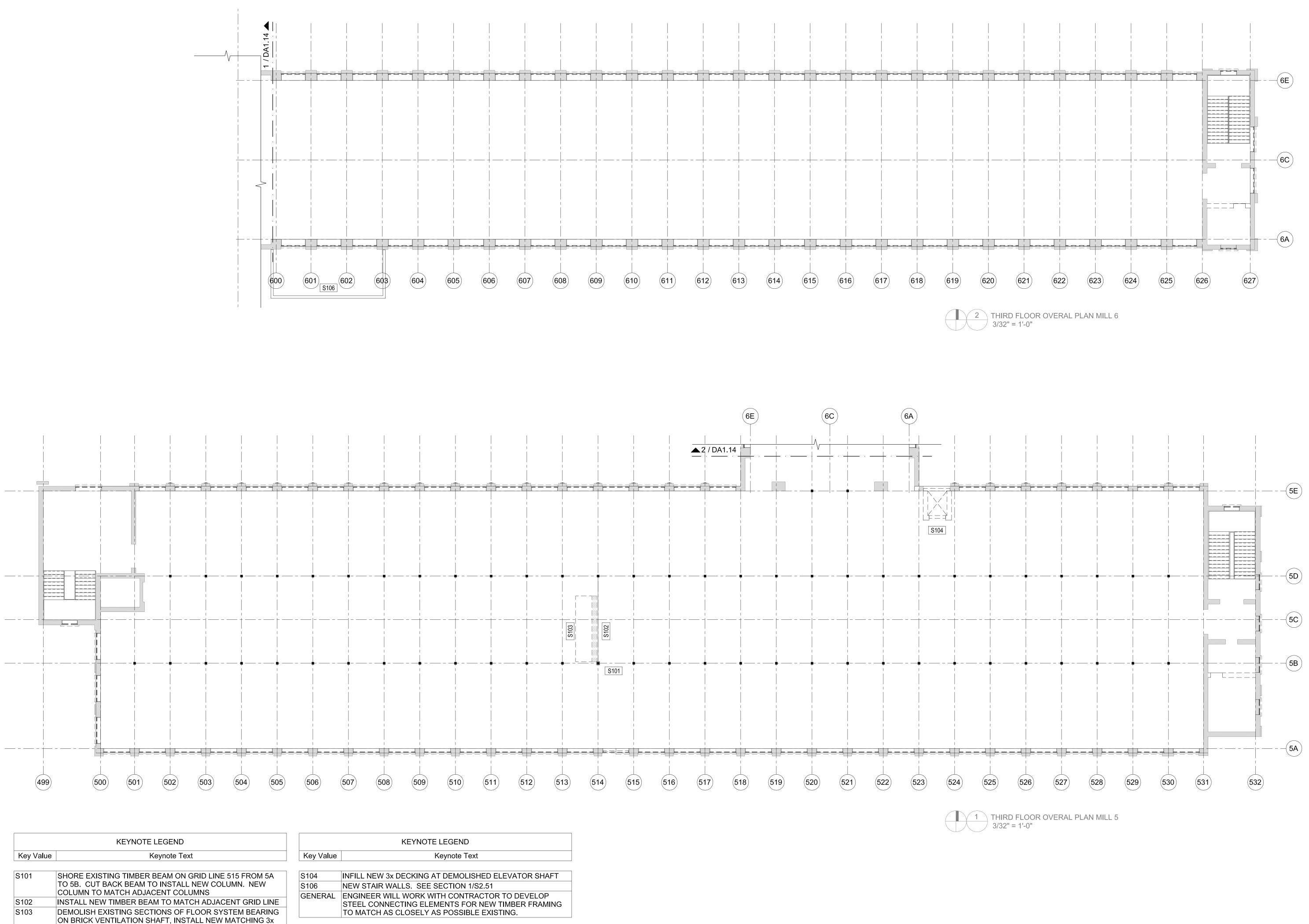
DECKING TO SPAN BETWEEN LINES 513 AND 514







313 W LIBERTY S LANCASTER, PA PHONE 717-617-2 bob@rrdpe.com	ST, SUITE 101 17603-2766	
<ul> <li>DIMENSIONS AND CO START OF WORK.</li> <li>2. ALL DAMAGED, CRAC OTHERWISE FAILING PREPARATION FOR R EXISTING. ADJACENT</li> <li>3. CONTRACTOR SHALL EXISTING DIMENSION LOCATION DIMENSION ARCHITECTURAL DRA</li> <li>4. SEE SHEET S2.50 FOF NOTES</li> </ul>	E APPROXIMATE. VERIFY INDITIONS IN FIELD PRIOR T MASONRY TO BE REMOVED REPLACEMENT TO MATCH MASONRY THAT REMAINS. COORDINATE FIELD-VERIF IS WITH THE CRITICAL NS INDICATED ON THE	E OR ) IN IED
NOT FOF	SET PHASE 2 R CONSTRUC <sup>*</sup> 10.28.2020	
REVISIONS No.	Description	Date
	Α	
	OCIATES ARCHIT	
STEF	ILI MILL, LI	LC
PROJECT DESCRIPTION		
STEHLI SILK MILL RENOVATIO 619-629 MARTHA AVE _ANCASTER, PA 17601	ONS AND ALTERATIONS	
SHEET TITLE STRUCTURAL ALTERATIONS F SSUE DATE 10-05-2020 FILE NUMBER 03494	PLAN 2nd FLOOR MILLS 5 AND 6 SCALE AS NOTED DRAWN BY RRD	CHECKED BY RRD
<b>S1</b>	52	



DECKING TO SPAN BETWEEN LINES 513 AND 514



NWEA

PROFESSIONAL

R. R. DESMARAIS JR.

ENGINEER

No. 43709-E

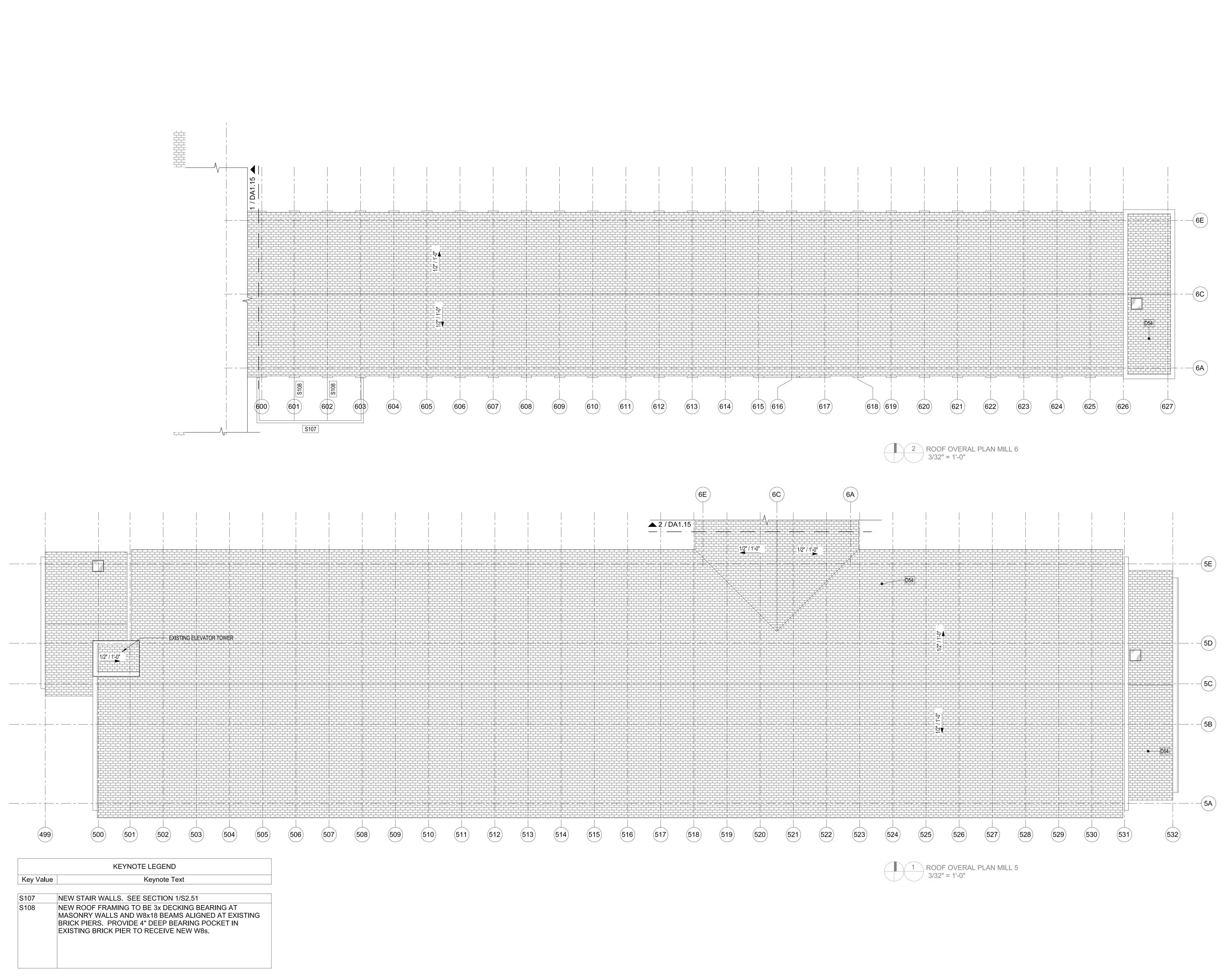
\_\_\_\_\_

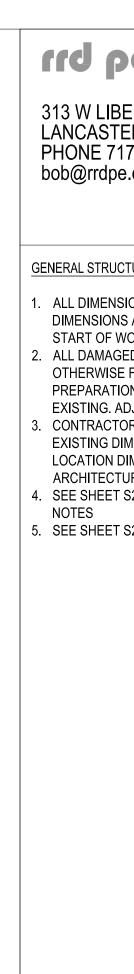
25 East Grant S PROJECT DESCRIPT STEHLI SILK MILL F 619-629 MARTHA AV LANCASTER, PA 17601 SHEET TITLE ISSUE DATE  $-I \gamma$ 

NOT REVISIONS
No. \_\_\_\_\_ HAMMEL

NOTES 5. SEE SHEET S

See Sheet S201 FOR TYPICAL MATCH LONGE         See Sheet S201 FOR TYPICAL MARCH LONGE IN THE LONGE INTER LONGE IN THE LONGE INTER L	<b>and pe corp</b> 313 W LIBERTY ST, SUITE 101 LANCASTER, PA 17603-2766 PHONE 717-617-2725 bob@rrdpe.com
S. SEE SHEET S2.51 FOR TYPICAL MASONRY DETAILS	<ol> <li>ALL DIMENSIONS ARE APPROXIMATE. VERIFY DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO START OF WORK.</li> <li>ALL DAMAGED, CRACKED, DELAMINATED, LOOSE OR OTHERWISE FAILING MASONRY TO BE REMOVED IN PREPARATION FOR REPLACEMENT TO MATCH EXISTING. ADJACENT MASONRY THAT REMAINS.</li> <li>CONTRACTOR SHALL COORDINATE FIELD-VERIFIED EXISTING DIMENSIONS WITH THE CRITICAL LOCATION DIMENSIONS INDICATED ON THE ARCHITECTURAL DRAWINGS.</li> <li>SEE SHEET \$2.50 FOR GENERAL STRUCTURAL</li> </ol>
NOT FOR CONSTRUCTION 10.28.2020         REVISION         Not posciption         Date	
NOT FOR CONSTRUCTION         REVISIONS         No.       Description         Description       Description         No.       Description         STEFILI SILK MILL RENOVATIONS AND ALTERATIONS         State Title         STUDICTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6         ISSUE DATE	
NOT FOR CONSTRUCTION 10.28.2020         REVISIONS         No.       Description         No.       Description         No.       Description         No.       Description         No.       Description         Description       Detection         No.       Description       Detection         No.       Description       Detection         No.       Description       Detection         No.       Description       Detection         STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 659-29 MARTINA AVE LANCASTER, PA 17601       State         Steet TITLE STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6       State	
NOT FOR CONSTRUCTION 10.28.2020         REVISIONS         No.       Description         No.       Description         No.       Description         No.       Description         No.       Description         Description       Detection         No.       Description       Detection         No.       Description       Detection         No.       Description       Detection         No.       Description       Detection         STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 659-29 MARTINA AVE LANCASTER, PA 17601       State         Steet TITLE STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6       State	
NOT FOR CONSTRUCTION         REVISIONS         Ne       Description         Date	
NOT FOR CONSTRUCTION         REVISIONS	
NOT FOR CONSTRUCTION         REVISIONS         Ne       Description         Date	
No.     Description     Date       Image: I	NOT FOR CONSTRUCTION
25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6 ISSUE DATE	
25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEEHLI MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6 ISSUE DATE	
25 East Grant St, Suite 102, Lancaster, PA 17602 Phone: 717 393-3713 STEEHLI MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6 ISSUE DATE	
PROJECT DESCRIPTION         STEHLI SILK MILL RENOVATIONS AND ALTERATIONS         619-629 MARTHA AVE         LANCASTER,         PA 17601         SHEET TITLE         STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6         ISSUE DATE	
PROJECT DESCRIPTION         STEHLI SILK MILL RENOVATIONS AND ALTERATIONS         619-629 MARTHA AVE         LANCASTER,         PA 17601         SHEET TITLE         STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6         ISSUE DATE	
STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6 ISSUE DATE SCALE	STEHLI MILL, LLC
SHEET TITLE         STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6         ISSUE DATE         SCALE	STEHLI SILK MILL RENOVATIONS AND ALTERATIONS 619-629 MARTHA AVE LANCASTER,
	SHEET TITLE         STRUCTURAL ALTERATIONS PLAN 3rd FLOOR MILLS 5 AND 6         ISSUE DATE         SCALE
FILE NUMBER     DRAWN BY     CHECKED BY       03494     RRD     RRD	





NW E PROFESSIONAL \_/ \\ R. R. DESMARAIS JR. 11 1 ENGINEER No. 43709-E 







rid pe c				
	ရာစ			
313 W LIBERTY ST	, SUITE 101			
LANCASTER, PA 17 PHONE 717-617-27	7603-2766			
bob@rrdpe.com				
GENERAL STRUCTURAL ALTER	RATION NOTES			
1. ALL DIMENSIONS ARE A	-			
START OF WORK.				
2. ALL DAMAGED, CRACKED, DELAMINATED, LOOSE OR OTHERWISE FAILING MASONRY TO BE REMOVED IN PREPARATION FOR REPLACEMENT TO MATCH				
EXISTING. ADJACENT MA	ASONRY THAT REMAINS.			
3. CONTRACTOR SHALL COORDINATE FIELD-VERIFIED EXISTING DIMENSIONS WITH THE CRITICAL LOCATION DIMENSIONS INDICATED ON THE				
ARCHITECTURAL DRAW 4. SEE SHEET S2.50 FOR G				
NOTES 5. SEE SHEET S2.51 FOR T	YPICAL MASONRY DETAILS			
BID 2				
NOT FOR	ET PHASE 2			
	ET PHASE 2 CONSTRUCTION 0.28.2020			
	CONSTRUCTION			
1C REVISIONS	CONSTRUCTION			
REVISIONS	CONSTRUCTION 0.28.2020			
1C REVISIONS	CONSTRUCTION 0.28.2020			
REVISIONS	CONSTRUCTION 0.28.2020			
1C REVISIONS	CONSTRUCTION 0.28.2020			
	CONSTRUCTION 2.28.2020			
	CONSTRUCTION 2.28.2020 escription Date Units Architects, LLC			
	CONSTRUCTION 2.28.2020			
	CONSTRUCTION 2.28.2020 escription Date Units Architects, LLC			
	CONSTRUCTION 2.28.2020 escription Date Units Architects, LLC			
REVISIONS	CONSTRUCTION 2.28.2020			
REVISIONS	CONSTRUCTION 2.28.2020 escription Date Units Architects, LLC			
REVISIONS	CONSTRUCTION 2.28.2020			
REVISIONS No. De	CONSTRUCTION 2.28.2020			
REVISIONS   No. De     Image: Control of the second sec	CONSTRUCTION 2.28.2020			
REVISIONS   No. De     Image: Control of the second sec	CONSTRUCTION 2.28.2020			
REVISIONS   No. De     No. De     Image: Control of the second secon	CONSTRUCTION 28.2020			
REVISIONS   No. De     No. De     Image: Control of the second secon	CONSTRUCTION 28.2020			
REVISIONS	CONSTRUCTION 28.2020			
REVISIONS   No. De     Image: Imag	CONSTRUCTION Date Pescription Date			
REVISIONS          No.       De         Image: State in the state	CONSTRUCTION Date Bescription Date			
REVISIONS   No. De     I <td>CONSTRUCTION Date</td>	CONSTRUCTION Date			
REVISIONS   No. De   No. De   Image: Stress of the second	CONSTRUCTION Date Bescription Date			
REVISIONS No. De No. De STEVISIONS No. De STEMUSIONS STEMUSION STEMUSICATIONS 619-629 MARTHA AVE ANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLA ISSUE DATE 10-05-2020 FLE NUMBER	CONSTRUCTION Date Bescription Date			
REVISIONS No. De No. De STEVISIONS No. De STEMUSIONS STEMUSION STEMUSICATIONS 619-629 MARTHA AVE ANCASTER, PA 17601 SHEET TITLE STRUCTURAL ALTERATIONS PLA ISSUE DATE 10-05-2020 FLE NUMBER	CONSTRUCTION Date Bescription Date			

## A. BUILDING CODES AND STANDARDS

- 1. THE 2015 INTERNATIONAL BUILDING CODE, INCLUDING ALL CODES AND SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION AND QUALITY CONTROL OF ALL WORK PERFORMED ON THE PROJECT
- 2. ADDITIONAL DESIGN STANDARDS FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.

## B. DESIGN LOADS

$\boldsymbol{\nu}$		
1.	ROOF DEAD LOADS	
	a. EXISTING	7 PSF
	b. NEW ROOF FRAMING	10 PSF
	c. NEW FLOOR FRAMING	
	3" CONCRETE ON <sup>9</sup> / <sub>16</sub> FORM DECK	37 PSF
	FRAMING	5 PSF
	COLLATERAL	3 PSF
	TOTAL	45 PSF
2.	ROOF LIVE LOADS	
	a. CODE-PRESCRIBED MINIMUM	20 PSF
	b. GROUND SNOW LOAD	30 PSF
	EXPOSURE FACTOR Ce	1.0
	THERMAL FACTOR Ct	1.0
	SLOPED ROOF FACTOR Cs	1.0
	IMPORTANCE FACTOR Is	1.0
	DESIGN SNOW LOAD	21 PSF
	DRIFT LOAD HAS BEEN CONSIDERED	
3.	FLOOR LIVE LOADS	
	a. RESIDENTIAL UNITS 40PSF	
	b. CORRIDORS 40 PSF	
	c. EXISTING STAIRWAYS 100 PSF	
4.	WIND LOADS	
	a. 3 SEC. GUST SPEED	109 MPH
	b. EXPOSURE CATEGORY	В
	c. INTERNAL PRESSURE COEFFICIENT	±0.18
	d. EAVE HEIGHT FOR DESIGN	47ft
	e. WIND PRESSURE (SERVICE)	14 PSF NET

5. SEISMIC LOADS

- SITE DATA INDICATES SEISMIC DESIGN CATEGORY A
- 6. THE STRUCTURE HAS BEEN DESIGNED FOR THE DEAD. LIVE AND LATERAL LOADS INDICATED ABOVE. ANY INCREASE OF LOADS DUE TO CHANGE IN USAGE OR CONSTRUCTION MATERIALS, ETC. SHALL HAVE THE WRITTEN APPROVAL OF THE ENGINEER. THE CONTRACTOR IS CAUTIONED AS TO NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATIONS WHICH WILL EXCEED THE DESIGN LIVE LOAD CAPACITIES NOTED.

#### C. CONSTRUCTION

1. GENERAL

- a. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT DESIGNED FOR THE STRUCTURE DEAD AND LIVE LOADS INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSE WORK, FORMWORK, TEMPORARY BRACING, SHEETING AND SHORING, ETC.
- b. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- c. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS FOR ALL WORK BEFORE PROCEEDING WITH THE CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

THE CONTRACTOR SHALL CONSULT THE ARCHITECTURAL DRAWINGS FOR CRITICAL DIMENSIONS FOR LAYOUT. PARTICULAR ATTENTION SHALL BE MADE TO LOCATIONS OF PROPOSED MASONRY OPENINGS IN EXISTING WALLS.

- d. EXISTING BUILDING INFORMATION SHOWN IS BASED ON SITE OBSERVATIONS OF THE BUILDING. THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, FRAMING, ETC.) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- f. THE CONTRACTOR SHALL PROTECT EXISTING BUILDING CONDITIONS DURING THE COURSE OF THE WORK. ANY DAMAGE DUE TO THE WORK BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR CAN, AT ITS DISCRETION AND COST, PROVIDE TEMPORARY PROTECTIONS TO THE EXISTING BUILDING DURING THE WORK.

## D. FOUNDATIONS

- 1. DESIGN DATA
- a. ALL FOUNDATIONS HAVE BEEN DESIGNED FOR AN ASSUMED ALLOWABLE NET BEARING PRESSURE OF 3,000 PSF. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE AND PAY FOR THE SERVICES OF A GEOTECHNICAL ENGINEER FOR FIELD VERIFICATION OF THE ASSUMED SOIL BEARING PRESSURES. BEARING CAPACITY OF THE SOIL SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER IMMEDIATELY PRIOR TO CONCRETE PLACEMENT. SHOULD THE SOIL BEARING PRESSURE BE FOUND TO BE LESS THAN 2,500 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- b. ALL EXTERIOR FOUNDATIONS SHALL BEAR A MINIMUM OF 3'-0" BELOW FINISHED GRADE. NOTIFY THE STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENT. FOOTINGS SHALL BEAR ON APPROVED UNDISTURBED MATERIAL OR STRUCTURAL FILL.

#### 2. GENERAL

- a. ALL EXCAVATION, BACKFILLING AND STRUCTURAL FILL PLACEMENT OPERATIONS BENEATH THE BUILDING SLAB AND FOUNDATIONS, AND ALL COMPACTION TESTS AND INSPECTION SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF A REGISTERED PROFESSIONAL SOILS ENGINEER. ALL FILL MATERIAL. COMPACTION EQUIPMENT. AND PROCEDURES SHALL BE APPROVED BY THE SOILS ENGINEER PRIOR TO ANY EARTHWORK OPERATIONS.
- b. CONCRETE FOR FOUNDATIONS SHALL BE PLACED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER. SHOULD THE SOIL BEARING PRESSURE BE FOUND TO BE LESS THAN THE ALLOWABLE BEARING PRESSURES LISTED ABOVE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- c. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
- d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTING ALL EXISTING UTILITIES, EXISTING STRUCTURES, ETC., WHETHER INDICATED OR NOT, WHICH MAY BE AFFECTED BY THE CONSTRUCTION IN PROCESS.

e. UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE ENGINEER'S APPROVAL. STEP FOUNDATIONS AS REQUIRED WHERE UTILITIES ENTER OR EXIT THE BUILDING.

#### 3. BACKFILL

a. ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER. WITH OPTIMUM MOISTURE CONTENT FOR COMPACTING AND SHALL BE FREE OF DEBRIS.

## E. CAST-IN-PLACE CONCRETE

MATERIALS", ACI 117

1. ALL CONCRETE WORK SHALL CONFORM TO THE PROVISIONS OF THE FOLLOWING PUBLICATIONS:

- a. "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS", ACI 301
- b. "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING", ACI 306.
- c. "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING", ACI 305.1 d. "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK", ACI 347.
- e. "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND

2. MATERIALS a. CONCRETE SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

APPLICATION	<u>f'c @ 28 DAYS</u>
SLABS-ON-GRADE	4,000
FOUNDATIONS	3,500 WITH 6% AIR
TOPPING ON EXIST FRAMING	G 3,000

- b. CEMENT ASTM C150, TYPE 1 OR 2 c. CEMENT SUBSTITUTES ASTM C595, TYPE 1S
- (LIMIT 50% MAX OF CEMENTITIOUS CONTENT BY WGT.) d. COARSE AGGREGATE ASTM C33 No. 57
- e. COARSE AGGREGATE (SLABS ON GRADE) ASTM C33 No. 467 f REINFORCEMENT.
- DEFORMED REINFORCING BARS ASTM A615, GRADE 60 WELDED WIRE FABRIC (WWF) - ASTM A185, GRADE 65
- g. ADMIXTURES: NO ADMIXTURE CONTAINING CALCIUM CHLORIDE OR OTHER CHLORIDE CONTAINING AGENTS SHALL BE PERMITTED.
- 3. GENERAL a. REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS: CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3" CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: #5 BARS AND SMALLER 1½" CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
- #11 BARS AND SMALLER PIERS (PRIMARY REINFORCEMENT, STIRRUPS): 1<sup>1</sup>/<sub>2</sub>"
- b. UNLESS DETAILED OTHERWISE. SPLICES SHALL BE MADE BY CONTACT TENSION LAP SPLICES. MINIMUM LAP TO BE 40 BAR DIAMETERS OR 24 INCHES WHICHEVER IS GREATER. LAP BARS CONTINUOUS AROUND CORNERS. DOWEL INTERSECTING WALLS INTO CROSS WALLS.
- c. WELDED WIRE FABRIC REINFORCEMENT SHALL BE SUPPLIED IN FLAT SHEETS AND SUPPORTED ON CHAIRS. LAP WIRE TWO FULL MESH LENGTHS AT SPLICES.
- d. NO WELDING OR REINFORCING SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR APPROVED BY THE ENGINEER. e. PROVIDE PLASTIC TIPPED BOLSTERS AND CHAIRS AT ALL LOCATIONS
- WHERE THE CONCRETE SURFACE IS EXPOSED.
- f. ALL CONCRETE SURFACES SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED OR FINISHING IS COMPLETED TO PREVENT EARLY DRYING OF THE CONCRETE AND TO PROVIDE ADEQUATE CURING FOR A MINIMUM OF 7 DAYS.
- g. CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL WITHIN TOLERANCES AND TO THE ELEVATIONS INDICATED ON THE DRAWINGS. SLABS ON GRADE SHALL HAVE A MINIMUM FLOOR FLATNESS OF Fr30/Fr20.

#### 4. CRITICAL ELEMENTS

EXCEED 2".

- a. ELEVATOR SHAFTS ACCOUNT FOR INDUSTRY PRACTICE CONSTRUCTION TOLERANCES WITH THE MINIMUM REQUIRED SHAFT DIMENSIONS. b. FLOOR TOPPING OVER EXISTING WOOD FLOOR FRAMING SHALL NOT
- 5. TESTING OF CONCRETE IS NOT REQUIRED OTHER THAN AT THE OWNER'S DISCRETION FOR QUALITY CONTROL.

#### F. MASONRY

- 1. DESIGN CODES AND STANDARDS
- a. BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, TMS 402-16
- b. SPECIFICATION FOR MASONRY STRUCTURES, TMS 602-16 c. STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION, COUNCIL FOR MASONRY WALL BRACING

## 2. MATERIALS:

- a. LOAD BEARING HOLLOW AND SOLID CONCRETE MASONRY UNITS SHALL COMPLY WITH ASTM C90
- b. CONCRETE BRICK SHALL COMPLY WITH ASTM C55, GRADE N
- c. MORTAR SHALL COMPLY WITH ASTM C270 AND SHALL BE TYPE S FOR STANDARD MASONRY CONSTRUCTION. d. GROUT SHALL COMPLY WITH ASTM C476 WITH A MINIMUM COMPRESSIVE
- STRENGTH OF 2,500 PSI AT 28 DAYS. e. DEFORMED REINFORCING BARS SHALL CONFORM TO ASTM A615, GR. 60
- f. HORIZONTAL JOINT REINFORCING SHALL COMPLY WITH ASTM A82
- a. MASONRY PRISM STRENGTH F'm SHALL BE 1.500 PSI

#### 3. GENERAL

- a. PROVIDE STANDARD WEIGHT LADDER TYPE GALVANIZED HORIZONTAL JOINT REINFORCEMENT IN WALLS AND PARTITIONS AT 16" O.C. UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE ONE PIECE PREFABRICATED UNITS AT 16" O.C. AT ALL WALL CORNERS AND INTERSECTIONS.
- b. PROVIDE BOND BEAMS WITH (1) #4 HORIZONTAL REINFORCEMENT CONTINUOUS IN ALL MASONRY WALLS AT EACH FRAMING LEVEL AND AT ELEVATOR RAIL ANCHORAGE ELEVATIONS.
- c. USE MASONRY UNITS WITH CORES THAT ALIGN VERTICALLY IN GROUTED AND/OR REINFORCED MASONRY WALLS IN ORDER TO PROVIDE CONTINUOUS UNOBSTRUCTED CELLS FOR GROUTING AND REINFORCING STEEL PLACEMENT.
- d. MAXIMUM GROUT LIFT SHALL BE 5'-0", UNLESS HIGH LIFT GROUTING PROCEDURES IN ACCORDANCE WITH ACI 530 ARE FOLLOWED.
- e. LAP SPLICES FOR DEFORMED REINFORCING BARS USED IN MASONRY CONSTRUCTION SHALL BE 48 BAR DIAMETERS.
- f. ALL BLOCK CELLS SHALL BE FILLED SOLID WITH GROUT AT ELEVATOR SHAFTS, AT BEAM, LINTEL AND JOIST BEARINGS, AT BOND BEAMS, AT CHANGES IN WALL THICKNESS, AND AT VERTICAL REINFORCING.
- g. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SUPPORT FOR ALL MASONRY WORK UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

h. PROVIDE LINTELS OVER ALL MASONRY OPENINGS. ALL LINTELS "L1" AT CONCRETE MASONRY WALLS SHALL BE PRECAST CONCRETE.

ALL STEEL LINTELS "L2" USED IN BRICK EXTERIOR WALLS SHALL BE GALVANIZED L5x  $3\frac{1}{2}$  x  $\frac{5}{16}$ .

4. CRITICAL ELEMENTS

- a. ELEVATOR SHAFTS ACCOUNT FOR INDUSTRY PRACTICE CONSTRUCTION TOLERANCES WITH THE MINIMUM REQUIRED SHAFT DIMENSIONS.
- 5. INSPECTION AND TESTING
- a. THE OWNER/CONTRACTOR WILL ENGAGE A TESTING AND INSPECTION AGENCY TO PROVIDE SERVICES AS INDICATED BELOW AND SUBMIT REPORTS TO THE ARCHITECT AND STRUCTURAL ENGINEER.
- b. ALL MASONRY MUST BE INSPECTED AND TESTED IN ACCORDANCE WITH LEVEL 2 QUALITY ASSURANCE CRITERIA. CRITERIA IS DEFINED IN TABLES 3 AND 4 OF TMS 602

#### G. WOOD

- 1. DESIGN STANDARDS
- a. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND "SUPPLEMENT: DESIGN VALUES FOR WOOD CONSTRUCTION"

#### 2. MATERIALS

- a. SAWN LUMBER SHALL BE VISUALLY GRADED DIMENSION LUMBER. KILN-DRIED WITH A 19% MAXIMUM MOISTURE CONTENT.
- LUMBER FOR REPLACEMENT OF EXISTING TONGUE AND GROOVE DECKING SHALL BE SOUTHERN PINE, No. 2 GRADE.
- NEW DIMENSIONAL LUMBER SHALL BE SPRUCE-PINE-FIR No. GRADE
- NEW TIMBERS AT BALCONY CONSTRUCTION SHALL BE SPRUCE-PINE-FIR No. 1

#### 3. GENERAL

- a. MEMBERS SHALL BE SET WITH CROWN SIDE UP AND HAVE A MINIMUM OF 2" BEARING.
- b. ALL BOLTS AND LAG BOLTS SHALL BE FITTED WITH GALVANIZED, MALLEABLE IRON OR STEEL PLATE WASHERS.
- c. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TEMPORARY BRACING OF ALL BUILDING ELEMENTS. TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL PERMANENT BRACING IS INSTALLED, ATTACHED,
- AND CAPABLE OF SUPPORTING LOADS. d. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.

#### 4. STRUCTURAL SHEATHING

- a. EACH CONSTRUCTION PANEL SHALL BE MARKED WITH APA TRADEMARK EVIDENCING COMPLIANCE WITH VOLUNTARY PRODUCT STANDARD PS1. PS2. OR APA PRP-108.
- b. INSTALL PANELS WITH PANEL LONG DIMENSION PERPENDICULAR TO THE SUPPORTING MEMBERS. MINIMUM PANEL WIDTH SHALL BE 24".
- c. FLOOR SHEATHING SHALL BE GLUED AND NAILED TO ALL SUPPORTS NAIL PANEL EDGES WITH 6d RING-SHANK NAILS @ 6" OC AND INTERMEDIATE SUPPORTS @ 12" OC. ALL PANEL EDGES SHALL BE BLOCKED.
- d. ROOF SHEATHING SHALL BE ATTACHED TO ROOF FRAMING WITH 10d COMMON NAILS @ 6" OC ALONG SUPPORTED EDGES AND 12" OC AT INTERMEDIATE SUPPORTS.

#### 5. WOOD PRESERVATIVE TREATMENT

- a. WHERE LUMBER OR PLYWOOD IS INDICATED AS "TREATED" OR "PT", COMPLY WITH APPLICABLE REQUIREMENTS OF AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS C2 (LUMBER) AND C9 (PLYWOOD) AND WITH AWPA STANDARDS LISTED BELOW. MARK EACH TREATED ITEM WITH THE AWPA QUALITY MARK REQUIREMENTS.
- b. PRESSURE TREAT ABOVE-GROUND ITEMS WITH WATERBORNE PRESERVATIVES TO COMPLY WITH AMERICAN WOOD PRESERVERS BUREAU (AWPB) LP-2. AFTER TREATMENT, KILN-DRY LUMBER AND PLYWOOD TO A MAXIMUM MOISTURE CONTENT, RESPECTIVELY OF 10% AND 15%.

## H. METAL DECK

- 1. DESIGN STANDARDS a. AISI S100-16, NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF
- COLD-FORMED STEEL STRUCTURAL MEMBERS. b. ANSI/SDI NC-2017, STANDARD FOR NON-COMPOSITE STEEL FLOOR DECK

#### 2. MATERIALS

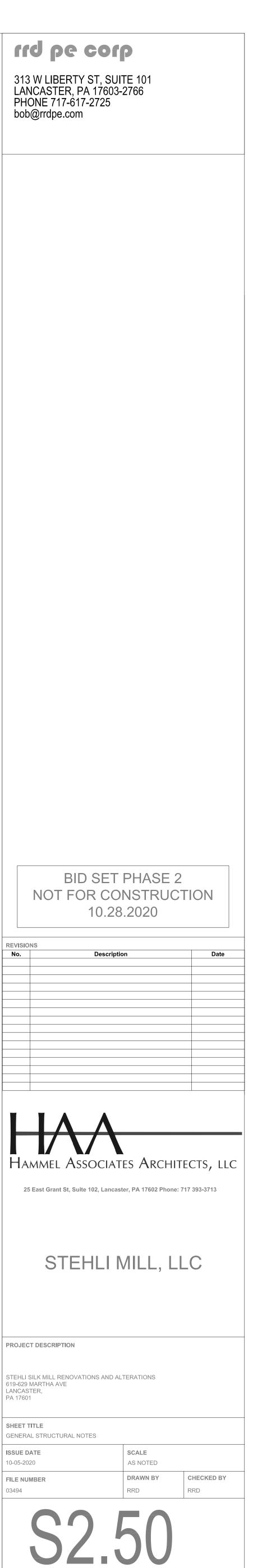
- a. SHEET STEEL FOR DECK AND ACCESSORIES SHALL CONFORM TO
- ANSI/SDI NC-2017, SECTIONS 2.1.A, 2.1.B, AND 2.1.C b. STEEL DECK AND ACCESSORIES SHALL BE ASTM A1008 STEEL PRIME PAINTED WITH MANUFACTURER'S STANDARD PRIME PAINT.
- c. STEEL DECK SHALL BE TYPE C, 9/16 x 24ga

#### 3. GENERAL

- a. INSTALL IN ACCORDANCE WITH SDI SUGGESTED SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- b. INDIVIDUAL SHEETS SHALL EXTEND OVER AT LEAST THREE SUPPORTS (TWO-SPAN CONDITION), WITH LAPS TO BE PLACED OVER SUPPORTS.
- c. DECK SUPPLIER SHALL PROVIDE ALL ADDITIONAL FRAMING TO SUPPORT DECK AT OPENINGS THROUGH DECK AND ALL CLOSURE ANGLES AND PLATES WHERE REQUIRED TO RESULT IN A COMPLETE INSTALLATION.
- d. DECKS SHALL BE SCREWED TO STEEL SUPPORTS USING SELF-TAPPING SCREWS.

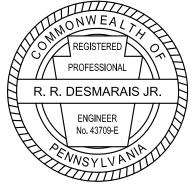
#### J. SPECIAL INSPECTIONS

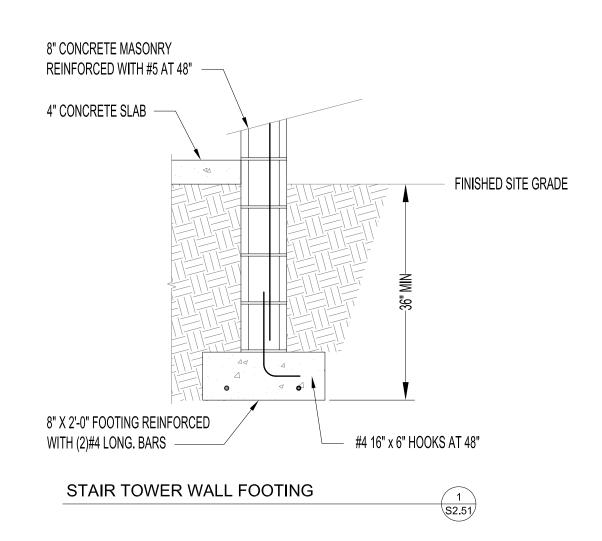
- 1. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 17 OF THE 2015 INTERNATIONAL BUILDING CODE. THE INSPECTION SERVICES SHALL BE OBTAINED BY THE CONTRACTOR AND PAID BY THE OWNER.
- 2. SPECIAL INSPECTIONS NOTED IN THIS SECTION SHALL NOT BE CONFUSED WITH QUALITY INSPECTIONS NOTED ELSEWHERE ON THE DRAWINGS AND/OR ELECTED AT THE OWNER'S SOLE DISCRETION AND COST
- 3. NO SPECIAL INSPECTIONS FOR CONCRETE CONSTRUCTION ARE REQUIRED FOR THIS PROJECT.
- 4. SPECIAL INSPECTIONS FOR MASONRY CONSTRUCTION ARE NOT REQUIRED FOR THIS PROJECT.
- 5. FOUNDATION INSPECTIONS SHALL COMPLY WITH TABLE 1705.6, ITEMS 1, 2, AND 3

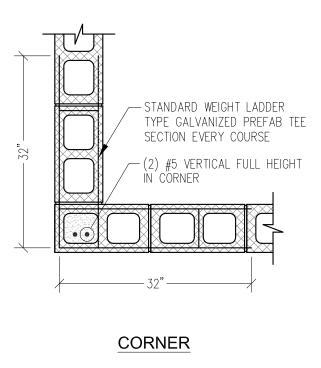






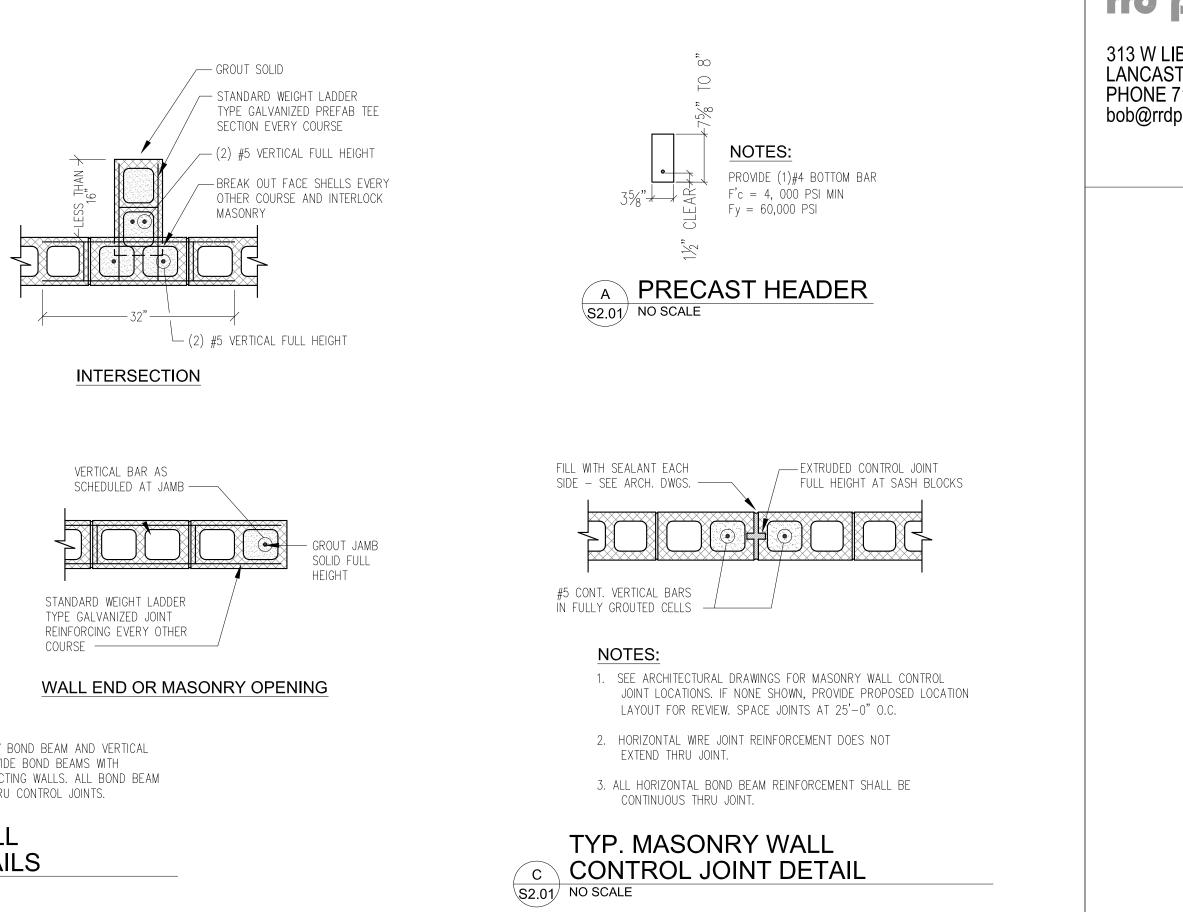






NOTES: SEE PLANS AND SECTIONS FOR MASONRY BOND BEAM AND VERTICAL WALL REINFORCING REQUIREMENTS. PROVIDE BOND BEAMS WITH CORNER BARS AND DOWELS AT INTERSECTING WALLS. ALL BOND BEAM REINFORCING SHALL BE CONTINUOUS THRU CONTROL JOINTS.

TYP. MASONRY WALL B REINFORCING DETAILS S2.01 NO SCALE









REGISTERED PROFESSIONAL \_\_\_\_/ \ R. R. DESMARAIS JR. ENGINEER No. 43709-E

