

BALTIMORE COUNTY PUBLIC SCHOOLS

S. Dallas Dance, Ph.D., Superintendent

6901 Charles Street

Towson, Maryland 21204

ADDENDUM NUMBER 2

DATE: December 8, 2916

BID NAME: NEW SCHOOL CONSTRUCTION LANSDOWNE ELEMENTARY SCHOOL
DEMOLITION OF LANSDOWNE ELEMENTARY SCHOOL

BID NUMBER: **MBU-516-17**

DUE DATE: NO CHANGE

DUE TIME: NO CHANGE

PUBLIC OPENING: NO CHANGE

TOTAL PAGES: Seventy-Eight [78 (to include corrected form of Proposal Pages and 44 sketches)]

The following revisions and responses to questions are made to the original bid document. This addendum forms a part of the Contract Documents and modifies the Original Bidding Documents accordingly and as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid "Addenda" form.

GENERAL:

1.1 Attachments:
1.1.1 See list of sketches at end

SPECIFICATIONS:

2.1.

SECTION 01 22 00 UNIT PRICES
DELETE Specification Section 01 22 00 in its entirety and
REPLACE with attached Specification Section 01 22 00.

2.2. SECTION 05 58 13 COLUMN COVERS

REVISE Part 1.1.A to "Decorative column covers for exposed columns in Cafeteria (B128), Media C100 and Collaborative Learning C143."

2.3. SECTION 09 30 00 TILING

REVISE Part 3.5.A to "A. Freezer/Cooler and Kitchen Quarry Tile – Thickset with Reinforcement and Waterproofing. Install by conventional bed TCA Handbook Method F121.

2.4. SECTION 09 65 00 RESILIENT FLOORING

REVISE Part 2.1.A.6.c.1 to "Provide 4-color pattern in Corridors, Dining, Media, Lobby, Vestibules, and rooms A100, A101, A102, A122, A124, A125, C130, C143, C231, C239 and Stair 4."

REVISE Part 2.1.A.6.c.2 to "Provide 2-color pattern in classrooms. This includes, but is not limited to rooms designated as classroom, kindergarten, pre-kindergarten, ECL, ESOL, Remedial Reading, Special Education, Maker Space, Digital Learning, Art, Instrumental Music, and Vocal Music.

2.5. SECTION 11 62 42 PLATFORM CURTAINS

REVISE Part 2.2.A to " A. House Curtain, Video Production Room Curtain, and Masking Drapery."

REVISE Part 2.2.A.1. to "House Curtain and Video Production Room Curtain"

REVISE Part 2.2.A.3 to "Masking Drapery: Teaser, Borders, and Travelers"

REVISE Part 2.2.A.3.a. to "Material: 100 percent IFR Polyester velour, 25-26 oz. per linear yard based on a 54" width."

REVISE Part 2.2.A.3.b. to "Color: As selected by architect."

REVISE Part 2.3. F.1 to "The front curtain and video production room curtain shall be 25-26 oz. polyester velour with IFR polyester lining."

REVISE Part 2.3.C.8. to "Pleated-Fullness: Approximately 60%; curtain shall overlap 3 feet."

ADD Part 2.3.H.2 Pleated-Fullness: Approximately 60%

2.6. SECTION 22 05 19 METERS AND GAGES FOR PLUMBING PIPING

22 05 19 – 1&2 2.01.A

DELETE 1. AMETEK; U.S. Gage, 2. Ashcroft; Dresser Instrument, 3. Miljoco Corporation, 4. Taco, Inc., and 5. H.O. Trerice Co.

ADD 1. Dwyer Instruments, and 2. Palmer Wahl

2.7. SECTION 22 05 23 GENERAL-DUTY VALVES FOR PLUMBING PIPING

22 05 19 – 2 2.01.A

DELETE 2. Hammond Valve Co., 3. Lunkenheimer Co., 6. Stockham Valve & Fittings, and 7. Walworth Co.

ADD 2. Apollo, and 3. Centerline

- 2.8.** SECTION 22 05 23 GENERAL-DUTY VALVES FOR PLUMBING PIPING
22 05 19 – 2 2.01.B
DELETE 4. Stockham Valve & Fittings, and 5. Victaulic Company of America, 6. Walworth Co., and 7. Watts Regulator Co.
ADD 4. Centerline, and 5. Crane
- 2.9.** SECTION 22 11 23 DOMESTIC WATER PUMPS
22 11 23 – 2 2.01.B
DELETE 3. Deming, Crane Pumps and Systems, 4. Patterson Pump Co., and 6. Paco Pumps; Grundfos Group
- 2.10.** SECTION 23 05 06 CURBS AND FLASHINGS FOR HVAC PIPING AND EQUIPMENT
23 05 06 – 2 2.10.B.4
REVISE “Acoustical lining: ASTM C 1071, Type II, rigid fiberglass,…”
- 2.11.** SECTION 23 05 06 CURBS AND FLASHINGS FOR HVAC PIPING AND EQUIPMENT

23 05 06 – 4 3.20.C
DELETE “with a 6-inch (150-mm) wide wood frame the thickness of the roof insulation,”
- 2.12.** SECTION 23 05 19 METERS AND GAGES FOR HVAC PIPING
23 05 19 – 1 2.01.A
DELETE 1. AMETEK; U.S. Gage, 2. Ashcroft; Dresser Instrument, 3. Miljoco Corporation, 4. Taco, Inc., and 5. H.O. Trerice Co.

ADD 1. Dwyer Instruments, and 2. Palmer Wahl
- 2.13.** SECTION 23 05 23 GENERAL-DUTY VALVES FOR HVAC PIPING

23 05 23 – 2 2.01.A
DELETE 4. Stockham Valve & Fittings, and 5. Victaulic Company of America, 6. Walworth Co., and 7. Watts Regulator Co.

ADD 4. Centerline, and 5. Crane
- 2.14.** SECTION 23 21 23 HVAC PUMPS
23 21 23 – 3 2.01.B
DELETE 2. Aurora Pumps, 4. Paco Pumps; Grundfos Group, and 5. Patterson Pump

2.15. SECTION 23 34 00 HVAC FANS

21 34 00 – 3 2.34.A

DELETE 2. Jennco Fan, and 7. Aerovent, a Twin City Fan Company

2.16. SECTION 23 72 00 ENERGY RECOVERY AND DEDICATED OUTDOOR AIR UNITS

23 72 00 – 4 2.01.A.1

DELETE d. Xetex, and e. Venmar

ADD d. Petra

2.17. SECTION 23 72 00 ENERGY RECOVERY AND DEDICATED OUTDOOR AIR UNITS

23 72 00 – 8 2.27.B

ADD 8. Provide vibration isolation as specified in Section 23 05 48
Vibration Control Supports for HVAC.

2.18. SECTION 23 81 27 DUCTLESS SPLIT SYSTEM UNITS

23 81 27 - 2 2.01.A.

DELETE 2. Sanyo and 4. Panasonic

ADD 2. Carrier, 4. Hitachi, 5. Johnson Controls, 6. LG, 7. Samsung, and
8. Trane

2.19. SECTION 23 81 28 VARIABLE-REFRIGERANT-VOLUME MULTIZONE SYSTEM

23 81 28 - 2 2.01.A.

ADD 4. Carrier, 5. Hitachi, 6. Johnson Controls, 7. LG, 8. Samsung, and
9. Toshiba

2.20. SECTION 23 82 38 ELECTRIC RESISTANCE TERMINAL UNITS

23 82 38 – 2 2.36.A.1

DELETE b. General Electric Co. and 3. Vulcan Radiator Corp.

ADD b. Brasch, 3. Daikin, 4. Qmark, 5. Sterling, 6. Trane

2.21. SECTION 23 82 38 ELECTRIC RESISTANCE TERMINAL UNITS

23 82 38 – 2 2.37.A.1

DELETE b. General Electric Co. and 3. Vulcan Radiator Corp.

ADD b. Brasch, 3. Daikin, 4. Qmark, 5. Sterling, 6. Trane

2.22. SECTION 271500 DATA VOICE & VIDEO SYSTEMS

REVISE Spec section 271500, part 2.7 to read as follows:

“Provide all rough-in and provisions for wall mounted interactive projector installation, provide projector high drop mounted on the wall adjacent to the projector wall bracket. In some cases you will

have the projector high drop mounted in the ceiling just above the wall mounted interactive projector. Provide a double gang plate with a 1" grommet (2) 1 ½" conduits stubbed to accessible ceiling space) from the wall projector to accessible ceiling space for cables provided by the owner."

2.23. SECTION 275123 INTEGRATED TELECOMMUNICATIONS SYSTEMS

REVISE The first sentence of specification section 275123-2.1.A to read as follows:

"Only Manufacturer's system by Rauland-Borg Telecenter , Telecor II or Dukane Starcall shall be submitted provided that every operational function contained herein is provided. ***(Bogen is not an acceptable manufacturer to BCPS)***"

REVISE Specification section 275123-2.3.A.1 to read as follows:

"The system shall be integrated with the BCPS supplied VoIP System allowing any phone on the system, if so desired, to page and conduct hands-free open voice intercom with any speaker in the system, and handset to handset with any administrative control console and classroom VoIP telephone"

REVISE Specification section 275123-2.3.B to read as follows:

The Contractor shall provide outlets for all BCPS furnished VoIP Classroom telephone handsets.

REVISE Specification section 275123-2.4.A.2 to read as follows:

"Staff/Classroom VoIP Telephone: Shall be furnished by BCPS"

REVISE Specification section 275123-2.11 to read as follows:

"Provide wireless clock system by Sapling.

Provide 12" wireless analog battery operated clocks found in instructional spaces and classrooms and mounted opposite of the teaching wall.

Provide 24 volt digital wireless clocks in all corridors, gym, café, media center, kitchen and offices. The wireless clocks shall receive signal from the master clock wirelessly but to receive power, cabling shall be provided by the contractor. Provide wireless master clock controller on the wall in the MDF room Provide GPS roof mounted antenna and cabling and grounding to provide time signal to clock controller in MDF. Provide digital clocks in the gym with wireguard."

2.24. SECTION 275200 LOCAL SOUND SYSTEMS

REVISE Specification section 275200-2.1 and 2.2 outdated model numbers with current model numbers as follows:

Old: Shure SLX series wireless mic system

New: BLX24R/SM58 wireless handheld microphone system with rack mount kit

Old: TOA & Peavey microphone mixer

New: Peavey SMR821A mic/line mixer

Old: Denon & Tascam cd changer

New: Tascam CD200BT cd player w/ ipod dock & Bluetooth

Old: Rane, DBX & Shure DSP

2.25. SECTION 281300 ACCESS CONTROL SYSTEM

REPLACE Spec section 281300 Access Control System, replace in its entirety with the attached section 281300.

2.26. SECTION 282300 VIDEO SURVEILLANCE SYSTEM.

REPLACE Spec section 282300 Video Surveillance System Replace in its entirety with the attached section 282300.

2.27. SECTION 31 23 00 EXCAVATING AND FILLING

REVISE First sentence of part 3.14.B.1 to "Provide 4 inches of drainage fill below all slabs."

DRAWINGS

CIVIL

- 3.1. SHEET C-1.1, SITE AND GRADING PLAN – PHASE 1
ADD: Concrete Wall starting/ending coordinates at Bio #2.
Start Wall – N 576,894.79, E 1,409,805.31
End Wall – N 576,759.74, E 1,409,836.49
- 3.2. SHEET C-2.1, PAVING, STRIPING AND SIGNAGE PLAN
REVISE: Detail callout for soccer field to "Detail 5 on Sheet C-1.6."
DELETE: Versa Lok Wall callouts at Bio #2.
ADD: Concrete Wall callout at Bio #2.
- 3.3. SHEET C-7.1, FINAL STORMWATER MANAGEMENT PLAN
ADD: Concrete Wall starting/ending coordinates at Bio #2.
Start Wall – N 576,894.79, E 1,409,805.31
End Wall – N 576,759.74, E 1,409,836.49
- 3.4. SHEET C-7.4, FINAL STORMWATER MANAGEMENT DETAILS
ADD: Section B-B and profile. See attached sketch SK-19 and 19A.
- 3.5. SHEET C-8.1, LANDSCAPE PLAN
REVISE: Weave chainlink fence size to 2" for Soft Play and 1" for SWM Facilities on all Chainlink Fence Details.
- 3.6. SHEET C-8.2, LANDSCAPE NOTES AND DETAILS
REVISE: Weave chainlink fence size to 2" on all Chainlink Fence Details.
- 3.7. SHEET C-10.1, PUBLIC WATER PLAN
REVISE: Bill of Materials. See attached sketch SK-20.

- 3.8. SHEET C-10.2, PUBLIC SANITARY SEWER AND RIGHT-OF-WAY PLAN
ADD: Sewer callouts in the Vicinity Map. See attached sketch SK-21.
REVISE: (by others) callout to (private) on the Proposed 8" Sanitary Sewer Connection Plan. See attached sketch SK-21A.
- 3.9. SHEET C-10.3, PUBLIC STORM DRAIN PLAN - 1
REVISE: Storm drain design data. See attached sketch SK-C-22.
- 3.10. SHEET C-10.4, PUBLIC STORM DRAIN PLAN – 2
REVISE: Manhole Schedule. See attached sketch SK-C-23.
ADD: Manhole 18 label. See attached sketch SK-C-23A.
REVISE: Pipe Q, V, S on the profile. See attached sketches SK-C-23A to 23D.
ADD: Pipe slope to connecting storm drain pipes on the profile. See attached sketch SK-C-23A to 23D.
- 3.11. SHEET C-10.5, PUBLIC STORM DRAIN PLAN – 3
REVISE: Inlet Schedule. See attached sketch SK-C-24.
DELETE: Manhole Schedule. See attached sketch SK-C-24.
REVISE: Storm Drain profiles. See attached sketch SK-C-24A to 24C.
REVISE: Storm Drain layout. See attached sketch SK-C-24D.

ARCHITECTURAL:

- 4.1. SHEET A-1.1B, PARTIAL FIRST FLOOR PLAN, AREA B
ADD Enclose exposed pipe column in room B131 with 1'-4" x 1'-4" CMU chase.
ADD Add wall tag, with A3 designation, to west wall of chase at the south end of the operable partition between rooms B128 and B129.
ADD Reference for J15/A-5.6 SIM to column at lines 2' and G' near door B133 and column at lines R and 11 at east end of Frame 3.
- 4.2. SHEET A-1.1C, PARTIAL FIRST FLOOR PLAN, AREA C
ADD Reference for J15/A-5.6 SIM to column at lines 17 and P.
REVISE Walls and lockers at on line C.1' on west side of stair no.2 and wall at window at south wall of room C144 per attached sketch SK-A-2.1.
REVISE Lockers at C107 per attached sketch SK-A-2.1.
REVISE Wall at window at south wall of room C127 , per attached sketch SK-A-2.2.
ADD Section reference A18/A-4.5 @ CW8 and stair 4 landing.

- 4.3. SHEET A-1.2C, PARTIAL SECOND FLOOR PLAN, AREA C**
ADD Section reference A18/A-4.5 @ CW8 and stair 4 landing.
ADD Section reference J11/A-4.6 @ wall between north side of stair 1 and Vestibule C10.
REVISE Walls and lockers at on line C.1' on west side of stair no.2 and wall at window at south wall of room C240 per attached sketch SK-A-2.3.
REVISE Walls and lockers on line on east side of stair no. 3 and wall at window at south wall of room C230, per attached sketch SK-A-2.6.
ADD Gypsum board surround at columns on line 22 per attached sketch SK-A-2.7.
ADD Dimensions per attached sketch SK-A-2.4 and SK-A-2.5.
ADD Lockers at locations indicated in attached sketch SK-A-2.8
- 4.4. SHEET A-3.1, FINISH SCHEDULE**
ADD Note 17 Provide Chromakey green paint finish on east, west and south walls.
REVISE Numbered Remarks Note 6 to "6. Provide porcelain tile to 8'-0" a.f.f. w/spctg above. Top row of tile to be bullnose"

REVISE Wall finish CT to "PT Porcelain Tile

REVISE Tile wall finish and base for rooms B117 and C137 to "PT."
- 4.5. SHEET A-3.2, DOOR SCHEDULE**
REVISE HM frame type for doors E008, E011, E012, E013 to 42.
REVISE HM frame type for doors A106 and A123 to 22.
ADD "Note 25 Provide integrated metal door assembly." To Notes for remarks column.
ADD Note 25 to notes for remarks column at doors C10, C12, C20 and C22.
REVISE All exterior storefront doors to door type FG2.
- 4.6. SHEET A-3.6, FRAME ELEVATIONS – INTERIOR**
ADD Dimensions to frame 20 per attached sketch SK-A-2.9.
- 4.7. SHEET A-3.7, FRAME ELEVATIONS – INTERIOR**
ADD HM frame designation 42 to undesignated frame to the right of HM frame 41.
- 4.8. SHEET A-4.3, WALL SECTIONS**
ADD Batt insulation to fill stud cavity at exterior wall types 2.1, 7.1, 7.2, and 9.1.
- 4.9. SHEET A-4.5, WALL SECTIONS**
ADD Wall section A18/A-4.5 per attached sketches SK-A-2.10 and SK-A-2.11.

- 4.10. SHEET A-4.6, WALL SECTIONS**
ADD Reference F5/A-1.4 to sill of door to green roof wall section in A14/A-4.6.
ADD Wall section J11/A-4.6 per attached sketch SK-A-2.12.
- 4.11. SHEET A-4.11, WALL SECTIONS**
REVISE Section A18/A-4.11, per attached sketch SK-A-2.13.
- 4.12. SHEET A-4.13 WALL SECTIONS**
ADD Reference F13/A-1.5 on high eave of clerestory that faces east.
- 4.13. SHEET A-5.1 ENLARGED TOILET PLANS**
REVISE Toilet room elevations D3, D7, E4 to include cove base and bullnose at top row of tiles.
- 4.14. SHEET A-6.6 INTERIOR ELEVATIONS**
ADD Note: "Provide wall tile as indicated and at all corridor walls with a gyp board finish. Provide bullnose tile at top row of tile at locations where tile is not full height."
- 4.15. SHEET A-7.1B PARTIAL FIRST FLOOR REFLECTED CEILING PLAN, AREA B**
DELETE Note "Legs" from north side of Platform B127.
REVISE Pipe grid shown at Platform B127 to 4'-0" x 4'-0" centers.
- 4.16. SHEET A-7.1.C. PARTIAL FIRST FLOOR REFLECTED CEILING PLAN, AREA C**
REVISE Note at curtain at room C107 to "Curtain width to be 60% of track length. See spec."
- 4.17. SHEET A-9.1B PARTIAL FIRST FLOOR FURNITURE PLAN, AREA B**
ADD Two additional floor sleeves a northern side court. Locate similar to southern side court.
ADD Note, pointing to west wall of room B130. "Provide 9 mat hooks on West wall of B130."
- 4.18. SHEET A-9.2C, PARTIAL FIRST FLOOR FURNITURE PLAN, AREA C**
ADD Lockers per attached sketch SK-A-2.X
- 4.19. SHEET A-9.1C, PARTIAL SECOND FLOOR FURNITURE PLAN, AREA C**
REVISE Lockers at C107 per attached sketch.

STRUCTURAL:

- 5.1. SHEET S-1.1A, FOUNDATION AND SLAB ON GRADE PLAN - AREA A**
REVISE Column 11.2-D.2 from C1 to C8 and concrete pier from P1 to P2.

- 5.2. SHEET S-1.1B, FOUNDATION AND SLAB ON GRADE PLAN - AREA B
DELETE Wall footing WF5 per attached sketch SK-S-1.
ADD Wall footing WF4 for 8" chase wall around gridline 10-11.1-N.
- 5.3. SHEET S-1.1C, FOUNDATION AND SLAB ON GRADE PLAN - AREA C
DELETE Unassigned section marks between gridlines 7.8'-9'-B'-C'.
REVISE Section D/S4.1 to section E/S4.1 between gridlines C.1'-B.6'-15'.

ADD Section mark L/S4.1 between gridlines 12.1'-14'-C.1' and gridlines 24-26-P.1.
REVISE Column 12-D.2 from C1 to C8 and concrete pier from P1 to P2.
REVISE Column 3.1'-F' from C1 to C8 and concrete pier from P1 to P2.
REVISE Column opposite the door at F' from C1 to C8 and concrete pier from P1 to P2.
REVISE Column 12-C.2 from C1 to C8 and concrete pier from P1 to P2.
- 5.4. SHEET S-1.2A, 2ND FLOOR AND LOW ROOF FRAMING PLAN - AREA A
ADD Section mark J/S5.6 between gridlines 11-12-E.
ADD Note 8 in lintel schedule, "Provide 5"x5"x3/8" brick angle for openings less than 6'-0" with metal stud back up wall unless noted otherwise."
- 5.5. SHEET S-1.2B, 2ND FLOOR AND LOW ROOF FRAMING PLAN - AREA B
DELETE Unassigned section marks between gridlines 7-9.2-P.8.
REVISE Direction for section F/S5.4 turned 180 degrees between gridlines 6.2-P.8.
REVISE Direction for section L/S5.2 turned 180 degrees between gridlines 2-3.9-H.8-H.1.
REVISE Section L/S5.3 to section C/S5.3 between gridlines 11-K-N.
REVISE Direction for section D/S5.3 turned 180 degrees between gridlines H.1-7-8.
REVISE HSS10"x6"x1/2" and HSS 8"x6"x1/2" on gridline F'-13 to show top of beam elevation as 8'-3".
- 5.6. SHEET S-1.2C, 2ND FLOOR AND LOW ROOF FRAMING PLAN - AREA C
DELETE Unassigned section marks between gridlines 7'-9'-B'-C.1'.
DELETE Unassigned section marks between gridlines 12.1'-14'-D.2'.
REVISE Direction for section K/S5.4 turned 180 degrees between gridlines E'-4'-5' and add "SIM" to the section.
REVISE Direction for section G/S5.4 turned 180 degrees between gridlines 9'-10'-A.2'.
- 5.7. SHEET S-1.3A, HIGH ROOF FRAMING PLAN - AREA A
ADD Section mark F/S5.3 between gridline D.2-C.2-11.2.

- 5.8. SHEET S-1.3B, HIGH ROOF FRAMING PLAN - AREA B
REVISE CMU wall between gridlines P.8-7-9.2 to metal stud wall.
DELETE Unassigned section marks between gridlines P.8-7-9.2.
REVISE Section mark F/S5.3 between gridline 11-D.2-H.1 to K/S-5.6.
- 5.9. SHEET S-1.3C, HIGH ROOF FRAMING PLAN - AREA C
DELETE Section G/S5.2 similar between gridlines 13-Q-T.
ADD Section mark G/S5.2 similar between gridlines F'-3.1'-13 for canopy.
ADD Section mark H/S5.6 similar at low roof between gridlines 14-M.2-L for skylight.
REVISE Direction for section F/S5.3 turned 180 degrees and "similar" added between gridlines 22-P-M and 22-C'-E'.
REVISE Direction for section F/S5.2 turned 180 degrees between gridlines 21-22-T and 26-28-T.
ADD Top of steel for W18x35 at gridlines D.2-12.1'-14' and gridlines M-24.1-25.9 as 29'-1".
ADD Top of steel for W21x44 at gridlines P.1-22-24 as 28'-7".
REVISE Section mark F/S5.3 to K/S5.5 similar around gridline 14'-D.2'-C.1' and M-P-25.9.
- 5.10. SHEET S-5.1, SECTIONS
REVISE Section G/S5.1 per attached sketch SK-S-2.
- 5.11. SHEET S-5.2, SECTIONS
REVISE Section A/S5.2 per attached sketch SK-S-3.
- 5.12. SHEET S-5.3, SECTIONS
REVISE Section J/S5.3, to show the distance of 5"x5"x5/16" continuous angle from bottom track to be 1'-4".
REVISE Section H/S5.3 per attached sketch SK-S-4.
REVISE Section F/S5.3 to show brick veneer with 8"x8"x1/2" continuous angle cut and trim as required at similar. The 600S162-54 studs at 16" o.c. to read, "600 S162-54 studs at 16" o.c. with top and bottom track. C6x8.2 at 4'-0" o.c. with 600S162-54 stud infill at 16" o.c. at similar. 1/4" weld for angle to channel is provided at top of angle. 3/16" weld is provided on both sides of angles to channel. 1/2" steel plate is provided and note, "Refer to detail J/S5.3 for C6x10.5 to 1/2" steel plate at similar."
- 5.13. SHEET S-5.4, SECTIONS
REVISE Section A/S5.4 to show CMU wall extending past the high roof and the 12"x3"x5/16" bent plate to 5"x3"x1/4" bent plate continuous.
REVISE Section J/S5.4 per attached sketch SK-S-5.

REVISE Section K/S5.4 per attached sketch SK-S-6.
REVISE In section L/S5.4, dimension 7" max to read 8-3/4".

5.14. SHEET S-5.5, SECTIONS

REVISE Section G/S5.5 per attached sketch SK-S-7.
REVISE Section K/S5.5 per attached sketch SK-S-8.
REVISE Section M/S5.5, CMU wall to end below roof deck and the bent plate from 4"x4"x5/16" to 15.5"x4"x3/8". Roof deck extends over the top of CMU wall.

5.15. SHEET S-5.6, SECTIONS

REVISE Section G/S5.6 per attached sketch SK-S-9.
REVISE Section H/S5.6 per attached sketch SK-S-10.
ADD Section J/S5.6 per attached sketch SK-S-11.
ADD Section K/S5.6 per attached sketch SK-S-12.

MECHANICAL:

6.1. SHEET M1.1B, PARTIAL FIRST FLOOR PLAN – AREA B- HVAC

REVISE: Duct between the manual volume damper and the supply register over Platform B127 from 8-inch diameter to 10-inch diameter acoustically lined.

6.2. SHEET M-5.3, DETAILS AND DIAGRAMS

REVISE: Note as indicated on sketches SK-M-1 and SK-M-2.

ELECTRICAL:

7.1. SHEET EL -1.1A, FIRST FLOOR PLAN – AREA A – LIGHTING

ADD: Designations to lighting fixtures in corridor C11 as follows:

- a. 6" x 4' linear fixtures: Type B2
- b. 6" x 6' linear fixtures: Type B3
- c. 6" round downlights: Type J

7.2. SHEET EP1.1B, FIRST FLOOR PLAN – AREA B - POWER

ADD: Electrical connections for projection screen as indicated on sketch SK-E-

15.

TELECOMM:

**8.1 SHEET T-5.4, DETAILS – TELECOM
VIDEO ENTRY SYSTEM DIAGRAM**

ADD: Add the following note to VIDEO ENTRY SYSTEM DIAGRAM :
Provide complete video entry system by Aiphone AX series. Video Entry system shall include central exchange unit (AX-084C), power supplies, door release adaptors, flush mount door stations (AX-DVF) , desktop video entry master stations (AX-8MV-W) and stands, cabling, and all required equipment and products for a complete and operational system.

CLARIFICATIONS:

(1) QUESTION: I wanted to clarify – will the owner (i.e. BCPS) be hiring an independent inspection agency for structural steel testing, concrete testing, soils testing etc. at Lansdowne Elementary School or will that fall under the general contractor?

RESPONSE: ***BCPS will independently select and hire a testing agency.***

(2) QUESTION: Assuming the former, will your team issue a separate RFP for testing & inspection services?

RESPONSE: ***A separate RFP for testing services will not be generated for this project.***

(3) CLARIFICATION: While reviewing the specifications for this Project, I noted what I believe to be errors, and one omission.

On Pgs. 763-764 of Spec Volume II, the following is inconsistent with the current BCPS system. The sections are:

- 2.5 Software
- 2.6 Video Network Server and Network Video Recorder
- 2.7 Video Network Switch

Also typically included under one of the Security subsections is a statement that this work must be performed by one of the current BCPS on call security Contractors. It appears this statement was omitted.

I have included as an attachment the list of current on call Vendors.

RESPONSE: ***Refer to updated Video Surveillance Spec section 282300 issued as part of this addendum for software and switch requirements. Provide one (1) Interlogix TruVision TVN-2132-P-16T network video recorder.***

(4) CLARIFICATION: There is no indications on any of the prints to cover the parking lot lights with locations and and types?

RESPONSE: ***Please see sheet ME-0.1.***

(5) CLARIFICATION: On print E1.1C in corridor C11 there are several fixtures without a type indication?

RESPONSE: ***Please see addendum no. 2 for fixture types.***

- (6) QUESTION: 275123 page 8 2.4 CLASSROOM EQUIPMENT and page 8.2.5 ADMINISTRATIVE OFFICE EQUIPMENT. These sections reference Staff /classroom Telephone handsets to be provided by the Contractor and references Electronic Key Telephone equipment. To be provided by owner. Question isn't Baltimore County providing a VOIP telephone system? Also are they providing the staff/classroom and admin phones for this system?
- RESPONSE: ***BCPS to provide VoIP telephone handsets in each classroom***
- (7) QUESTION: INTERACTIVE WHITEBOARD PROVISIONS DETAIL
Question Bid set drawing T-0.1 shows the interactive white board provision detail are we to provide a local classroom sound system For this application?
- RESPONSE: ***There are no integral audio speakers for the interactive white board.***
- (8) QUESTION: The issued specification section provides a singular path for one manufacturer, thus excluding others. Specifically, the specifications lists performance requirements without designation of whether the fireproofing must be a durable cementitious (wet mix) material or a friable inorganic mineral fiber (dry mix) material. Cementitious (wet mix) materials are offered by all major manufacturers while mineral fiber (dry mix) is only offered by one manufacturer. Will friable, easily damaged, 100% inorganic dry-mix fireproofing materials that prompted tougher building code requirements be allowed? If so, will a warranty still be required per the specification and will allowances be made for increased patching costs?
- RESPONSE: ***A dry mix type fireproofing is permitted provided it meets specified performance requirements. The specified warranty would still be required for the dry mix type. Additional allowances for patching will not be allowed.***
- (9) REQUEST: Energy Recovery Unit - We respectfully request that Petra be considered an acceptable alternate. Petra may provide significant value to the County by meeting or exceeding project requirements at a reduced cost.
- RESPONSE: ***Per BCPS, Petra has been added.***
- (10) REQUEST: Dedicated Outside Air System - We respectfully request that Petra be considered an acceptable alternate. Petra may provide significant value to the County by meeting or exceeding project requirements at a reduced cost.
- RESPONSE: ***Per BCPS, Petra has been added.***
- (11) REQUEST: Rooftop Water Source Heat Pump: We respectfully request that Petra be considered an acceptable alternate. Petra may provide significant value to the County by meeting or exceeding project requirements at a reduced cost.

RESPONSE: *Per BCPS, Petra has been added.*

(12) REQUEST: Water Cooled Variable Refrigerant Flow Systems- We respectfully request that Samsung be considered an acceptable alternate. Samsung may provide significant value to the County by meeting or exceeding project requirements at a reduced cost.

RESPONSE: *Per BCPS, Samsung has been added.*

(13) REQUEST: Vertical Water Source Heat Pumps - We respectfully request that Omega be considered an acceptable alternate. Omega may provide significant value to the County by meeting or exceeding project requirements at a reduced cost.

RESPONSE: *Per BCPS, Omega is not an acceptable alternate.*

(14) REQUEST: Ductless Split Systems - We respectfully request that Samsung be considered an acceptable alternate. Samsung may provide significant value to the County by meeting or exceeding project requirements at a reduced cost.

RESPONSE: *Per BCPS, Samsung has been added.*

(15) QUESTION: We're interested in quoting the Lansdowne Elementary School project to furnish and deliver the green roof system. Do you know whether substitutes to the basis of design are currently being accepted? We believe we could bring some cost savings to your project and would like the opportunity to bid.

RESPONSE: *Substitutions are not permitted during the bid phase, per 01 60 00, Part 3.1.A. Substitutions will be considered after Bids per 01 60 00, Part 3.1.B.-G.*

(16) QUESTION: We're interested in quoting the Lansdowne Elementary School project to furnish and deliver the green roof system. Do you know whether substitutes to the basis of design are currently being accepted? We believe we could bring some cost savings to your project and would like the opportunity to bid.

RESPONSE: *Substitutions are not permitted during the bid phase, per 01 60 00, Part 3.1.A. Substitutions will be considered after Bids per 01 60 00, Part 3.1.B.-G.*

(17) CLARIFICATION: Metal column covers spec 055813 do not appear to have any plan details to show the intended design nor to indicate which columns receive the treatment. The only indication we have found is the interior elevations at the Dining and Media Center which call out metal column covers. Please provide column details or which columns will receive the column wraps.

RESPONSE: *Column covers are to be provided for exposed columns in rooms B128, C100 and C143. Location will be clarified in the specifications in Addendum no. 2.*

(18) **QUESTION:** Specification Section 116142, Article 2.4, Paragraph B1.a lists ADC Type 283-R for the Main Curtain. Based on the curtain size, the specified track manufacturer Automatic Devices Company recommends using their Track Model 170 Track in lieu of that specified which is more than adequate for the application. Is this acceptable?

RESPONSE: *Track Model 170 is not acceptable. Provide track as specified.*

(19) **QUESTION:** Specification Section 116142, Article 2.5, Paragraph "C" states that the individual pipe battens in each to be located on 4 foot centers. Drawings A-7.1B depict dashed lines above the Platform B127 that appear to represent the pipe grid system, which is on 3 foot centers.

RESPONSE: *Pipe grid is to be on 4 foot centers, per note on A-7.1B. Graphic representation of grid on A-7.1B will be revised in Addendum no. 2.*

(20) **QUESTION:** What is the desired width of the curtain in Room C107 – Video Production Studio?

RESPONSE: *Width of curtain to be 60% of track length. Width will be clarified in Addendum no. 2.*

(21) **QUESTION:** Specification Section 116142, Article 2.3, Paragraph "F" is entitled Front Curtain and Video Production Assembly. Sub-Paragraph 1 states that the Front Curtains shall be 23 ounces cotton with a denim lining. Is the curtain for the Video Production Room fabricated with the same material?

RESPONSE: *The curtain for the Video Production Room is to be fabricated with the same material as the Front Curtain. Material will be clarified in Addendum no. 2.*

(22) **QUESTION:** Specification Section 116142, Paragraph A.1.a and A.2.a states that the House Curtain Fabrics are IFR Polyester Velour 25-26 oz per linear yard and the lining is IFR polyester. Article 2.3, Paragraph "F" entitled Front Curtain and Video Production Assemble, sub-paragraph 1 state that the Front Curtains shall be 23 ounces cotton with a denim lining. Are we to provide cotton or polyester?

RESPONSE: *Provide materials per Part 2.2. Materials will be clarified in Addendum no. 2.*

(23) **QUESTION:** Specification Section 116142, Article 2.4 "E.3" states to shop paint completed pipe battens with a good quality primer. While we can provide painted battens, the painted surface may chip with the adding or removing of equipment over time. Therefore, we recommend black iron pipe, finished with a clear lacquer finish that is more durable than a painted surface. Is this acceptable?

RESPONSE: *Per Part 2.4. E.1, the battens are to be from 1 ½" o.d. black*

iron pipe. Provide shop primer per Part 2.4. E.3.

(24) QUESTION: Is it permissible to install the curtains tracks on the Platform B127 directly to the underside of the pipe grid or do the tracks have to be independently supported from the overhead structure?

RESPONSE: ***Support tracks independently from the overhead structure***

(25) QUESTION: Specification Section 116142, Article 2.2, Paragraph "A.3" lists legs, borders, and travelers as being fabricated from 22oz. IFR black fabric. Article 2.3, Paragraph "G" suggests that the Teasers and Borders get fabricated from the same type of material as the Main Curtain. What type of fabric is required?

RESPONSE: ***Teaser and borders are to be fabricated from the same type of material as the Main Curtain. Material will be clarified in Addendum no. 2.***

(26) QUESTION: In accordance with Specification Section 116142, Article 2.3, Paragraph "H" the cyclorama curtain gets fabricated from seamless white muslin. Does this curtain receive any fullness?

RESPONSE: ***Provide 60% fullness for the cyclorama curtain. Fullness will be clarified in Addendum no. 2.***

(27) QUESTION: Is Tesco Library Furniture an acceptable substitution for the Library Stack System, Specification Section 115123? Tesco has provided modular wood-library shelving in both oak and maple veneer finish on many school projects throughout Maryland and surrounding areas.

RESPONSE: ***Substitutions are not permitted during the bid phase, per 01 60 00, Part 3.1.A. Substitutions will be considered after Bids per 01 60 00, Part 3.1.B.-G.***

(28) QUESTION: Are we to assume Waiting Rooms A100 / A122 / A124 & Secretary Areas A101-A102 receive 4-color VCT pattern?

RESPONSE: ***4-color VCT pattern to be provided in A100, A101, A102, A122, A124, A125, and Stair 4. Spaces to receive 4 color pattern will be clarified in Addendum no. 2.***

(29) CLARIFICATION: Please clarify ALL rooms that are to be considered "Classrooms" to receive 2-color VCT patterns.

RESPONSE: ***All rooms designated as classroom, kindergarten, pre-kindergarten, ECL, ESOL, Remedial Reading, Special Education, Maker Space, Digital Learning, Instrumental Music, and Vocal Music are considered classrooms. Spaces to receive 2-color pattern will be clarified in Addendum no. 2.***

- (30) **QUESTION:** Collaborative Learning Rooms C130 / C143 / C231 & C239 have no breakpoints from adjoining Corridors. Are we to assume these areas receive 4-color VCT pattern?
- RESPONSE:** *Collaborative Learning areas will receive 4-color VCT pattern. Pattern in collaborative learning areas will be clarified in Addendum no. 2.*
- (31) **CLARIFICATION:** Spec section 09 65 00 states Alternate 10 is found in Contract Documents and/or drawings. Drawing A8.1, listed as "Alternates" does not show Alternate 10. Please provide all rooms to be considered in Alternate 10.
- RESPONSE:** *Alternates are listed in Specification Section 01 23 00 Alternate Bids. Please see finish schedule for rooms to be included in Alternate 10.*
- (32) **CLARIFICATION:** Please provide dimensions for frame type 20 on A-3.6
- RESPONSE:** *Please see Addendum no. 2 for sketch with dimensions.*
- (33) **QUESTION:** There is no label on the last frame type on A-3.7. Is this used anywhere?
- RESPONSE:** *Last frame is HM 42, which is located at doors E013, E012, and E008. Locations will be clarified in Addendum no. 2.*
- (34) **CLARIFICATION:** Doors E008, E011, E012, E013 are assigned frame type 23 but this is a borrowed light frame. Please clarify.
- RESPONSE:** *E008, E011, E012, E013 are to receive HM frame 42. Please see Addendum no. 2.*
- (35) **CLARIFICATION:** Openings A106 and A123 are drawn with a sidelight, but are scheduled to have a 3 sided frame. Please clarify.
- RESPONSE:** *Openings A106 and A123 are to have HM frame 22. Please see Addendum no. 2.*
- (36) **QUESTION:** Is frame type 14 used?
- RESPONSE:** *Door B128 has frame type 14.*
- (37) **CLARIFICATION:** Please clarify which doors, if any have an STC rating. Note 12 on the door schedule is not used.
- RESPONSE:** *A sound rated door system is not part of the scope of work.*
- (38) **CLARIFICATION:** Please clarify which doors are the Integrated Metal Door Assemblies in spec section 081713.
- RESPONSE:** *Doors C 10, C12, C20 and C22 have integrated metal door assemblies. Please see Addendum no. 2.*

(39) CLARIFICATION: Reference Instruction to bidders Section 02000-3 paragraph 7.0 Time of Completion. This paragraph indicates a start date on March 2017 and a finish date of August 1, 2018. Drawings C-0.4A and C-0.4B indicate phasing with different dates. Please confirm Phasing and completion dates. Also please provide narrative for phasing.

RESPONSE: *Substantial completion is needed by August 1, 2018.*

(40) CLARIFICATION: Reference Instruction to bidders Section 02000-3 paragraph 7.0 Time of Completion. This paragraph indicates a start date on March 2017 and a finish date of August 1, 2018. Drawings C-0.4A and C-0.4B indicate phasing with different dates. Please confirm Phasing and completion dates. Also please provide narrative for phasing.

RESPONSE: *Substantial completion is needed by August 1, 2018.*

(41) QUESTION: Section 084313 2.3.D.6 lists a requirement for insect screens at operable vents. Are screens to be provided for all operable vents, or only those in kitchen and cafeteria areas?

RESPONSE: *Spec does not limit location of screens. Insect screens are required at all operable vents.*

(42) QUESTION: Section 084413 1.2.B notes that the system is not allowed to be fabricated at the installer's shop and must be done at the factory (manufacturer). Does this only apply to the curtain wall on the project, or storefront as well?

RESPONSE: *This requirement is indicated in 08 44 13. It is not in 08 43 13.*

(43) QUESTION: Section 084413 notes both color anodized and 2605 painted finishes. Should the color anodized finish be used since that is what is specified for storefront?

RESPONSE: *Curtain wall is to be clear anodized.*

(44) QUESTION: Many of the storefront doors are shown as type HG which is a half flush door. Some of the specified storefront manufacturers, including the basis of design, do not manufacture doors of this type. They only produce standard full lite storefront doors. Is it acceptable to quote full lite doors on this project, or two lite doors with a mid-rail?

RESPONSE: *HG or FG2 doors are acceptable.*

(45) QUESTION: Door type FG2 is shown with a 12" top rail, but specified in 084313 2.3.C.2 as 4". Which is to be used, 4" is more standard?

RESPONSE: *Proceed per specification section 08 43 13.*

- (46) **QUESTION:** Specification Section 312300, Part 3.14B, indicates drainage fill under the building slab to be minimum of 12" thick. On Drawing S1.1A, note 1, indicates 4" of washed gravel under the building slab. Is the 12" thick drainage layer in lieu of 4" washed gravel or in addition to the 4" washed gravel?
- RESPONSE:** *Provide 4" washed gravel under the building slab. Reference to 12" of drainage layer will be deleted in Addendum. no. 2.*
- (47) **QUESTION:** Specification Section 313213.16, Part 1.1B, indicates to include 5,000 SY of cement soiling. Is this in addition to 5,000 SY that is part of the unit pricing to be provided and included in the bid? If so, will 5,000 SY mentioned in the aforementioned specification section be governed by the unit price for addition/credit for unused quantities?
- RESPONSE:** *Provide 5,000 ST of cement soiling. Amount indicated in 31 23 12.16, Part 1.1.B is not addition to the amount to be included in the bid.*
- (48) **CLARIFICATION:** Please provide a specification section for the soft surface playground area as none is provided.
- RESPONSE:**
- (49) **QUESTION:** Is playground equipment in our scope of work? There are specification section and drawings provided.
- RESPONSE:** *Soft surface playground area is not in the scope of work.*
- (50) **CLARIFICATION:** 1.2 Specification Section 05 12 00 "Structural Steel Framing" Section "Reference Standards" includes the AISC requirement. Please verify that AISC is a requirement.
- RESPONSE:** *AISC is a requirement per specification section 05 12 00 – 1.3C.*
- (51) **CLARIFICATION:** Per Specification Section 230506 – Curbs and Flashing for HVAC Piping and Equipment, Part 3.20C, calls for HVAC equipment curbs to be attached to roof construction with a 6-inch wide wood frame the thickness of the roof insulation. However, when you refer to detail 8/M-5.03 it shows equipment curbs sitting directly on the roof deck. Furthermore, detail 10/M-5.03 shows (1) layer of wood blocking. Please advise which is correct.
- RESPONSE:** *Detail 10 is the typical roof curb detail. Refer to architectural drawings for associated roofing. The other details are meant to address other items and the curb portions are illustrative. The specifications have been changed in Addendum #2.*
- (52) **CLARIFICATION:** Please clarify the extent of Corridor tile. There is no mention of tile on the finish schedule. Is the intent to have wainscot on all walls without lockers in corridors, or only the areas shown on elevations an A 6.6. Please define the meaning of ELA's in the specs referring to Corridor tile.

RESPONSE: *Provide tile as indicated on A-6.6, and at all locations in corridors with gyp. board wall finish. Please see addendum no. 2*

(53) QUESTION: Toilet elevations do not show base or bullnose on walls requiring tile. Is the intent to have the wall tile field run off the floor on these walls and have cove base on all other walls? Also, is bullnose desired on top of the 7' wainscot on the tiled walls?

RESPONSE: *Bullnose is desired on the top of the 7' wainscot – Per 09 30 00, Part 2.2.A.1.a. Provide cove base at all walls, per finish schedule. Please see Addendum no. 2*

(54) CLARIFICATION: Please confirm dimensions for frame type 20 on A-3.6.

RESPONSE: *Please see Addendum no. 2 for sketch with dimensions.*

(55) CLARIFICATION: There is not a label on the last frame type on A-3.7. Is this frame type used anywhere?

RESPONSE: *Last frame is HM 42, which is located at doors E013, E012, and E008. Locations will be clarified in Addendum no. 2.*

(56) CLARIFICATION: Doors E008, E011, E012, and E013 are assigned frame type 23 but this is a borrowed light frame. Please clarify.

RESPONSE: *E008, E011, E012, E013 are to receive HM frame 42. Please see Addendum no. 2.*

(57) CLARIFICATION: Please clarify if frame type 14 is used.

RESPONSE: *Door B128 has frame type 14.*

(58) CLARIFICATION: Please clarify which doors, if any, have an STC rating. Note 12 on the door schedule is not used.

RESPONSE: *A sound rated door system is not part of the scope of work.*

(59) CLARIFICATION: Please clarify which doors are the Integrated Metal Door Assemblies in Specification Section 081713.

RESPONSE: *Doors C 10, C12, C20 and C22 have integrated metal door assemblies. Please see Addendum no. 2.*

(60) QUESTION: Section 116623, paragraph 2.4.B. specifies safety mat hooks but none are shown on the drawings. Will safety mat hooks need to be provided for this project? If so, how many and at what locations?

RESPONSE: *Provide 9 mat hooks at room B130. Please see Addendum no. 2*

(61) QUESTION: Specification Section 27 51 23 - Integrated Telecommunications System 2.1 Acceptable Manufacturers, A. lists Telecor 21, Rauland-Borg Telecenter 21, or Bogen 2100 as the only acceptable manufacturers for the project. Baltimore County Public Schools has listed Dukane as an approved manufacturer for School Intercom System Equipment & Electronic Parts, meets the entirety of the specification requirements and, has been installed in several Baltimore County Schools: Vincent Farm ES, Parkville HS, Milford Mill Academy, Hampton ES and Deer Park MS. Please consider adding Dukane to the list of approved manufacturers for the Integrated Telecommunications System.

RESPONSE: ***The Dukane Starcall is an acceptable manufacturer for intercom/public address.***

(62) CLARIFICATION: Based on drawing C-0.4A phasing and the sequence of construction described on C-6.11 the building construction is scheduled to start July 1, 2017 and be complete by August 1 2018 (13 month duration). If the project started March 2017 as indicated in the specifications and based on the sequence of construction on C-6.11 this would make the building pad available also on or about July 1 2017. Based on our experience a project of this size (98,000 sqft), with the LEED Requirements and Enhanced Commissioning and the sequence of construction established on C-6.11 this should be 16-18 month construction duration after the building pad has been established. We request that you consider a December 1st completion of the new building allowing the students and staff to move into the new building in January 2018 after the winter break. If the duration remains as is we may elect to not bid this project. Please advise.

RESPONSE: ***The new school building shall be completed by August 2018.***

(63) CLARIFICATION: Drawing A-7.1B depicts the cyclorama curtain encompassing the platform area. Another note on the drawing suggests leg curtains but the arrow is pointing to the cyclorama curtain. Consequently, are these the same curtains? If legs are desired please advise the length of and whether they get mounted to tracks or in a fixed position.

RESPONSE: ***Legs are not required. Note will be deleted from A-7.1B in Addendum no. 2***

(64) CLARIFICATION: Based on drawing C-0.4A phasing and the sequence of construction described on C-6.11 the building construction is scheduled to start July 1, 2017 and be complete by August 1 2018 (13 month duration). If the project started March 2017 as indicated in the specifications and based on the sequence of construction on C-6.11 this would make the building pad available also on or about July 1 2017. Through our experience a project of this size (98,000 sqft), with the LEED Requirements and Enhanced Commissioning and the sequence of construction established on C-6.11 this should be 16-18 month construction duration after the building pad has been established. We request that you consider

a December 1st completion of the new building allowing the students and staff to move into the new building in January 2018 after the winter break. If the duration remains as is we may elect to not bid this project. Please advise.

RESPONSE: *The new school building shall be completed by August 2018.*

(65) CLARIFICATION: On drawing C-1.4 details 1, 2, 3, 6, 11, 14 all of the details say 2" chain link wire. On drawing C-8.2 details 1, 2, 3, 4 it says 1" chain link wire for the same details. Please clarify if the wire is to be 1" or 2".

RESPONSE: *Chainlink wiring at SWM facilities shall be 1-inch. Chainlink wiring at all other locations shall be 2-inch. Please see Addendum no. 2.*

(66) CLARIFICATION: Please confirm Quarry Tile installation is to be thinset installation at all areas except the freezers/coolers which will require a thick mortar bed. There is a note on Drawing S1-1.B showing a 2 ½" depression which conflicts with the walk-in cooler detail on K 102, and the associated specifications.

RESPONSE: *K 102 and S-1.1B show a 6" recess for the walk-in freezer and cooler. Quarry Tile to be thickset. Please see Addendum no. 2.*

(67) QUESTION: Drawing A-9.1B shows (4) total floor sleeves. Can it be confirmed no additional sleeves are necessary at the other side court location?

RESPONSE: *Provide floor sleeves at both side courts, for a total of 6 sleeves. Please see Addendum no. 2.*

(68) CLARIFICATION: Drawing E-1.1C on the North side in Corridor C11. Need specification Types for fixtures in this area.

RESPONSE: *Fixture types are provided in Addendum no. 2.*

(69) QUESTION: Drawing T-1.1A through T-1.2C shows dotted lines throughout the corridors. Is this Cable Tray or some other designation?

RESPONSE: *The dashed lines are drawing match lines*

(70) QUESTION: Will you provide Riser Diagram Drawings for Plumbing Systems: Stormwater, Sanitary / Vent and Domestic Water, this is standard for plumbing design? Please clarify.

RESPONSE: *Riser Diagrams are provided for the major plumbing items. A complete riser diagram for the entire system will not be provided.*

(71) CLARIFICATION: Please provide complete Riser Diagram drawings for Plumbing

Systems: Stormwater, Sanitary/Vent (complete) and Domestic Water. Not sure why these weren't included in the bid documents. This is standard operating procedure for plumbing design.

RESPONSE: *Riser Diagrams are provided for the major plumbing items. A complete riser diagram for the entire system will not be provided.*

(72) CLARIFICATION: Drawing C-2.1 indicates "soccer Field" with Detail 2/C1.6 ' associated with it. Is this supposed to be Detail 5/C1.6?

RESPONSE: *Riser Diagrams are provided for the major plumbing items. A complete riser diagram for the entire system will not be provided.*

(73) CLARIFICATION: We cannot locate the concrete retaining wall shown on Drawing S-3.1, Detail P. Please clarify where this retaining wall occurs.

RESPONSE: *Limits of the wall are shown on the civil plans. Starting and ending coordinates have been added in the callouts.*

(74) CLARIFICATION: It seems like there is conflicting information regarding the retaining wall at Bioretention Pond #2. Drawing C-7.1 states concrete retaining wall but Drawing C-2.1 states versa-lok wall with no specifications or details provided. Please clarify which is correct. Also, please indicate location, length and height of the retaining at BioPond #2 since it is not clear on the drawings.

RESPONSE: *The retaining wall is concrete. Versa-Lok does not apply. See structural drawings for retaining wall details.*

(75) CLARIFICATION: Please refer to details D10, F10, and J10/A-3.9 and please also refer to the attached Exhibit 1 indicating proposed modifications to these details to accommodate the rain-screen panel design. Specifically addressed is the window wall installation where the system is spanning the rain-screen wall cavity.

RESPONSE: *Provide details per contract documents.*

(76) CLARIFICATION: Please note that we have indicated and air/vapor barrier the covers the entire CMU wall and the sheathing behind the panel system. If the insulation as shown and specified in section 072127 "Enclosed Cavity Foamed Insulation" acts as the air/vapor barrier, please disregard that note on the proposed details.

RESPONSE: *Enclosed Cavity Foamed Insulation is the air/vapor barrier.*

(77) CLARIFICATION: Please note that we propose a continuous galvanized angle be installed at the entire perimeter of the window wall openings to transfer the air seal, water line of the system to the primary sealant joint of the storefront system. Blueskin (or other compatible self-adhering membrane) is shown stripped in over the perimeter angle. This will allow the sealant joint to have continuity around the entire perimeter.

RESPONSE: *Provide details per contract documents.*

(78) CLARIFICATION: Please note the detail also indicates a “cant strip” inserted on top of the angle and under the transition silicone membrane which provides a clear space for window anchorage without the risk of penetrating any flashing or air vapor barrier.

RESPONSE: *Install details per contract documents.*

(79) CLARIFICATION: Please also see the attached supporting Technical Bulletin TB-07-03 “Single Skin Profile Wall Applications Utilized as Rain-screens” as prepared by the specified panel manufacturer, Centria.

RESPONSE: *Provide details per contract documents.*

(80) CLARIFICATION: Please note that this modification definitely has a cost impact on the project. If this modification is acceptable, please incorporate into the bid documents. Otherwise, we will bid as currently detailed.

RESPONSE: *Provide details per the contract documents.*

(81) CLARIFICATION: Detail A14/A-3.9 will require a transition silicone membrane to be applied over the perimeter angle for proper weathering similar to the discussion in item 4. Please indicate if this should be required.

RESPONSE: *Provide Detail A14/A-3.9 per the contract documents.*

(82) CLARIFICATION: On drawing A3.1, note 6 states that the wall tile is to extend to a height of 7'0 but elevations on drawing A5.1 indicates an 8'0 height. Which is correct? Are we to terminate with a tile? Or is there a trim that we should include at the top of the wainscot?

RESPONSE: *Tile goes to 8'-0”, with bullnose tile at top. Please see Addendum no. 2.*

(83) CLARIFICATION: On drawing A5.1, elevations show full tiles starting at the floor but typical note 5 on drawing A3.1 states that the base tile is to be flush with wall tile. Please confirm if a base tile is required at wall tile.

RESPONSE: *Provide cover base and bullnose at top row of tile. Please see Addendum no. 2.*

(84) CLARIFICATION: On drawing A5.1 detail 13 states that the school will provide graphics that are to be installed over sinks but elevations do not indicate this detail. Please confirm the height and width at which these tiles are to be installed.

RESPONSE: *Note 5 has been deleted in Addendum no. 2.*

(85) CLARIFICATION: Drawing K102 shows quarry tile in the color to be installed using “2 layers of wire mesh fabric”. Are we to include the installation of the tile using a wire reinforced mud bed? Or will a concrete subfloor be provided for us to install using a thin set method?

RESPONSE:

- (86) **CLARIFICATION:** On drawing A3.3, there is a detail of a marble threshold at the transition from quarry tile but the door schedule does not indicate use. Please confirm the transition product desired.
- RESPONSE:** *Please see response to question 66.*
- (87) **CLARIFICATION:** On drawing A3.1, note 4 indicates that the shower floor is to receive tile and typical note 1 on drawing A5.1 indicates that tile is to be sloped to any drains. The floor tile specified is 12x24. The only way to slope the floor with a large tile is to cut the pitch into the tile. Can you confirm that you want the specified floor tile in the shower? Is it acceptable at all drains for the tile to be cut to create the pitch? If not, please clarify how the pitch should be created.
- RESPONSE:** *The tiles shall be cut to fit the slope.*
- (88) **CLARIFICATION:** On drawing A3.1, the finish schedule does not indicate wall tile in the corridors but elevations on drawing A6.6 shows wall tile. Please confirm that the elevations are correct.
- RESPONSE:** *Please see response to question 52.*
- (89) **CLARIFICATION:** Typically toilet rooms call for porcelain wall tile at the wet wall. However, room C137 and B117 calls for ceramic tile. Please confirm the correct tile for these locations.
- RESPONSE:** *B117 and C137 to be porcelain wall tile. Please see Addendum no. 2.*
- (90) **CLARIFICATION:** At the group toilets on the 2nd floor, all walls are scheduled to receive the porcelain tile wainscot but all first floor toilets call for wall tile on the wet wall only. Please confirm that this is correct for A128, A129, B100, and B101.
- RESPONSE:** *Proceed per the contract documents with tile locations in group toilets.*
- (91) **CLARIFICATION:** At the 2nd floor toilets, please provide the point and means of transition between ceramic and VCT as there is no doors to delineate.
- RESPONSE:**
- (92) **CLARIFICATION:** Typical stairwells call for VCT on the floor but details do not indicate our finishes on the stairs. Are we to include VCT on the intermediate landings?
- RESPONSE:** *Transition location is called out on A-5.1.*
- (93) **CLARIFICATION:** Drawing A-6.6 at Diagram H15 it shows Hollow Metal Frame #8, however on page A-1.1 C it does not show Hollow Metal Frame #8. Please clarify if there is a Hollow Metal Frame #8.
- RESPONSE:** *Plan is cut below frame HM 8, so it does not show on plan. Provide per A-6.6.*

- (94) **CLARIFICATION:** Please provide Riser Diagram drawings for Plumbing Systems: Storm water, Sanitary/Vent (complete) and Domestic Water.
- RESPONSE:** *Riser Diagrams are provided for the major plumbing items. A complete riser diagram for the entire system will not be provided.*
- (95) **QUESTION:** Will the Demo Classification be waived for the General Contractors. The Demo Sub Contractor usually carries the Demo Prequalification under their name and the General Contractor usually only covers the New Construction Prequalification.
- RESPONSE:** *The General Contractor shall be pre-qualified BCDPW Classification "I", BUILDINGS, Category 1, New Building Construction. Demolition sub-contractors shall be pre-qualified Classification "I" BUILDINGS, Category 7, DEMOLITION.*
- (96) **CLARIFICATION:** We noted that the subject project has come back out for bid. But it is again listed as requiring certification in category 1-New Building Construction and category 7-Demolition. As we explained before, a General Contractor would not be qualified under the demolition code, and would subcontract that work to a qualified demolition contractor. Likewise, a demolition contractor could not build a new school. Please confirm that BCPS intends to keep these requirements. We believe this will severely limit competition on this project. A suggestion would be to require the demolition subcontractor to be qualified under category 7 by BCPS.
- RESPONSE:** *The General Contractor shall be pre-qualified BCDPW Classification "I", BUILDINGS, Category 1, New Building Construction. Demolition sub-contractors shall be pre-qualified Classification "I" BUILDINGS, Category 7, DEMOLITION.*
- (97) **QUESTION:** Will BCPS hire the agency to provide the construction testing and inspection services for the referenced project or will that be the responsibility of the general contractor?
- RESPONSE:** *BCPS will hire an independent agency for construction testing and inspection services.*
- (98) **QUESTION:** I wanted to submit a formal question in regards to the bid date for Victory Villa and Lansdowne Elementary. With the addendum that was issued for Victory Villa yesterday they are both now bidding on 12/15 at 1pm and 2pm. With these being due on the same day it is going to be very difficult for us to bid both projects and I'm sure it will be difficult for the other GC's as well. Was your intention to have both projects bidding on the same day? We have never really seen this done especially by the same

owner. We feel that Lansdowne should now be pushed a week in order to have enough time to properly review everything and to allow us to submit bids for both projects.

RESPONSE: *The bid date for Lansdowne Elementary School will remain. The bid date for Victory Villa Elementary School will be revised.*

(99) QUESTION: Note Victory Villa's bid date has been changed to December 15, 2016. Please advise if you plan on changing Lansdowne's Bid Date.

RESPONSE: *The bid date for Lansdowne Elementary School will remain. The bid date for Victory Villa Elementary School will be revised.*

(100) QUESTION: Will BCPS be moving the bid due date back due to the fact that Victory Villa, a project of similar size and scope, will be bidding at the same time now as Lansdowne?

RESPONSE: *The bid date for Lansdowne Elementary School will remain. The bid date for Victory Villa Elementary School will be revised.*

(101) CLARIFICATION: Note Victory Villa's bid date has been changed to December 15, 2016. Please advise if you plan on changing Lansdowne's Bid Date.

RESPONSE: *Lansdowne Elementary School's bid date will remain. Victory Villa Elementary School's bid date will be revised.*

(102) QUESTION: Who is responsible for providing independent testing/inspection services (steel, concrete, compaction, etc.), BCPS or the contractor?

RESPONSE: *BCPS is responsible for providing independent testing/inspection services (steel, concrete, compaction, etc.)*

(103) QUESTION: Who is responsible for providing commissioning agent services, BCPS or the contractor?

RESPONSE: *Commissioning agent services are not in the contractor's scope of work.*

(104) CLARIFICATION: Please confirm that the completion date for the new building is August of 2018 and the existing building demolition along with the associated site work is to follow the phasing plan shown on Drawings C0.4B.

RESPONSE: *The completion date for the new building is August of 2018. The existing building demolition and its associated site work will follow the phasing plan shown on Drawing sheet C0.4B.*

(105) QUESTION: I just left you a voicemail, but wanted to follow up here. My firm, Engineering Consulting Services (ECS), would like to provide pricing for structural steel testing, concrete testing, soils testing

etc. for the new Lansdowne Elementary School project. I understand that Baltimore County Public Schools will be hiring for those services directly, but I haven't seen anything come out on eMaryland Marketplace requesting pricing. Will you be sending out a separate RFP at a later date? Any insight you can offer would be greatly appreciated!

RESPONSE: *A separate RFP for testing services will not be generated for this project. BCPS will independently select and hire a testing agency.*

(106) QUESTION: Can the AISC Certification for Steel Fabricators and erectors be waived? This limits sub-contractors from pricing the project.

RESPONSE: *For Fabricator who are not AISC, refer to specification section 05 12 00 – 1.4E.3. Steel Erectors need to be AISC certified per specification.*

(107) QUESTION: Who pays for the building permit? In Supplemental Condition 008000-1 it calls out that the Owner pays for the building permit and we are in charge of the rest. But in Spec section 008900 Permits, applications and fees it states the Contractor is to pay for all permits.

RESPONSE: *The Owner will pay for the building permit. Any other required permits, applications or fees will be the responsibility of the Contractor.*

(108) QUESTION: Will there be a site Visit?

RESPONSE: *Site visits are to be arranged and coordinated with the Building Operations Supervisor. Visits may occur before 8:00 AM or after 4:00 PM.*

(109) QUESTION: Will BCPS issue a bid form for the construction testing and inspection services or should the testing agencies submit their own bid form/proposal?

RESPONSE: *BCPS will not issue a bid form for the construction testing and inspecting services. BCPS will hire an independent inspection and testing agency for this project.*

(110) QUESTION: Will there be a walk-thru/site visit at Lansdowne ES?

RESPONSE: *Site visits are to be arranged and coordinated with the Building Operations Supervisor. Visits may occur before 8:00 AM or after 4:00 PM.*

CLARIFICATION: *Section 00400: FORM OF PROPOSAL paragraph 2.4 Unit Price has been reduced from 59 to 37 line items. A corrected page 7 of 20 from the specification solicitation and a corrected pages 7 & 8 of 10 from the 00400 Form of Proposal – Price Proposal [excerpt] are attached for your submission.*

LIST OF SKETCHES:

CIVIL SKETCHES:

SK-C-19 thru SK-C-24D

ARCHITECTURAL SKETCHES:

SK-A-2.1 thru SK-A-2.13

STRUCTURAL SKETCHES

SK-S-1 thru SK-S-11

MECHANICAL SKETCHES

SK-M-1 and SK-M-2

ELECTRICAL SKETCHES

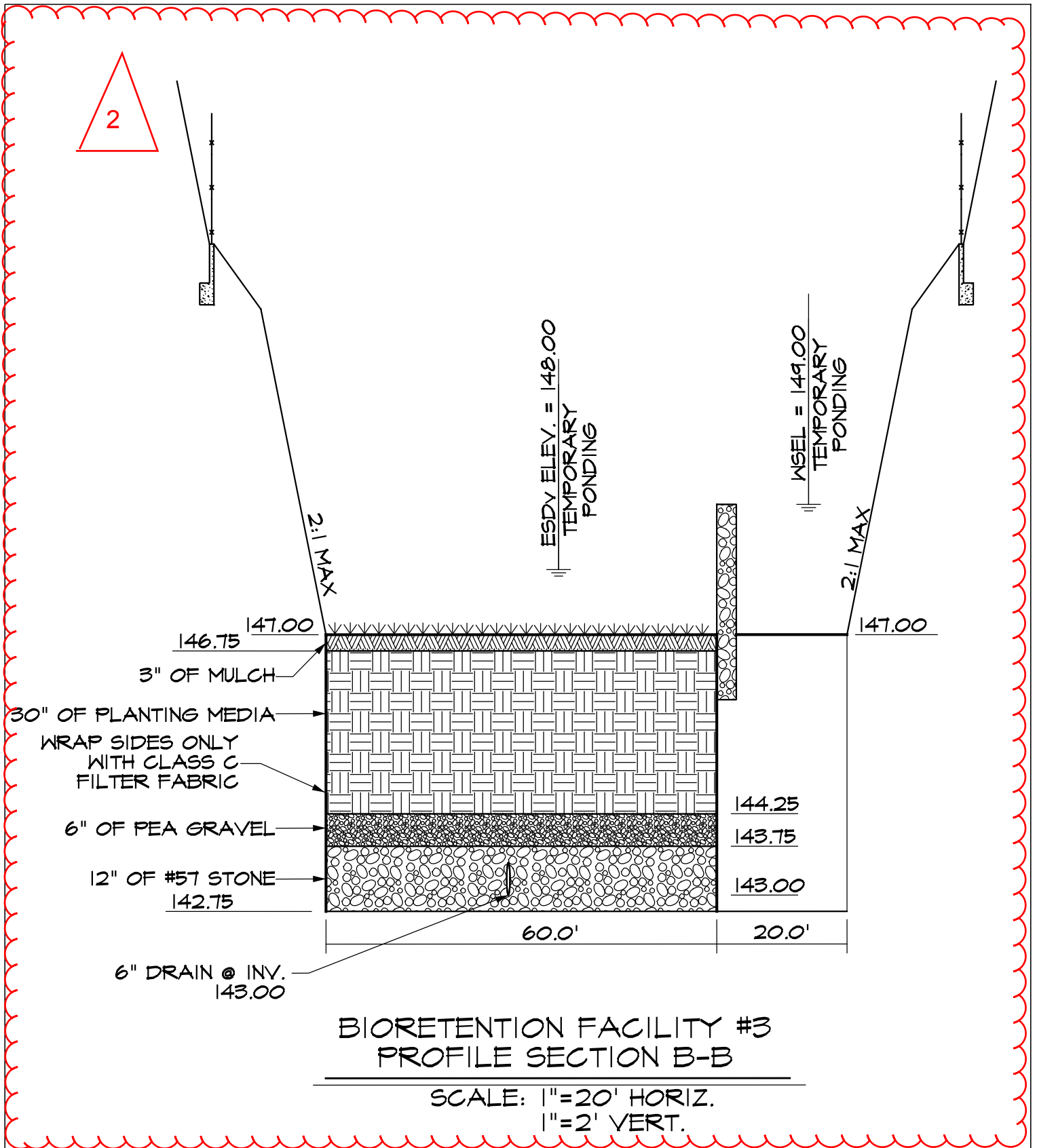
SK-E-15

END OF ADDENDUM

Melvin E. Burley

Melvin E. Burley, C.P.M., CPPO, CPPB
Purchasing Agent – Office of Purchasing

Bid file



LANSDOWNE ELEMENTARY SCHOOL
REVISION TO DRAWING

SCALE: N.T.S.

DATE
12/08/16

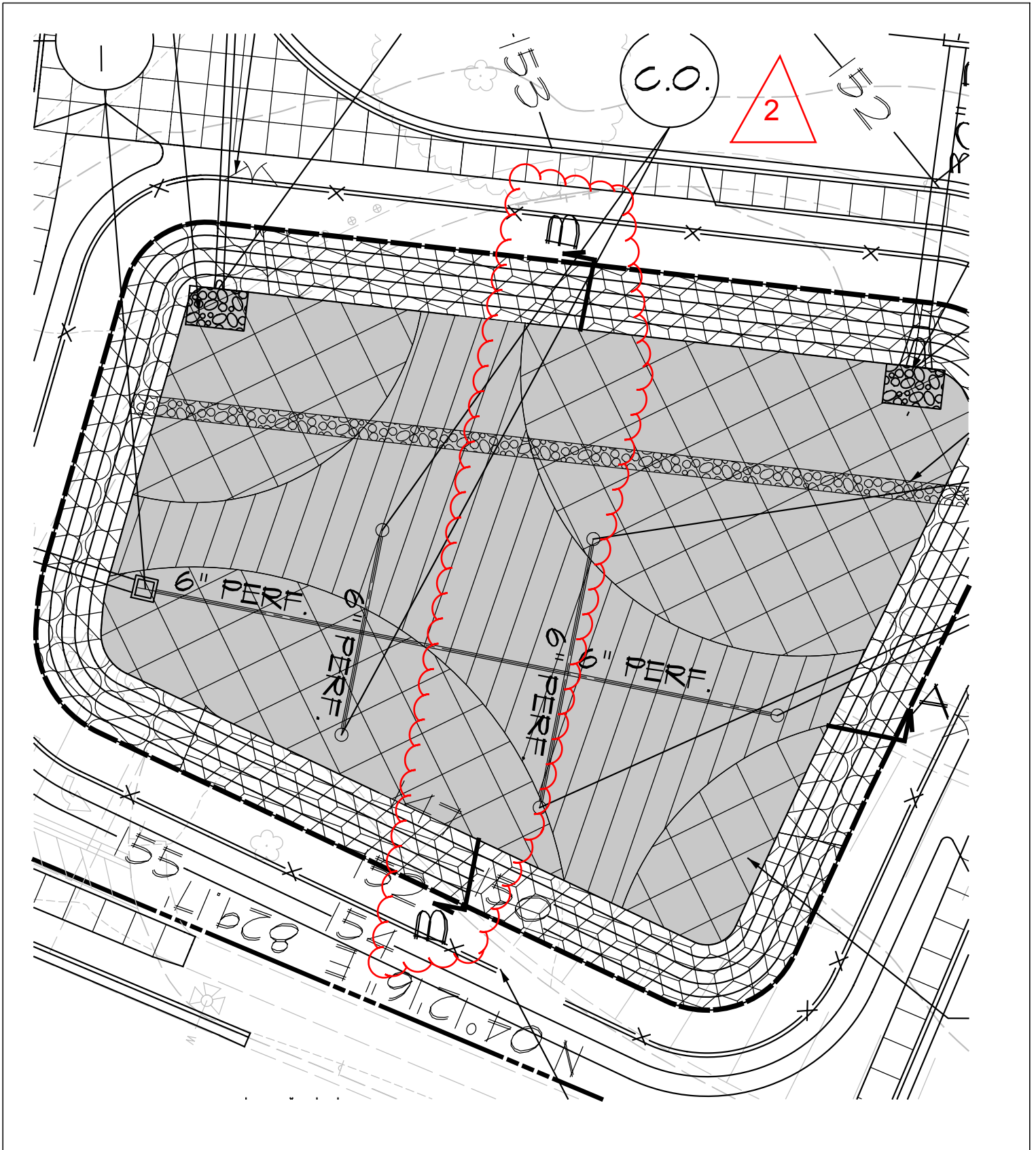
ADDENDUM #
2



SK - C - 19

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SK - C - 19A

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NORTHING = 576,096.86
EASTING = 1,410,828.12
ELEVATION = 170.12'

NORTHING = 575,589.45
EASTING = 1,411,067.70
ELEVATION = 104.95'

4. COMBINED SCALE & ELEVATION FACTOR TO CONVERT MARYLAND STATE PLAN DISTANCES TO GROUND DISTANCES IS 1.00004821
5. A BOUNDARY SURVEY WAS NOT COMPLETED. THE PROPERTY LINES AND DIMEN SHOWN HEREON WERE COMPILED FROM DEEDS AND PLATS OF RECORD AND POSITIONED ACCORDING TO MONUMENTS, FENCE LINES AND TOPOGRAPHIC INFORMATION.
PROPERTY LINES SHOWN HEREON ARE FOR REFERENCE ONLY AND SHOULD NOT USED FOR DESIGN UNTIL FIELD VERIFIED.
6. SURVEY INFORMATION WAS SUPPLEMENTED WITH BALTIMORE COUNTY AS-BUILT INFORMATION AND BCPS PROVIDED DOCUMENTS.

BILL OF MATERIALS

QUANTITY	DESCRIPTION	SIZE
1	VAULT (B.C. ST'D. 847.01) * COMPLETE IN PLACE	8"
19 L.F.	D.I.P. W/ RESTRAINED JOINTS (SEE GEN. NOTE 17)	8"
1	CAP	8"
1	VALVE & VAULT	8"
2	SLEEVE & SPACER	8"

*SHALL BE BID LUMP SUM INCLUDING 8" F.M. METER AND ALL PIPING APPURTENANCES WITHIN VAULT, COMPLETE IN PLACE.

2

NAD 83/11
N 576506
BCMD - 24603

ROAD
(63-164-2)

NAD 83/11
N 576506
BCMD - 24603

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VICINITY MAP

SCALE: 1" = 500'

2

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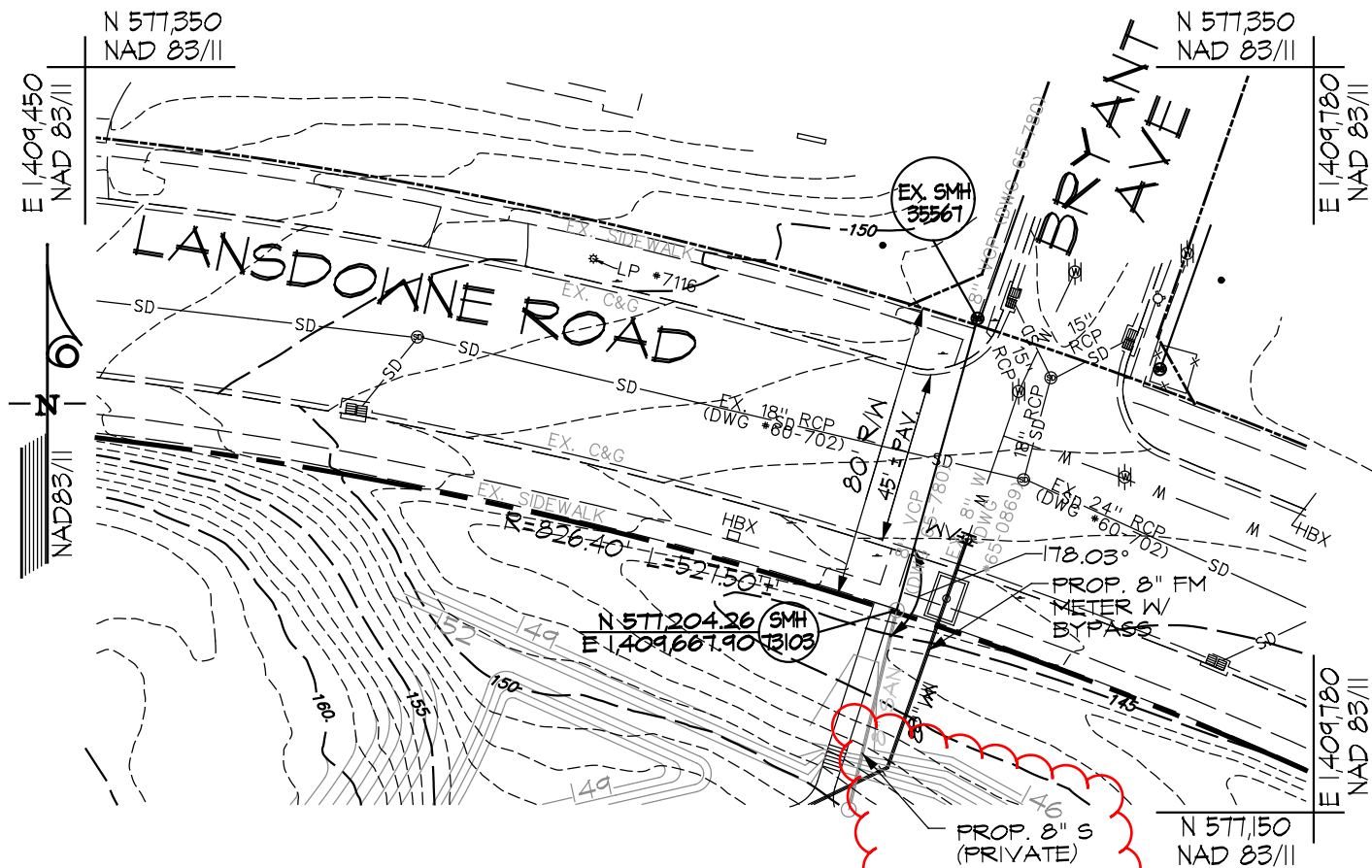
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2



SK- C -21

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PROPOSED 8" SANITARY SEWER CONNECTION PLAN

SCALE: 1" = 50'



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STORM DRAIN DESIGN DATA																	
LOCATION		"AREA"	ACRES		"C"	"CA"	Σ CA	TIME	CONC.	MIN.	"I"	"Q" (c.f.s.)	PIPE	N=0.014	10 YEAR DESIGN UNLESS NOTED	REMARKS	
FROM	TO		SUB	TOTAL				INLET	DRAIN	TOTAL			SIZE	SLOPE	VEL		LGTH
EX. I-1A	EX. I-1	I	1.44		0.32	0.46		5.0	-	5.0	6.7	3.09	21"	0.04	7.17	35.5'	0.1
EX. I-1	M-1	I		1.44			0.46	5.0	-	5.0	6.7	3.09	21"	0.04	7.17	17.7'	0.04
M-1	M-2	I		1.44			0.46	5.0	-	5.0	6.7	3.09	30"	0.01	5.96	60.3'	0.2
I-1	M-2	A-I		3.64			2.55	6.2	0.2	6.4	6.28	16.0	24"	0.58	6.50	100.0'	0.3
M-2	M-3	A-I		5.08			3.01	6.4	0.3	6.7	6.19	18.63	30"	0.24	6.36	152.6'	0.4
M-3	M-4	A-I		5.08			3.01	6.7	0.4	7.1	6.19	18.63	30"	0.24	6.36	88.7'	0.2
M-4	M-19	A-I		5.08			3.01	7.1	0.2	7.3	6.19	18.63	30"	0.24	6.36	47.5'	0.1
I-2	M-19	J	0.46		0.65	0.30		5.0	-	5.0	6.7	2.01	15"	0.11	5.66	49.0'	0.1
M-19	M-5	A-J		5.54			3.31	7.3	0.1	7.4	6.02	19.93	30"	0.27	6.45	76.3'	0.2
I-22	I-4B	3	0.28		0.85	0.24		5.0	-	5.0	6.7	1.61	15"	0.07	8.21	148'	0.3
EX. M-1	I-4B	2	1.07		0.10	0.107		5.0	-	5.0	6.7	0.72	12"	0.05	4.29	80'	0.3
	I-4B	K	.015		0.20	0.03		5.0	-	5.0	6.7	2.31					
I-4B	I-4A	2-K		1.5			0.38	5.0	0.3	5.3	6.61	2.5	15"	0.17	4.83	156'	0.5
	I-4A	K1	0.39		0.2	0.08		5.0	-	5.0	6.7	0.52					
I-4A	I-4	2-K1		1.89			0.46	5.3	0.5	5.8	6.46	2.97	15"	0.25	5.05	35.5'	0.1
	I-4	K2	0.32		0.2	0.06 0.07		5.0	-	5.0	7.3 6.7	0.44					20 YR.
I-4	I-3	2-K2		2.21			0.52	5.8	0.1	5.9	6.43	3.34	15"	0.31	5.2	144'	0.5
	I-3	L	0.99		0.2	0.20 0.22		5.0	-	5.0	7.3 6.7	1.46					20 YR.
I-3	I-3B	2-L		3.2			0.72	5.9	0.5	6.4	6.28	4.52	15"	0.57	5.58	39.0'	0.1
	I-3B	M	0.09		0.2	0.02 0.02		5.0	-	5.0	7.3 6.7	0.13					20 YR.
I-3B	M-5	2-M		3.29			0.74	6.4	0.1	6.5	6.25	4.63	15"	0.60	5.60	139.5'	0.4
I-3A	M5	M1	0.1		0.2	0.02		5.0	-	5.0	6.7	0.134	15"	0.00	1.57	89.5'	0.95
M-5	M-8	A-M		8.93			4.07	7.4	0.2	7.6	5.98	24.34	30"	0.35	6.62	144'	0.4
I-5	M-8	N+O		0.44			0.29	5.0	0.14	5.14	6.68	1.94	15"	0.10	7.25	85.4'	0.2
M-8	M-9	A-O		9.37			4.36	7.6	0.4	8.0	5.9	25.72	30"	0.46	6.77	127.4'	0.3
I-6	M-9	P-S		0.86			0.59	5.5	0.1	5.6	6.52	3.85	15"	0.41	6.13	32.1'	0.1
M-9	M-10	A-S		10.23			4.95	8.0	0.3	8.3	5.81	28.8	30"	0.57	6.85	62.0'	0.2
M-13	M-10	T-Z		4.98			1.4	16.1	0.3	16.4		6.3	30"	0.00	5.74	55'	0.2
M-10	EX M-2	A-Z		15.2			6.35	16.4	0.2	16.6	4.5	28.6	30"	0.56	8.52	48.1'	

2

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MANHOLE SCHEDULE

NO.	TYPE	SIZE	INV. OUT	TOP ELEV.	REMARKS
M-1	PRECAST TYPE C MH	48"	149.00	156.68	D-3.02A
M-2	PRECAST TYPE C MH	48"	141.90	155.63	D-3.02A
M-3	PRECAST TYPE C MH	48"	140.88	151.60	D-3.02A
M-4	PRECAST TYPE C MH	48"	140.25	152.41	D-3.02A
M-5	PRECAST TYPE C MH	96"	139.31	154.30	D-3.02A
M-8	PRECAST TYPE C MH	48"	138.40	153.45	D-3.02A
M-9	PRECAST TYPE C MH	48"	137.50	152.19	D-3.02A
M-10	STD. JUNCTION BOX	10' x 10'	137.04	142.00	SHA STD. NO. MD 386.11
M-19	PRECAST TYPE C MH	48"	135.48	153.30	D-3.02A

2

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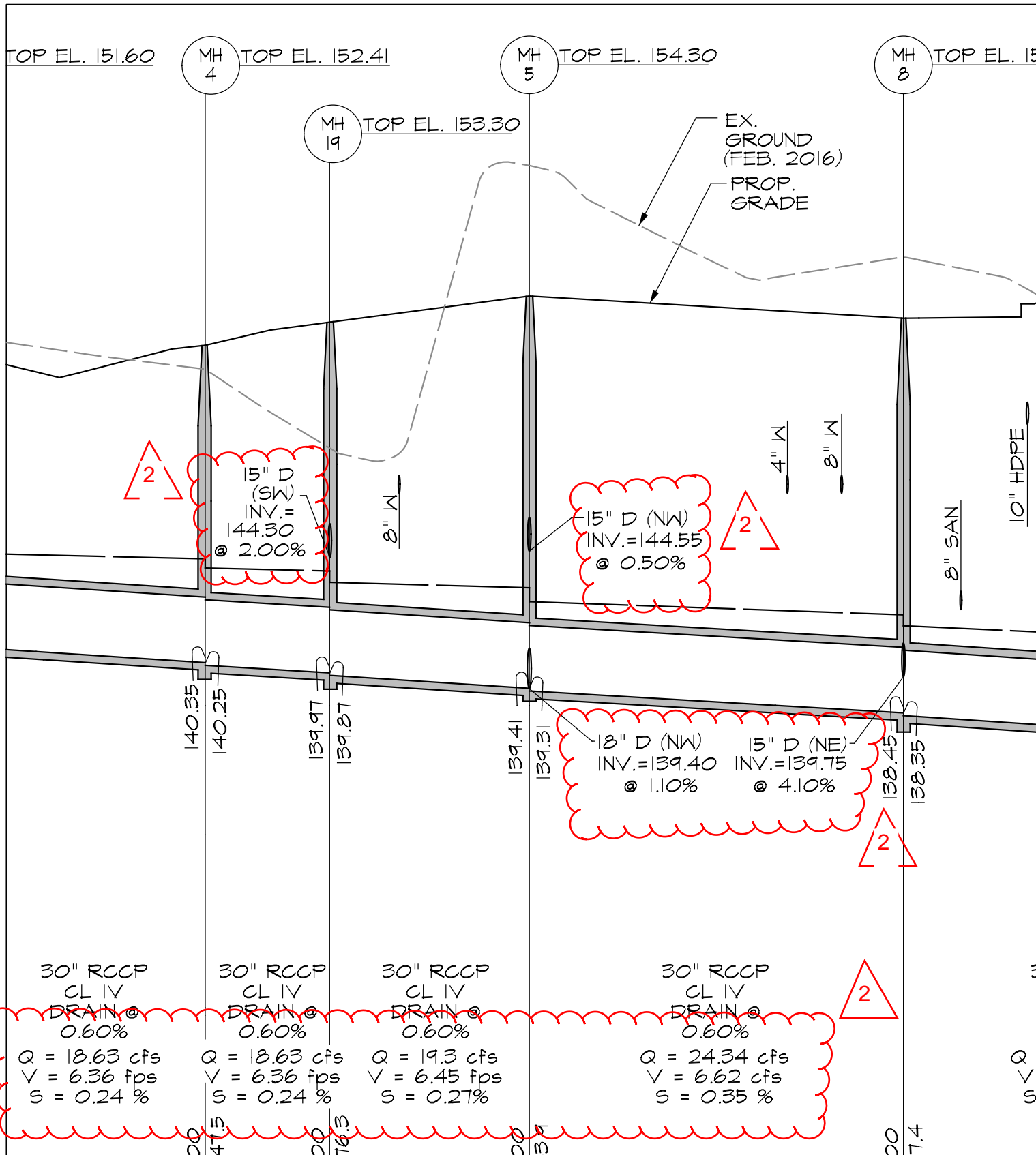


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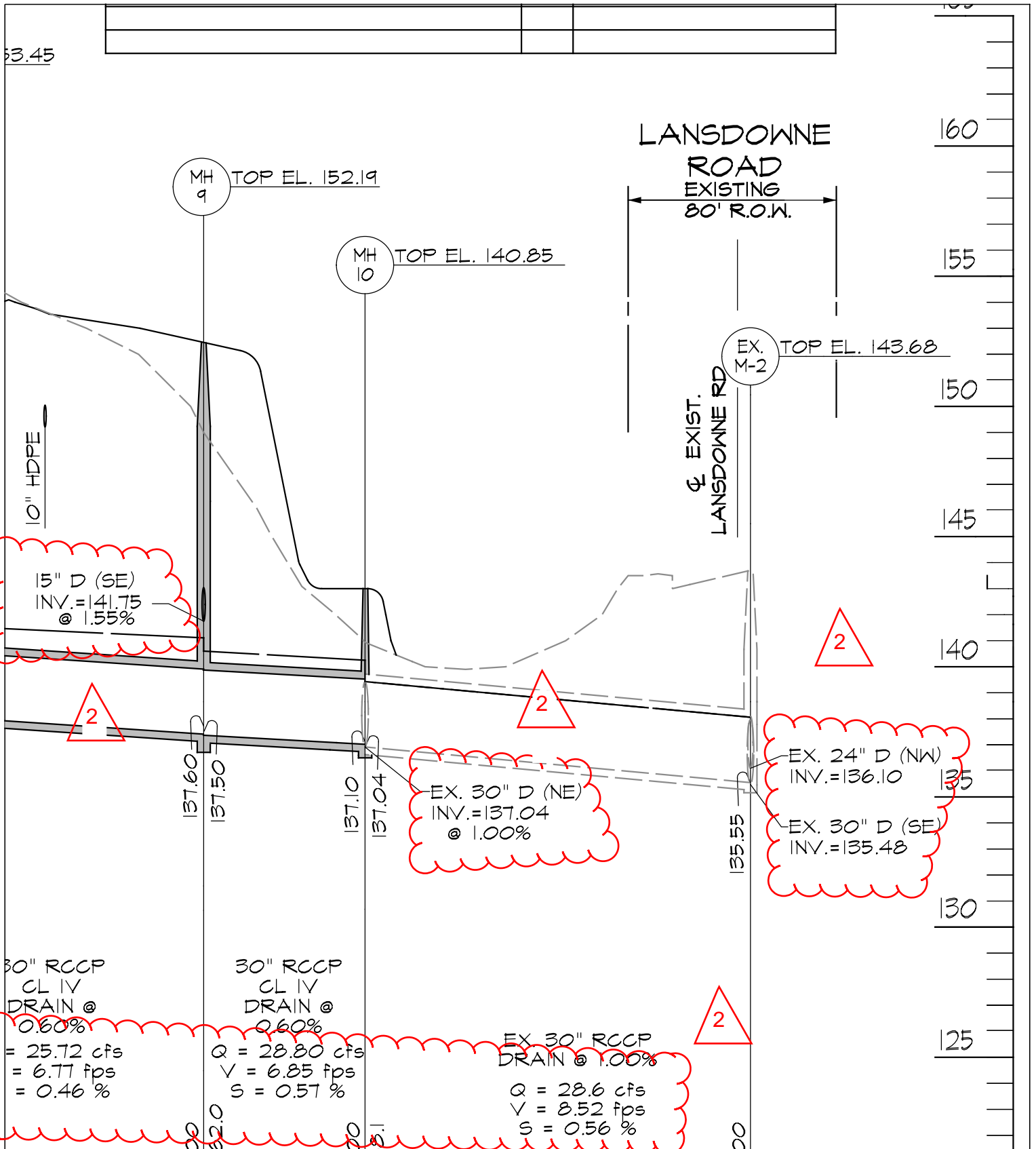
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INLET SCHEDULE

NO.	TYPE	Q	INV. OUT	TOP ELEV.	REMARKS
I-3	DOUBLE 'S' INLET	4.52	141.50	148.75	D-2.19A
I-3B	DOUBLE 'S' INLET	4.63	140.90	157.40	D-2.19A
I-4	DOUBLE 'S' INLET	3.34	143.10	148.50	D-2.19A
I-4A	DOUBLE 'S' INLET	2.97	143.60	149.10	D-2.19A
I-4B	DOUBLE 'S' INLET	2.50	145.50	151.50	D-2.19A
I-22	DOUBLE 'S' COMBINATION	1.61	152.00	156.74	D-2.20

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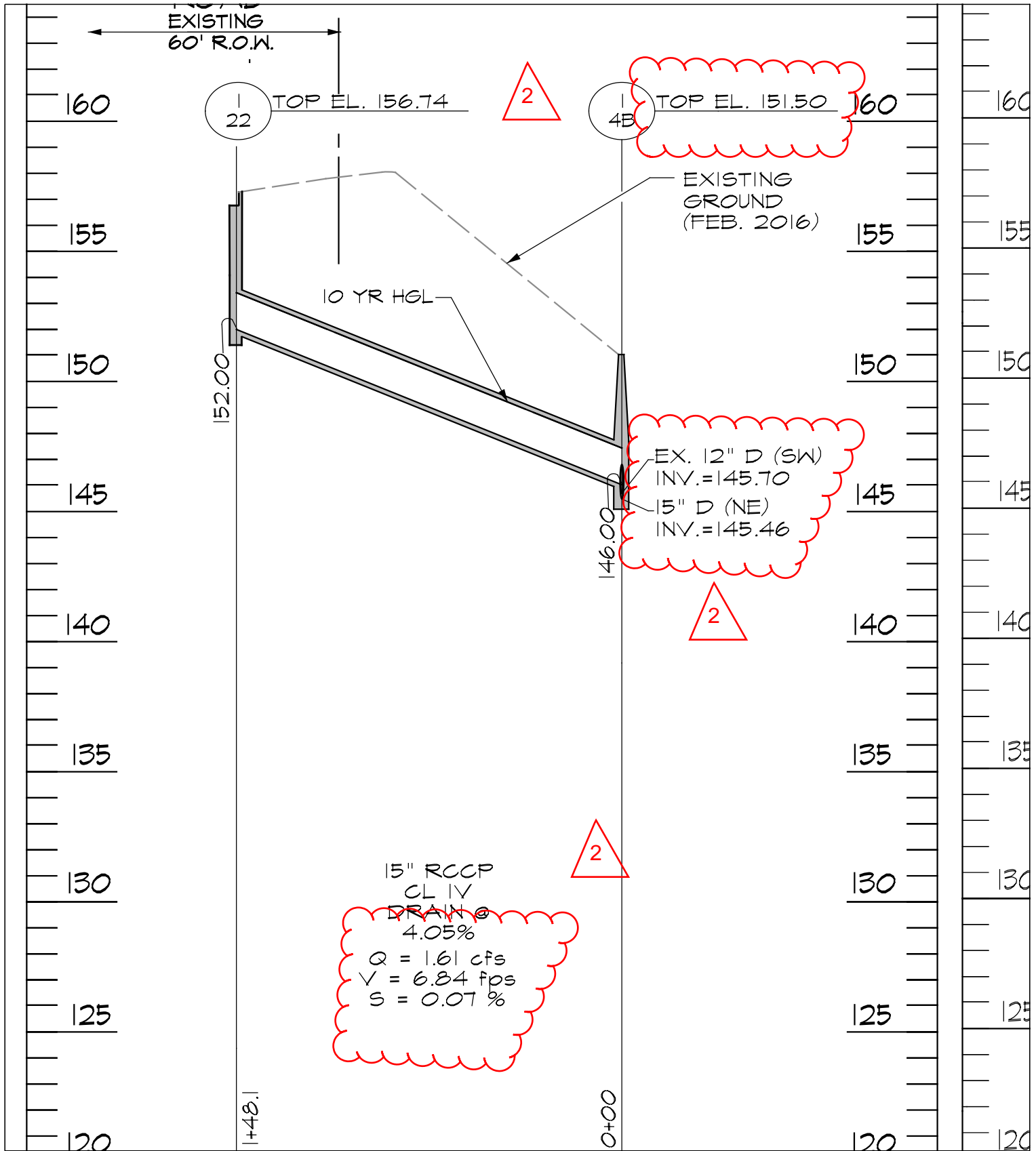
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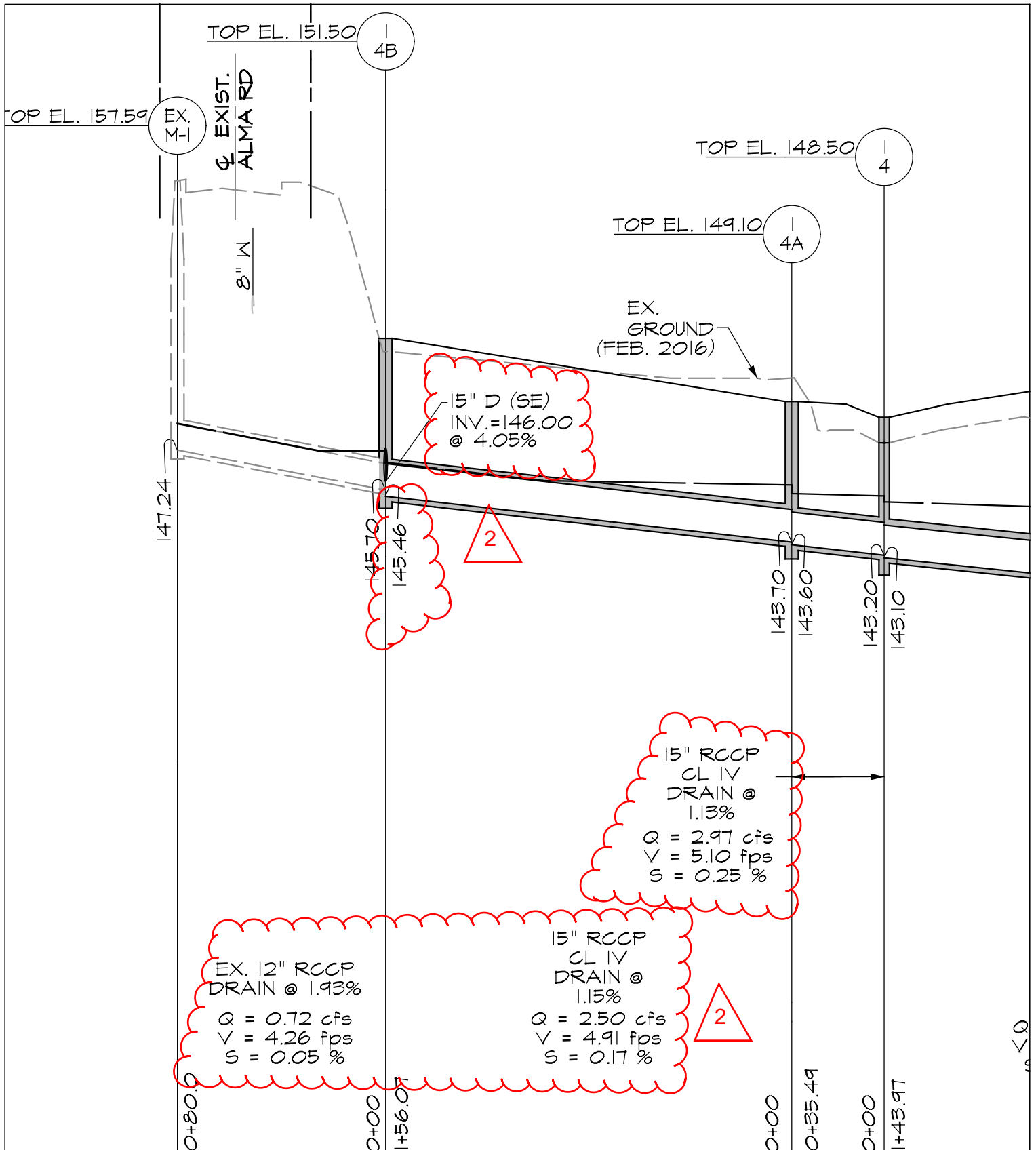
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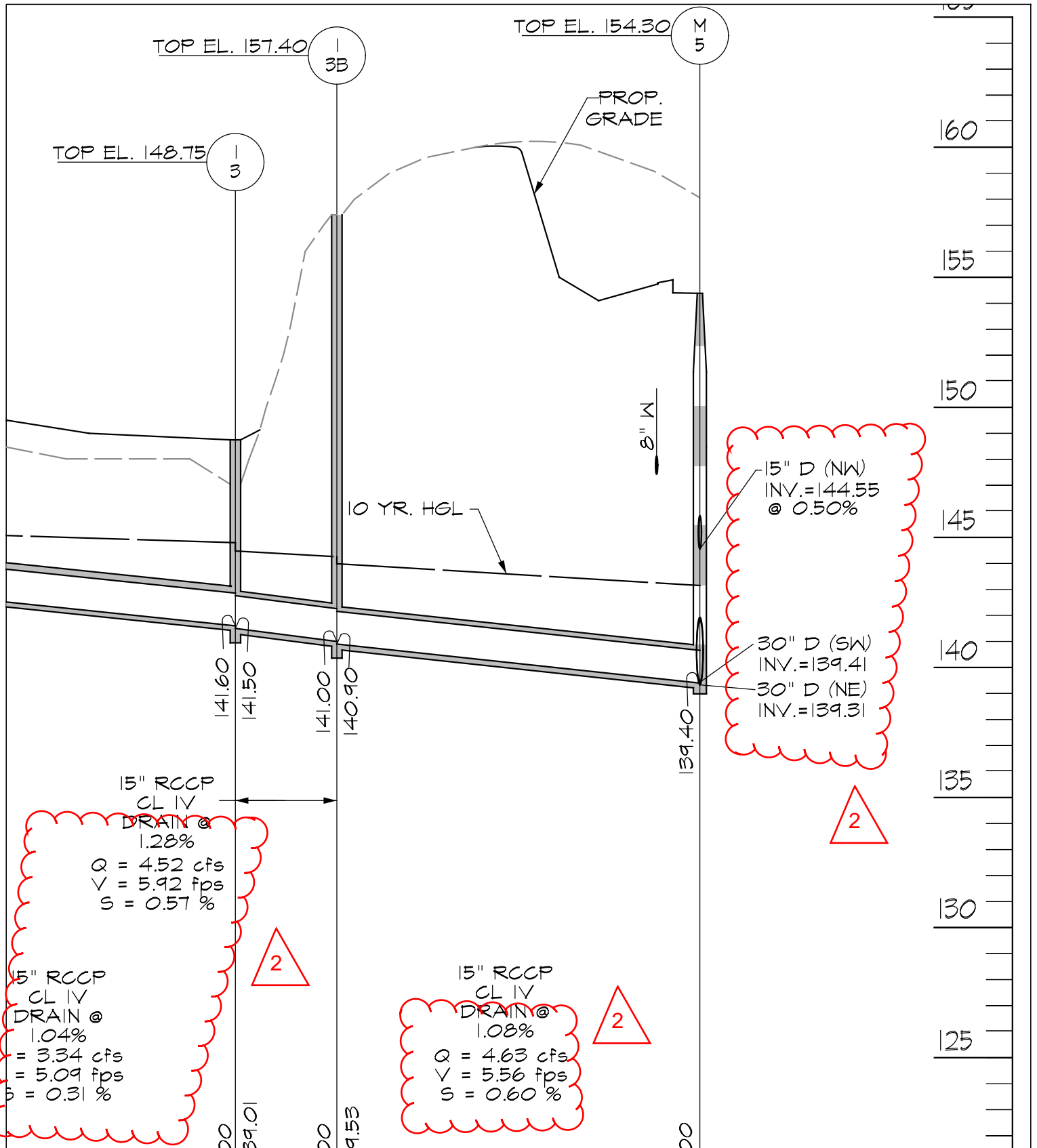
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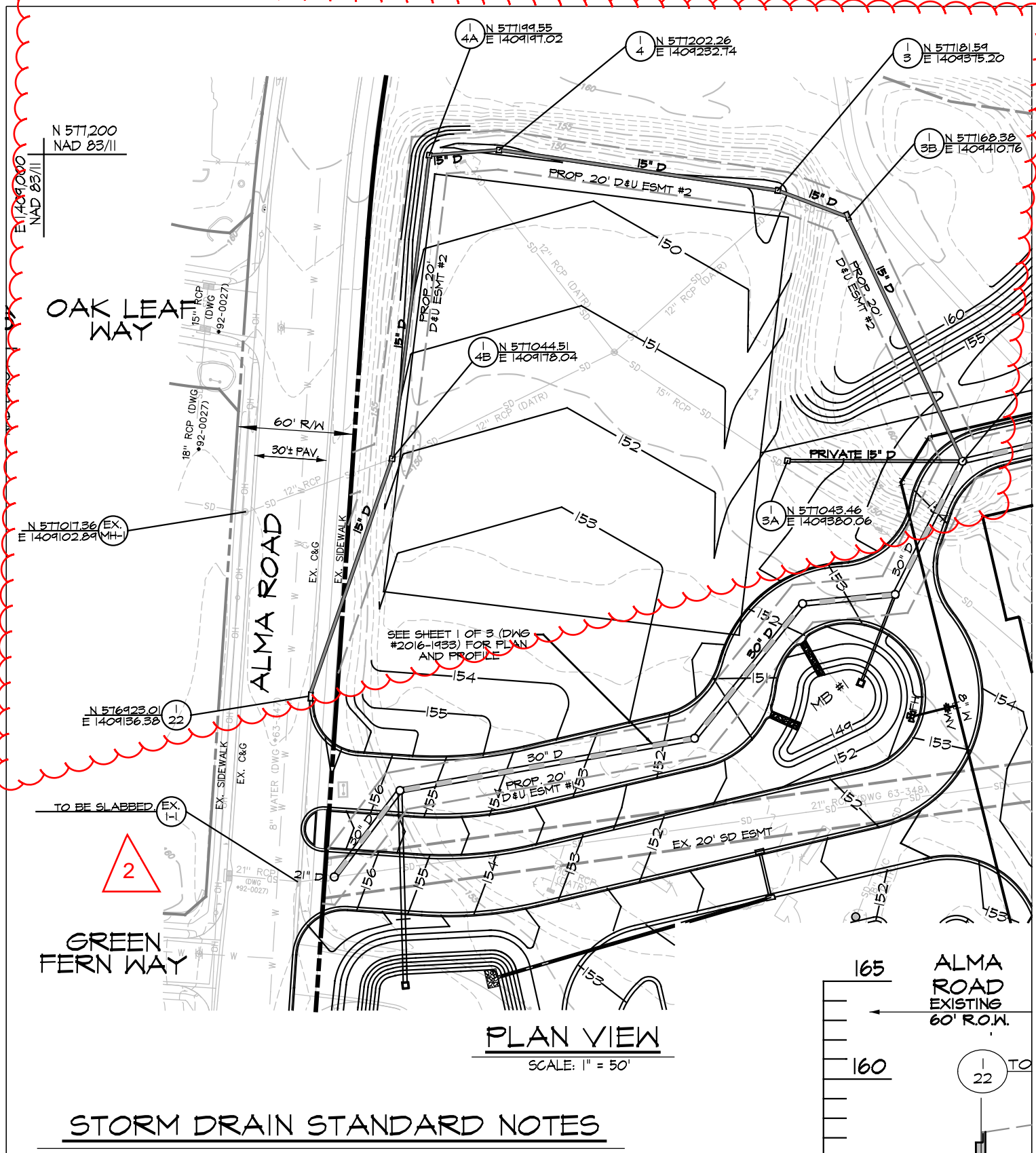
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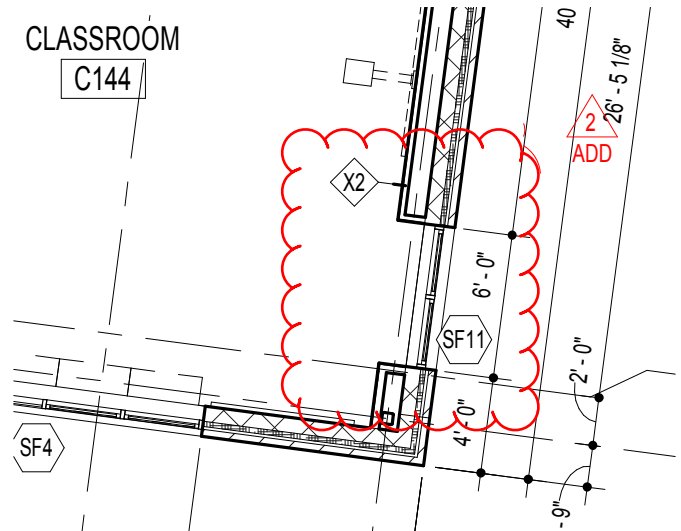
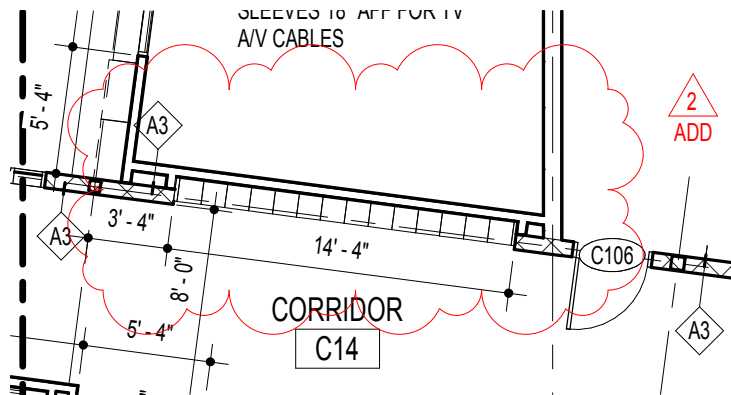
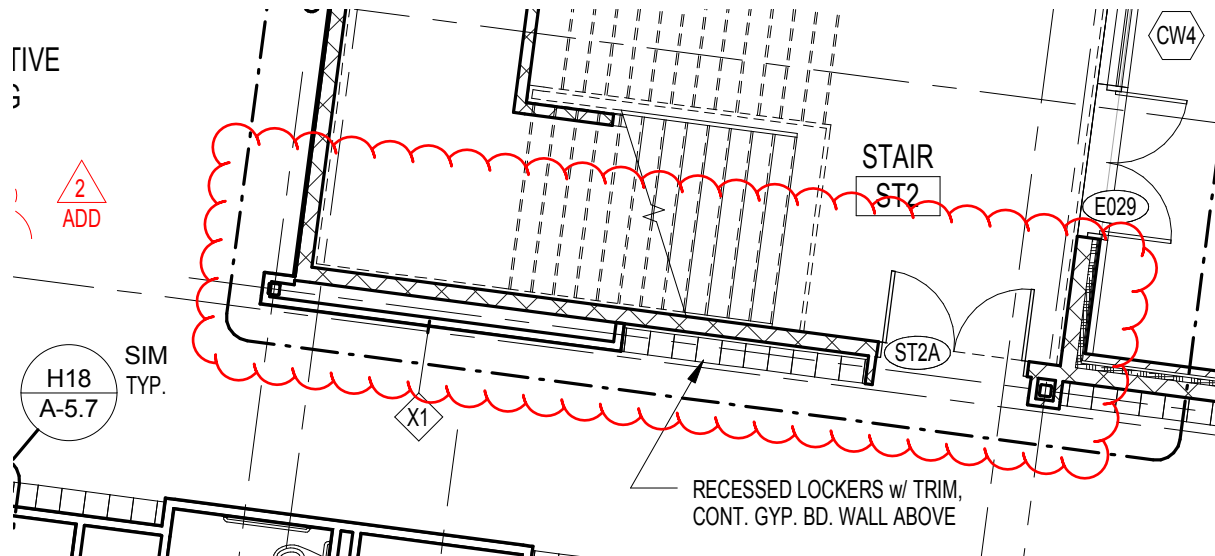
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LANSDOWNE ELEMENTARY SCHOOL

A17/A-1.1C

SCALE: 1/8"=1'-0'

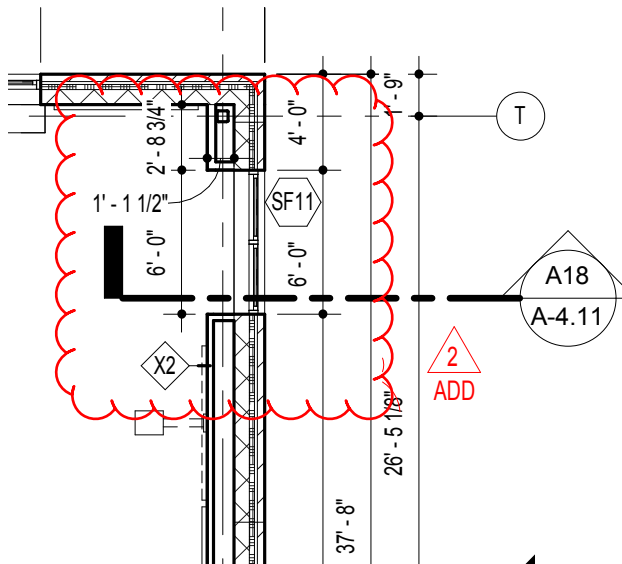
DATE
12/08/16

ADD. NO. 2
SK-A-2.1



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LANSDOWNE ELEMENTARY SCHOOL

A17/A-1.1C

SCALE: 1/8"=1'-0'

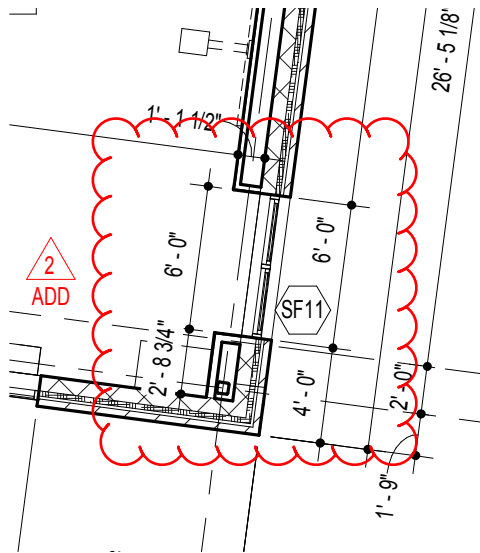
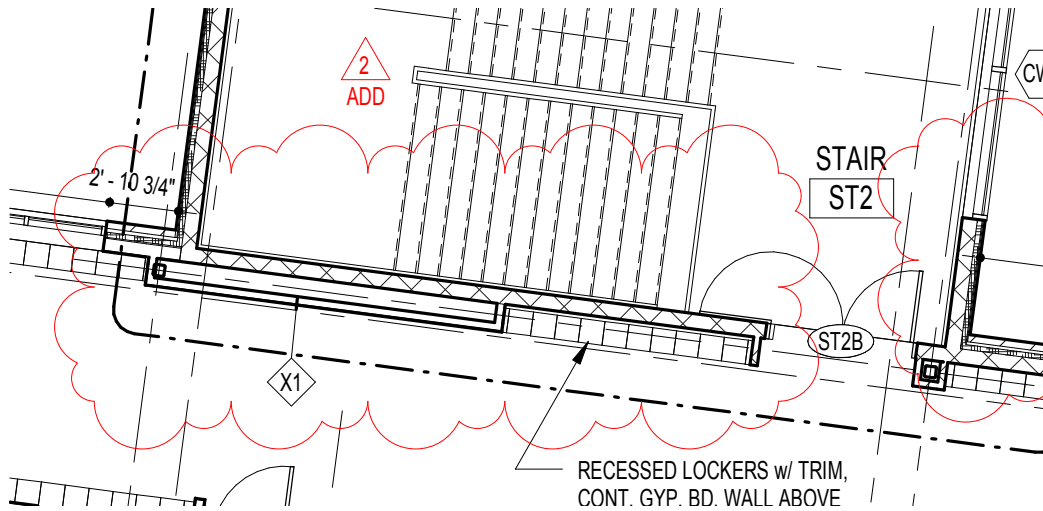
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SK-A-2.2



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A17/A-1.2C

SCALE: 1/8"=1'-0'

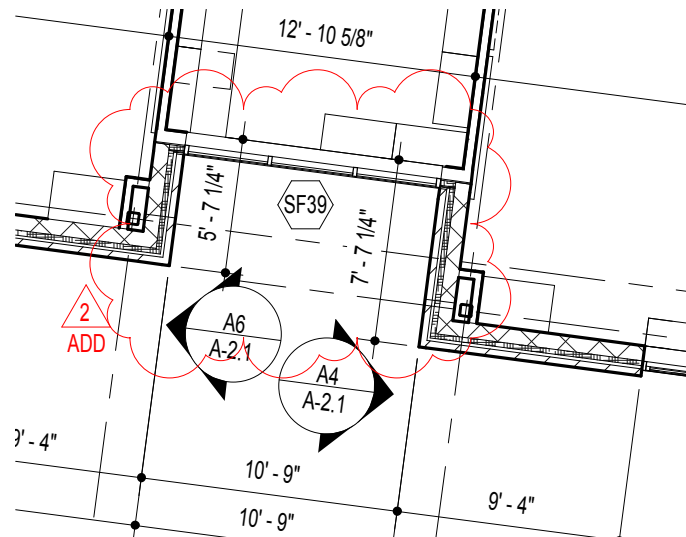
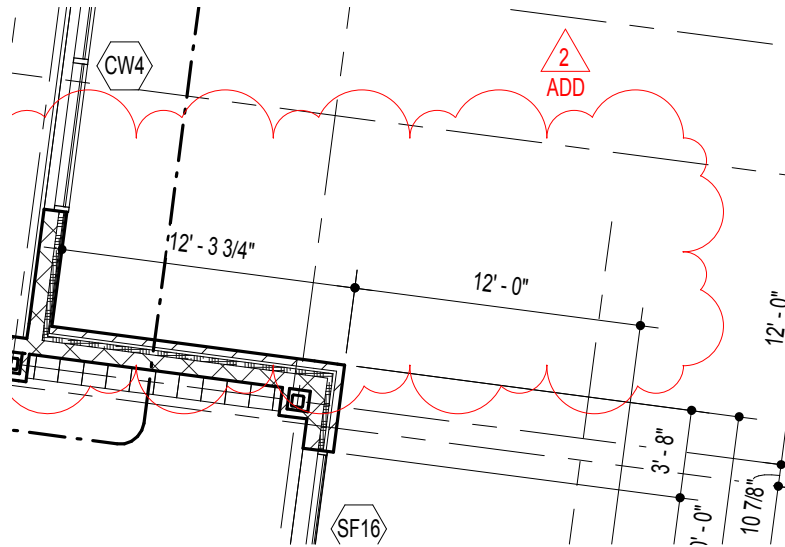
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SK-A-2.3



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A17/A-1.2C

SCALE: 1/8"=1'-0'

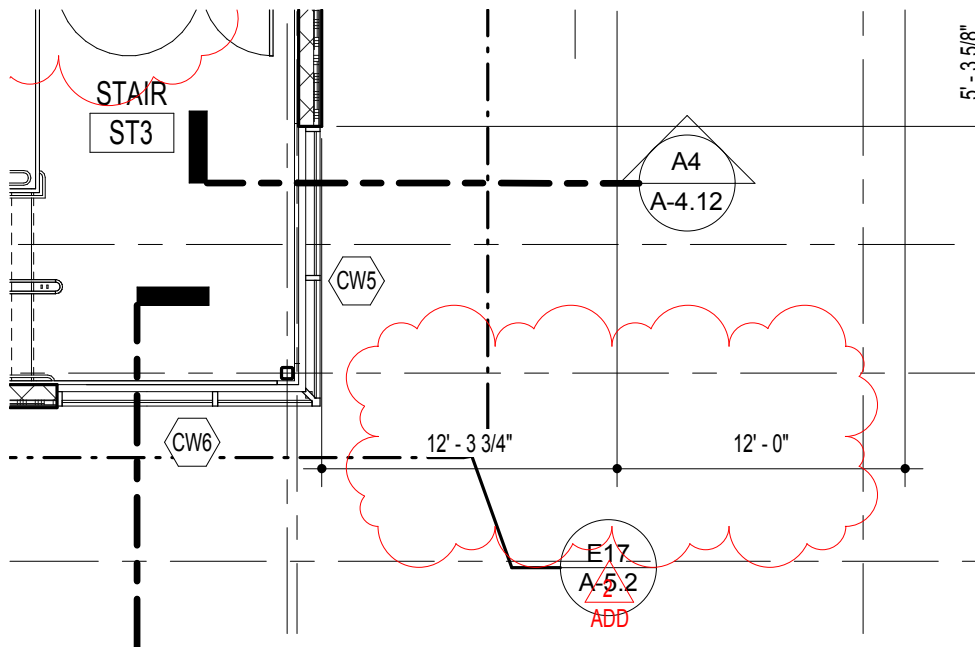
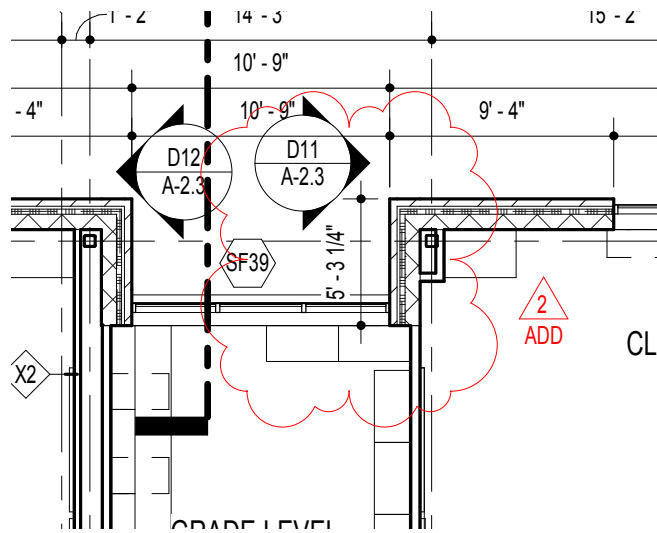
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A17/A-1.2C

SCALE: 1/8"=1'-0'

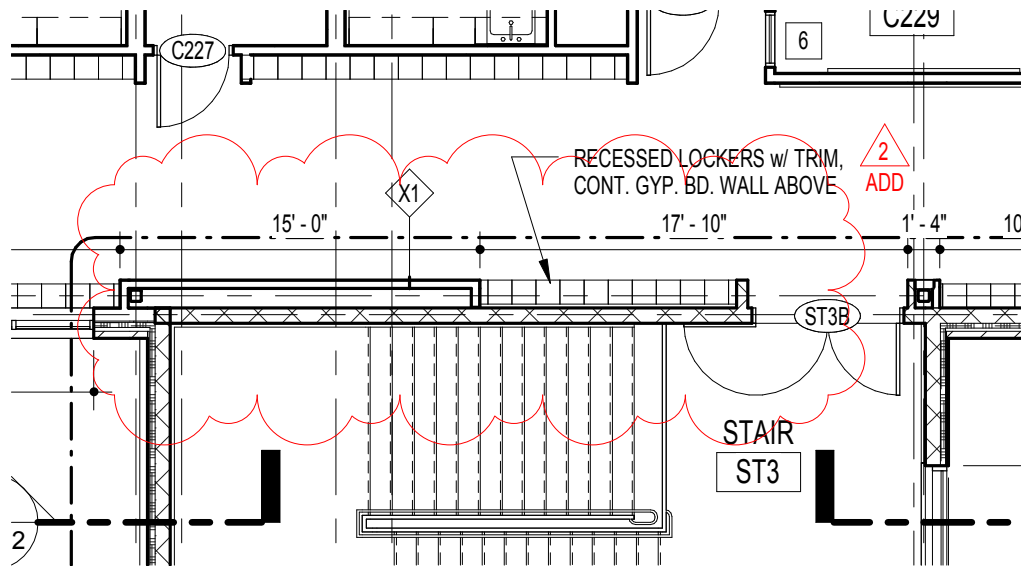
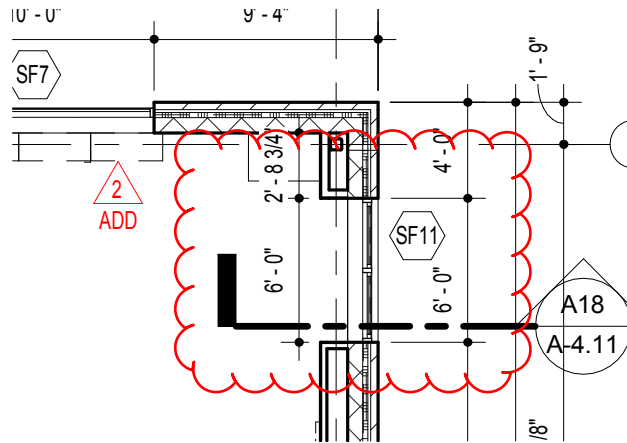
DATE
12/08/16

ADD. NO. 2
SK-A-2.5



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LANSDOWNE ELEMENTARY SCHOOL

A17/A-1.2C

SCALE: 1/8"=1'-0'

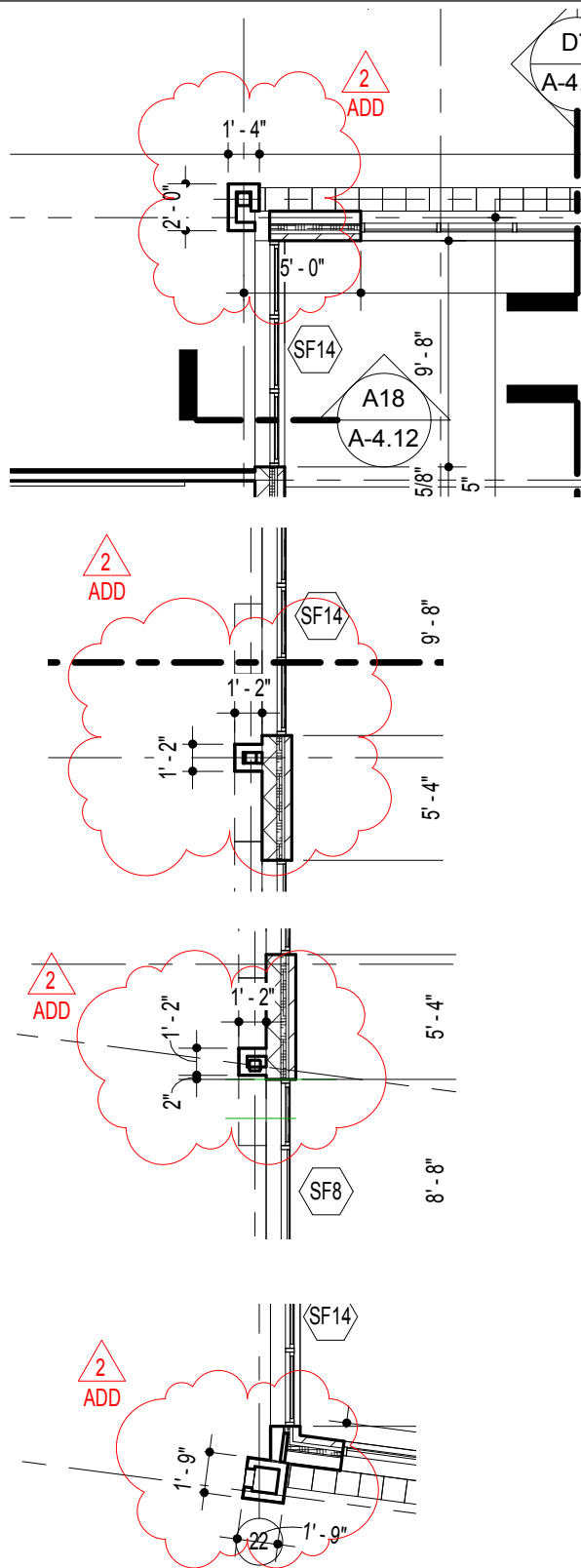
DATE
 12/08/16

ADD. NO. 2
 SK-A-2.6



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LANSDOWNE ELEMENTARY SCHOOL

A17/A-1.2C

SCALE: 1/8"=1'-0'

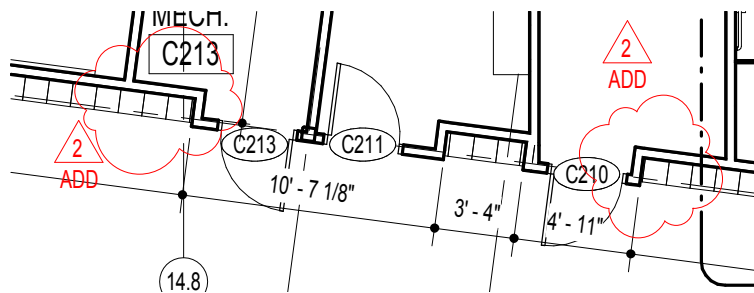
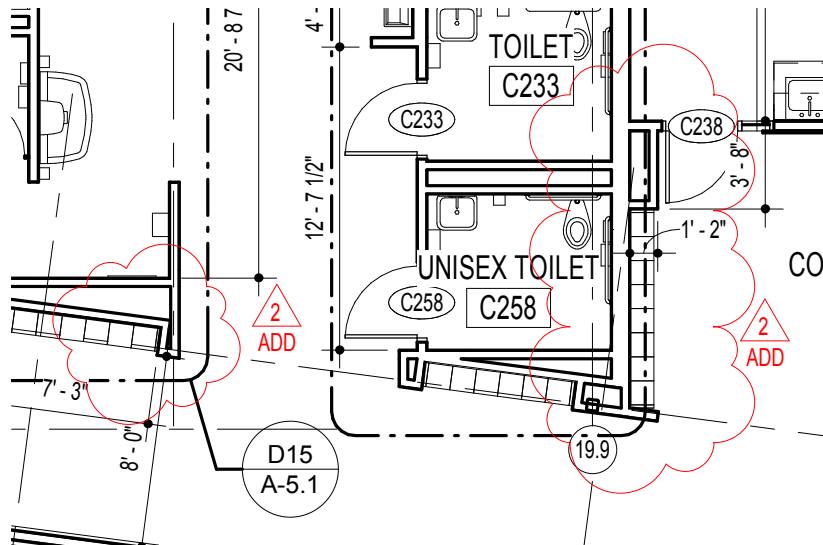
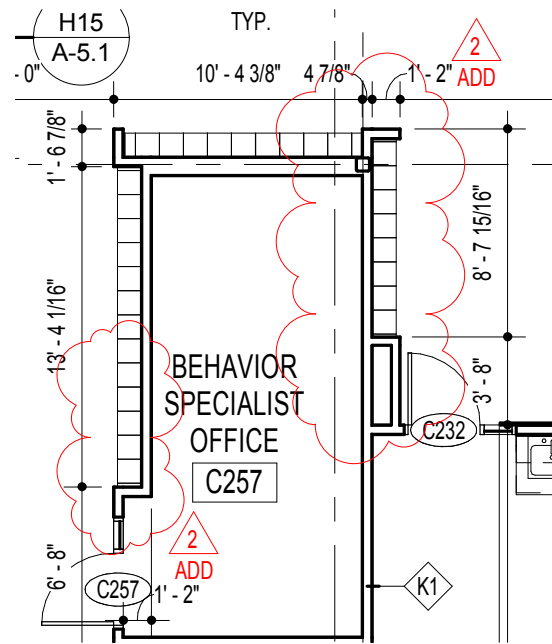
DATE
12/08/16

ADD. NO. 2
SK-A-2.7



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LANSDOWNE ELEMENTARY SCHOOL

A17/A-1.2C

SCALE: 1/8"=1'-0'

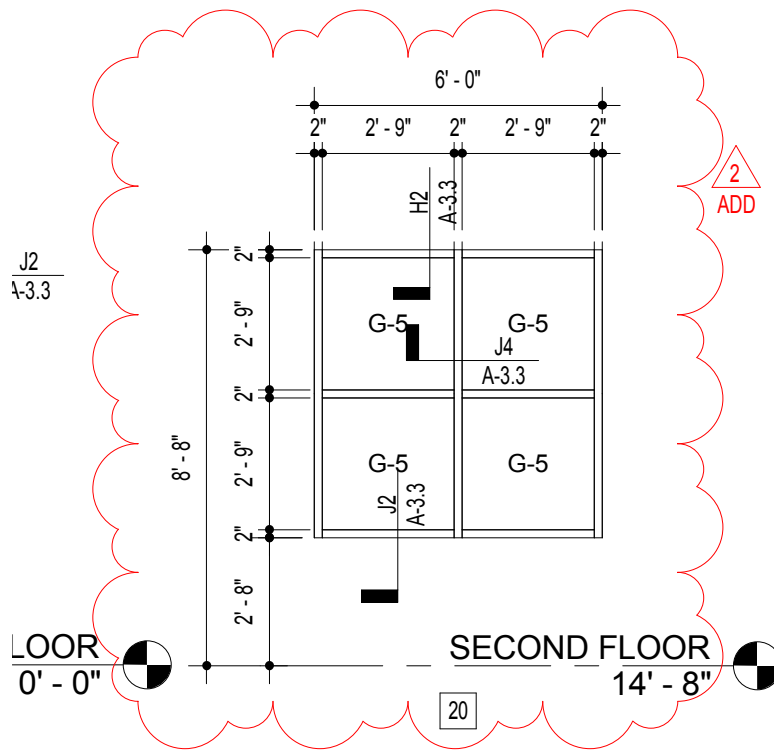
DATE
12/08/16

ADD. NO. 2
SK-A-2.8



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LANSDOWNE ELEMENTARY SCHOOL

A17/A-1.2C

SCALE: 1/4"=1'-0'

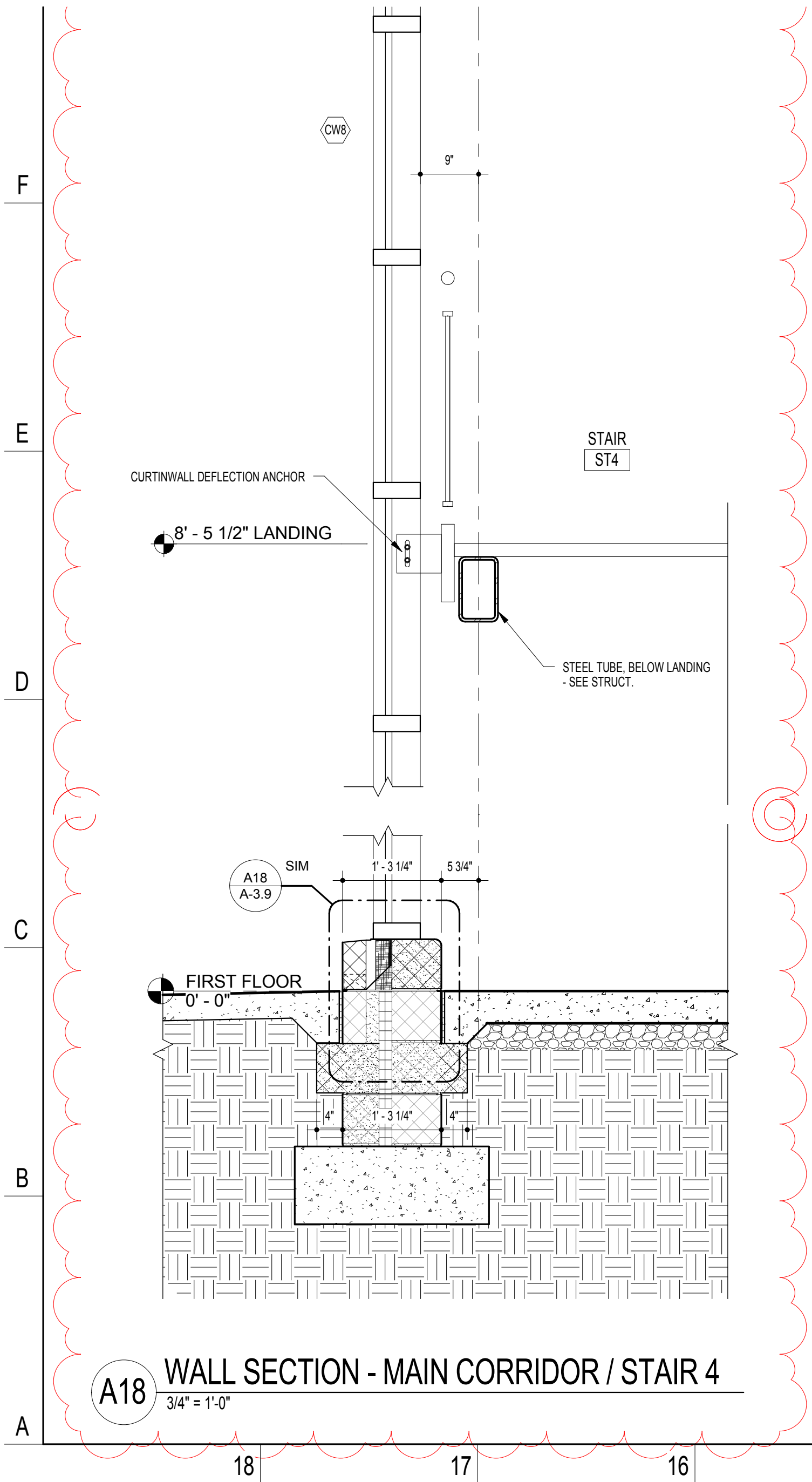
DATE
12/08/16

ADD. NO. 2
SK-A-2.9



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LANSDOWNE ELEMENTARY SCHOOL

A18/A-4.5

SCALE: 3/4"=1'-0'

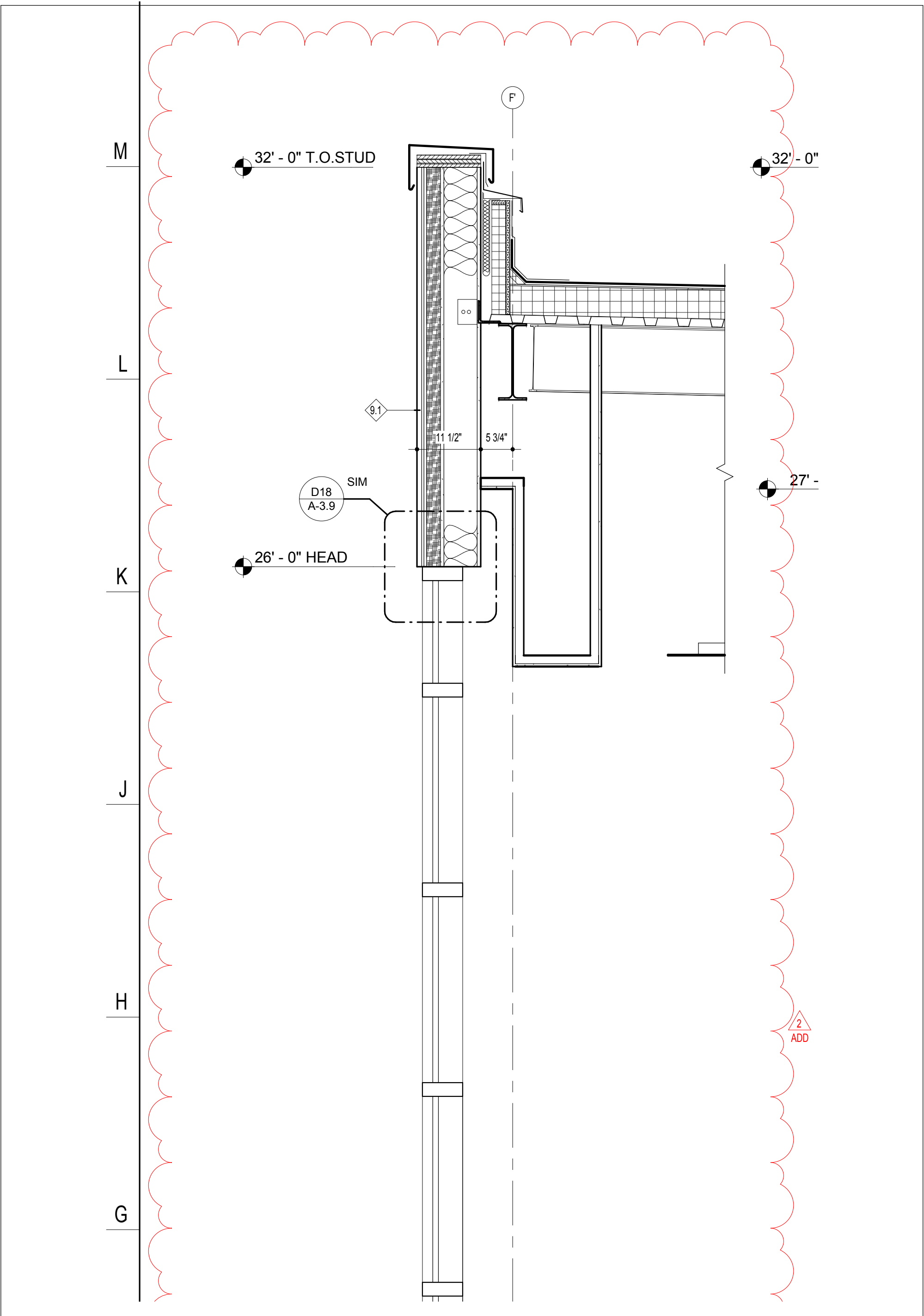
DATE
12/08/16

ADD. NO. 2
SK-A-2.10



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LANSDOWNE ELEMENTARY SCHOOL

A18/A-4.5

SCALE: 3/4"=1'-0'

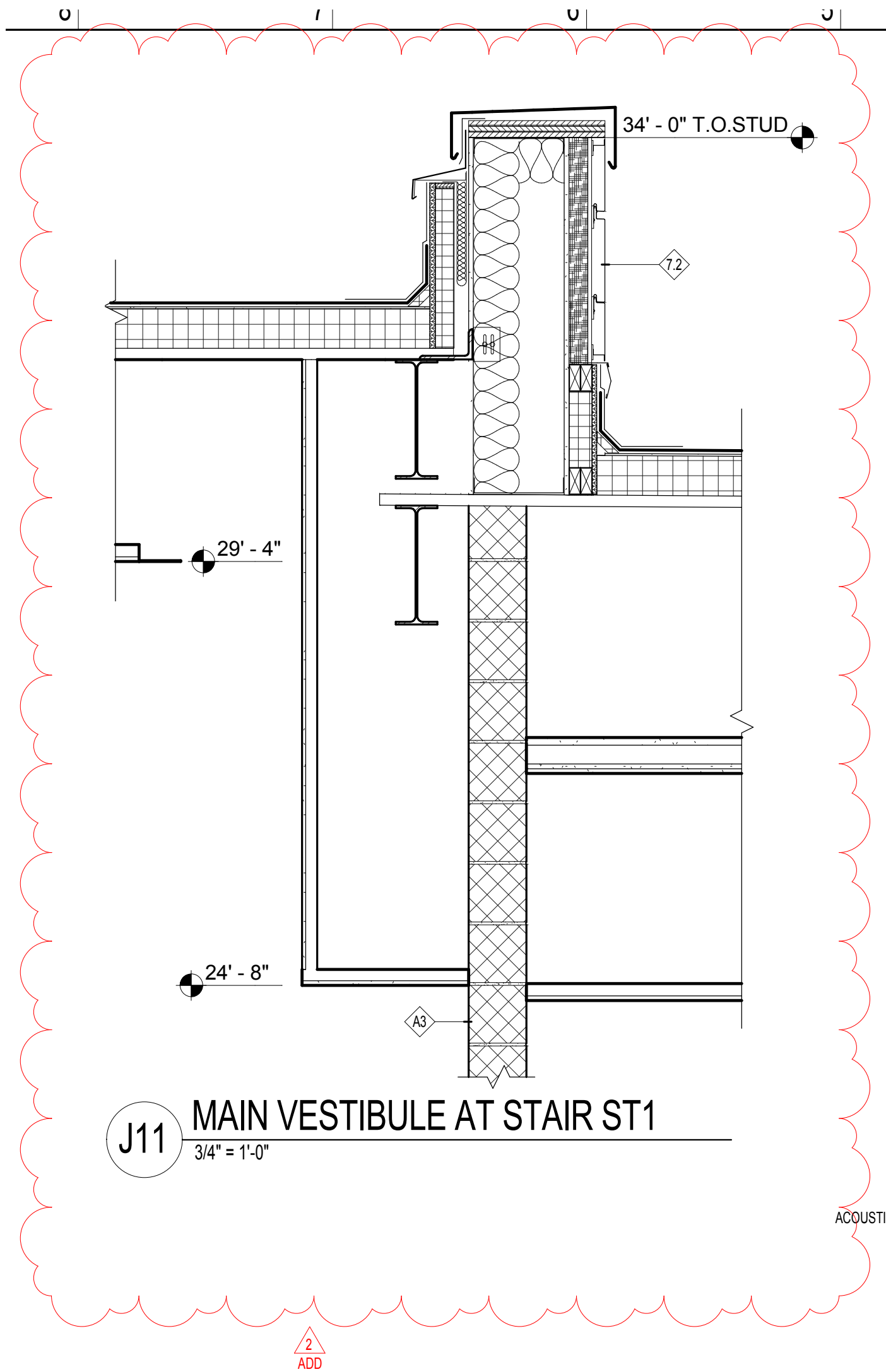
DATE
12/08/16

ADD. NO. 2
SK-A-2.11



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LANSDOWNE ELEMENTARY SCHOOL

J11/A-4.6

SCALE: 3/4"=1'-0'

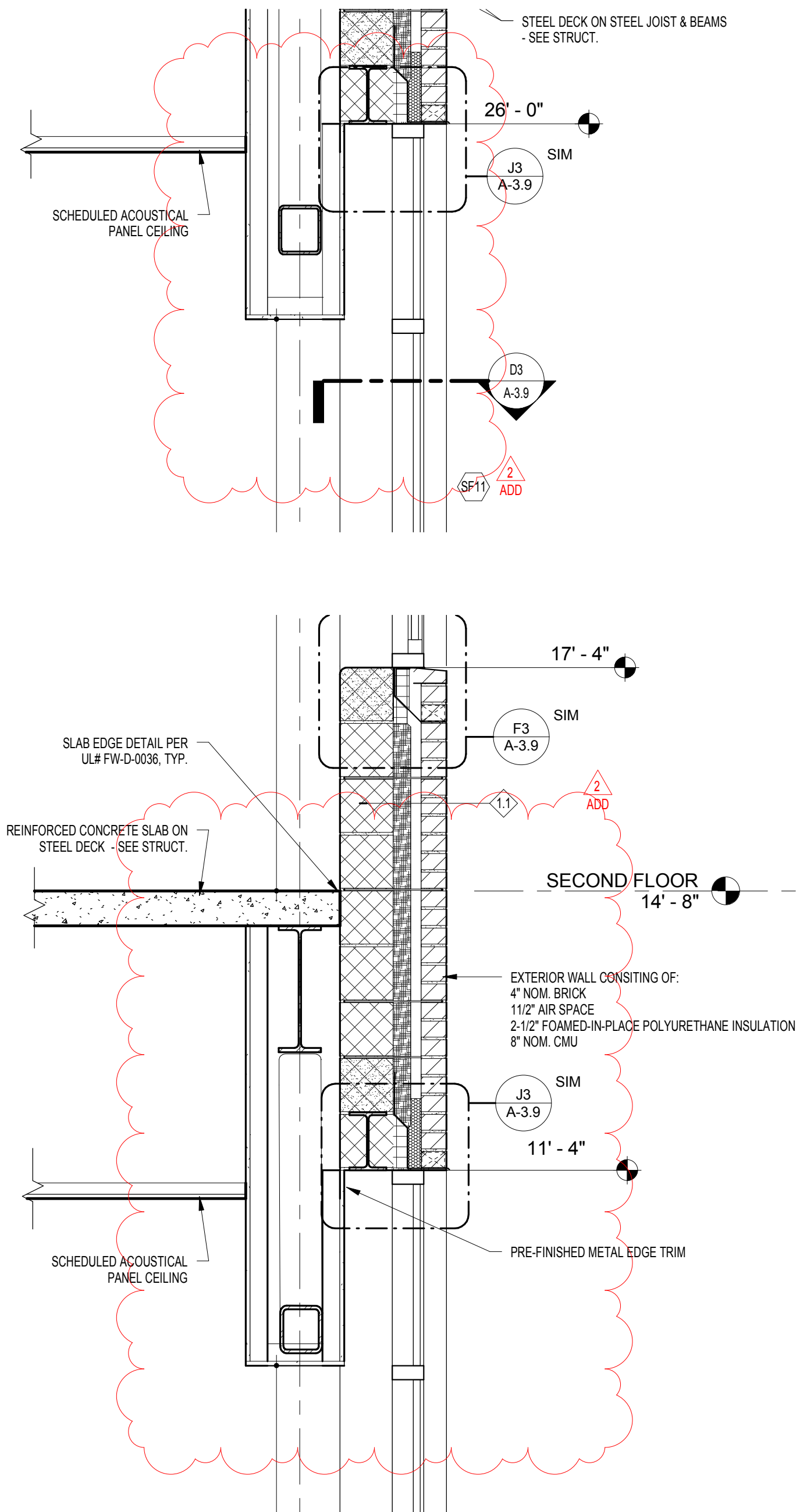
DATE
12/08/16

ADD. NO. 2
SK-A-2.12

G+P
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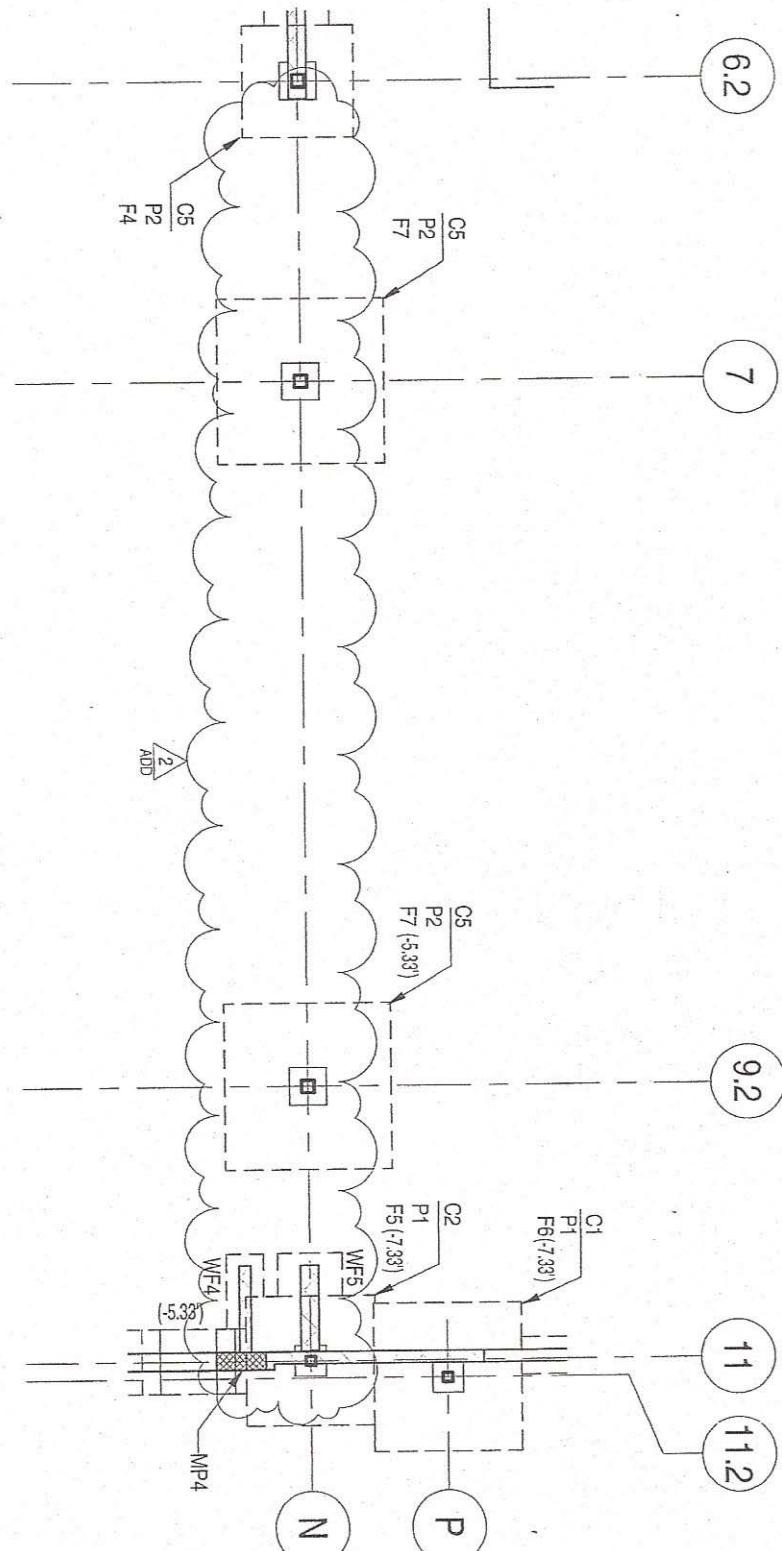
LANSDOWNE ELEMENTARY SCHOOL

A18/A-4.11

SCALE: 3/4"=1'-0'

DATE
12/08/16

ADD. NO. 2
SK-A-2.13



LANSDOWNE ELEMENTARY SCHOOL

REVISION TO S-1.1B

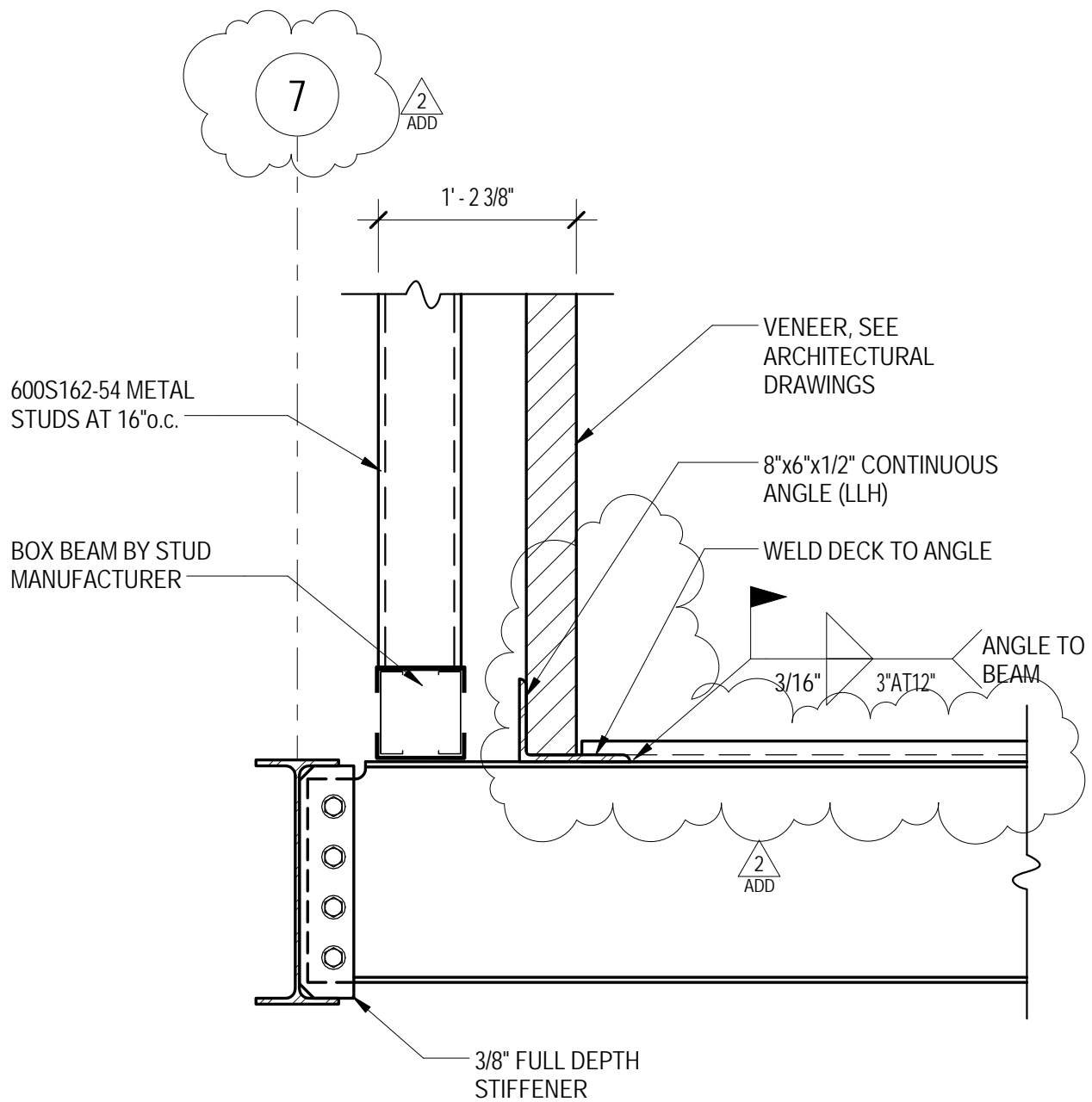
DATE	ADD. NO.2
12/08/2016	SK-S-1

SCALE:



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LANSDOWNE ELEMENTARY SCHOOL
 REVISION TO G/S-5.1

SCALE: 1" = 1'-0"

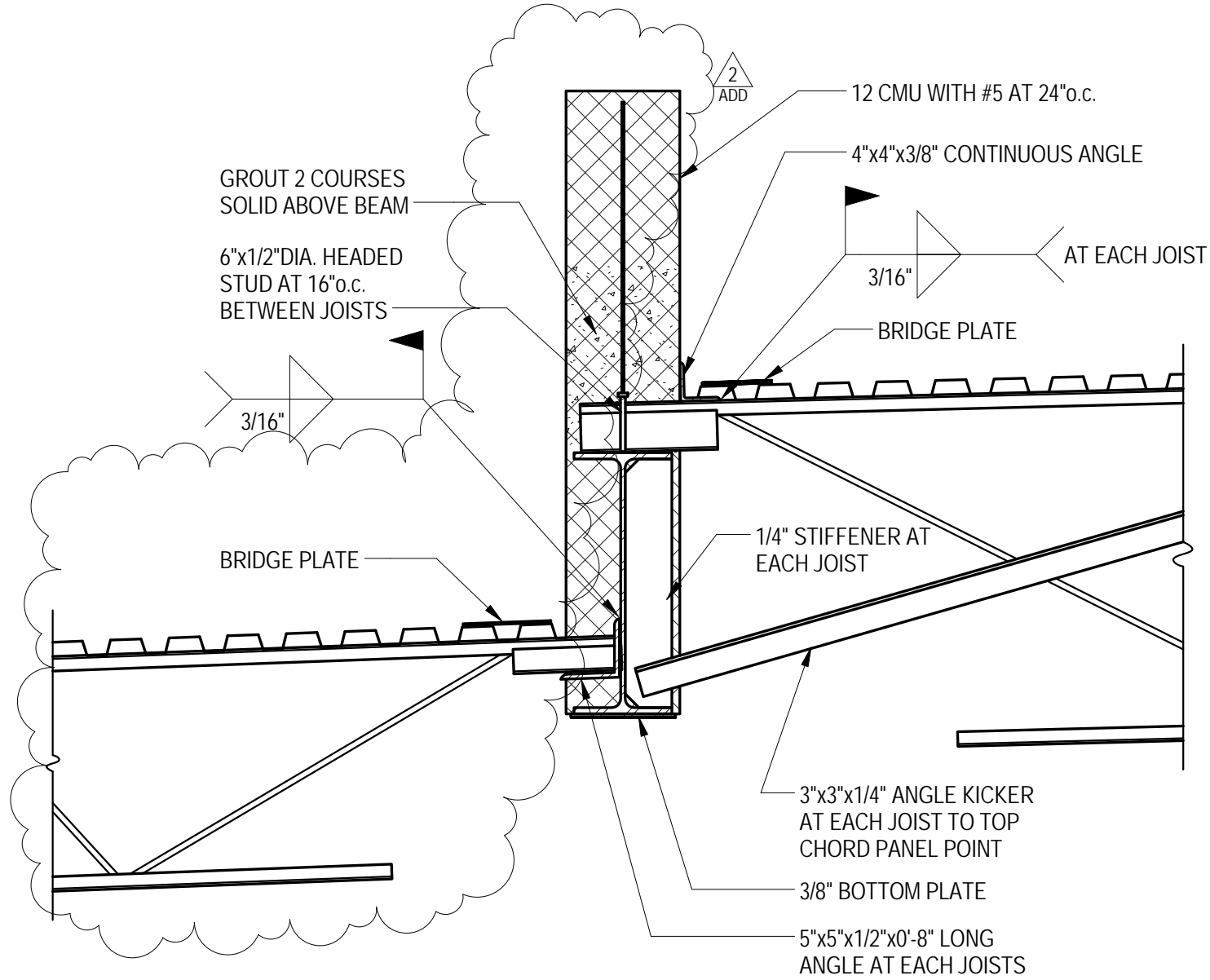
DATE
 12/08/2016

ADD. NO.2
 SK-S-2



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LANSLOWNE ELEMENTARY SCHOOL
REVISION TO A/S-5.2

DATE
12/08/2016

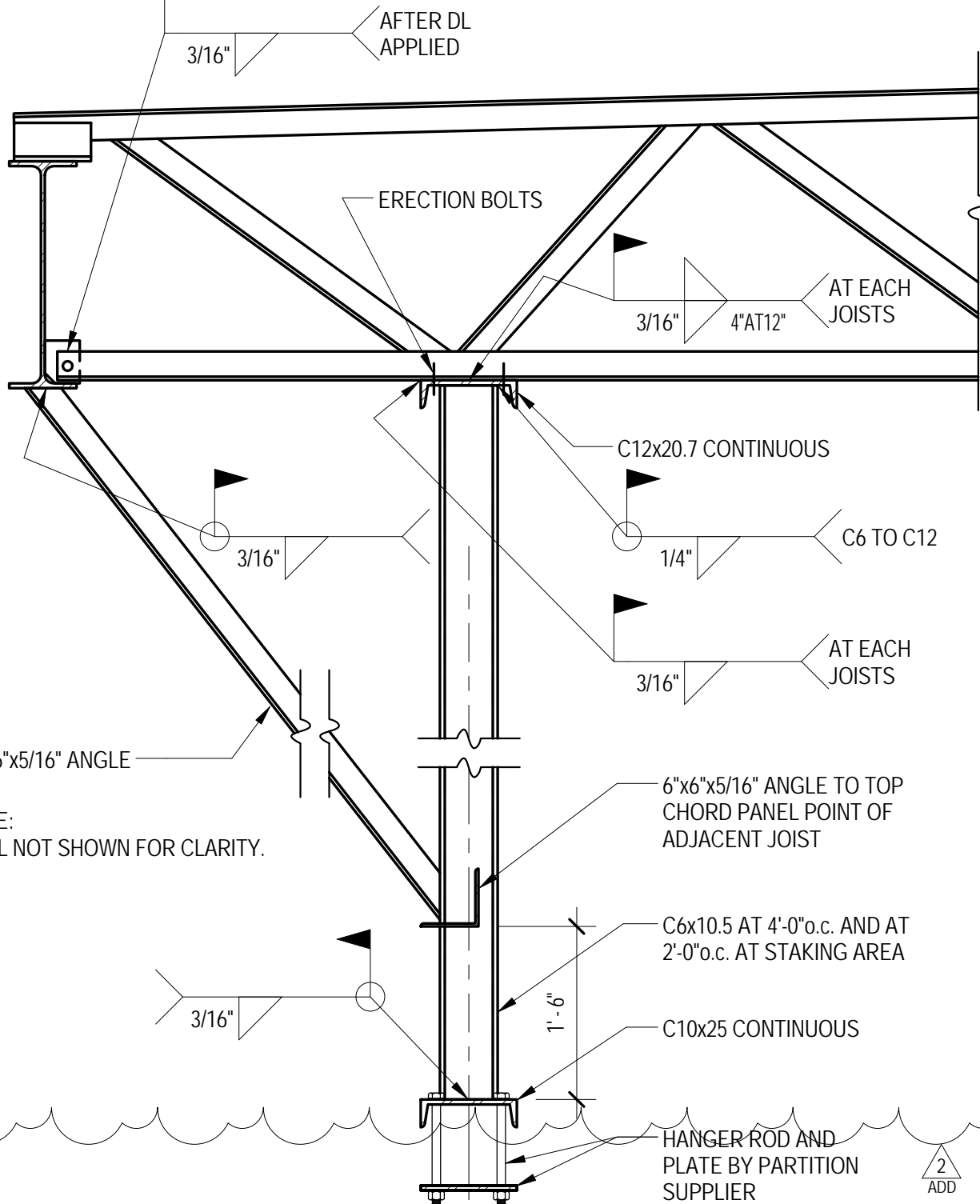
ADD. NO.2
SK-S-3

SCALE: 3/4" = 1'-0"

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LANSDOWNE ELEMENTARY SCHOOL

REVISION TO H/S-5.3

SCALE: 3/4" = 1'-0"

DATE

12/08/2016

ADD. NO.2

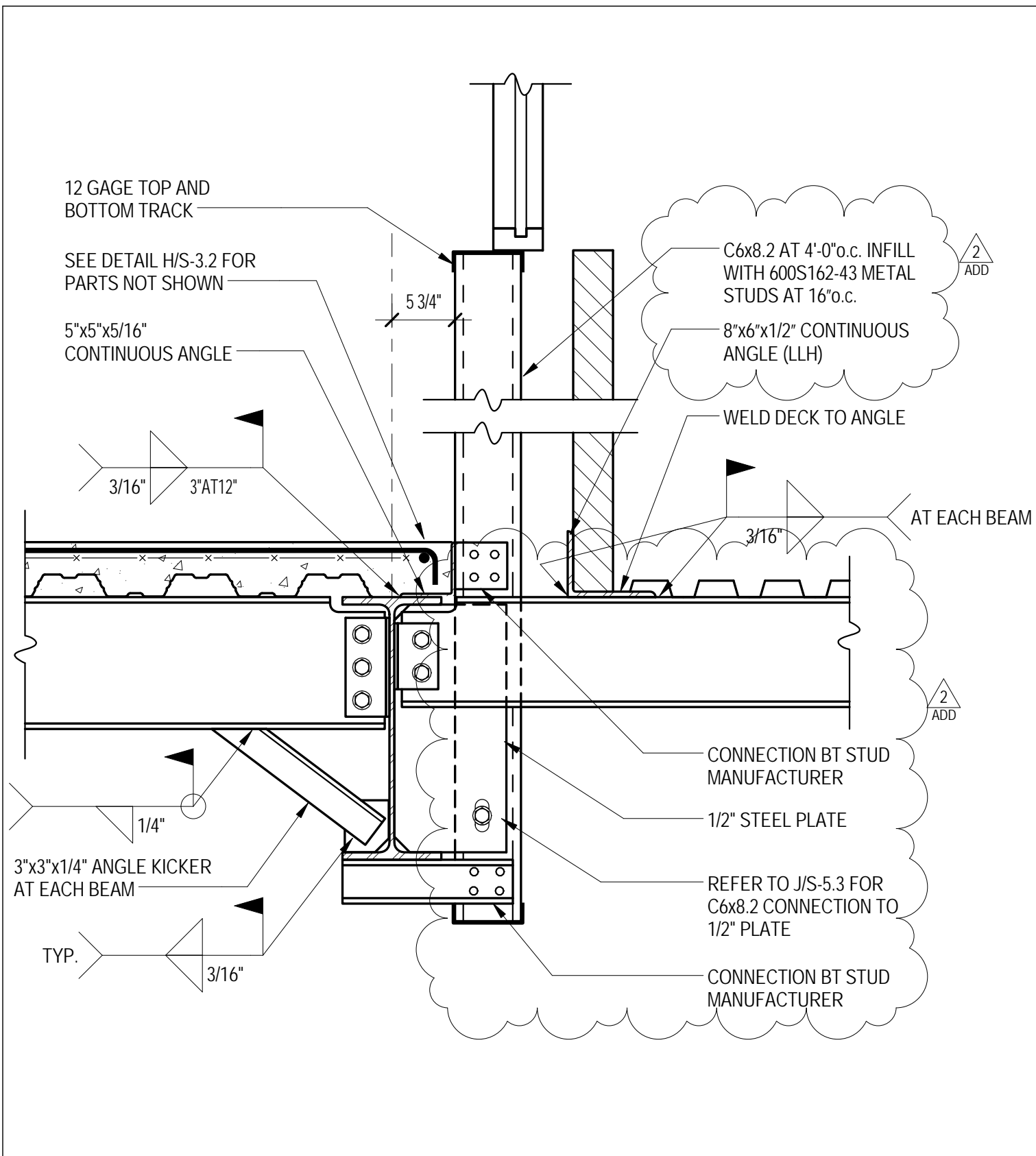
SK-S-4



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LANSDOWNE ELEMENTARY SCHOOL

REVISION TO J/S-5.4

SCALE: 1" = 1'-0"

DATE

12/08/2016

ADD. NO.2

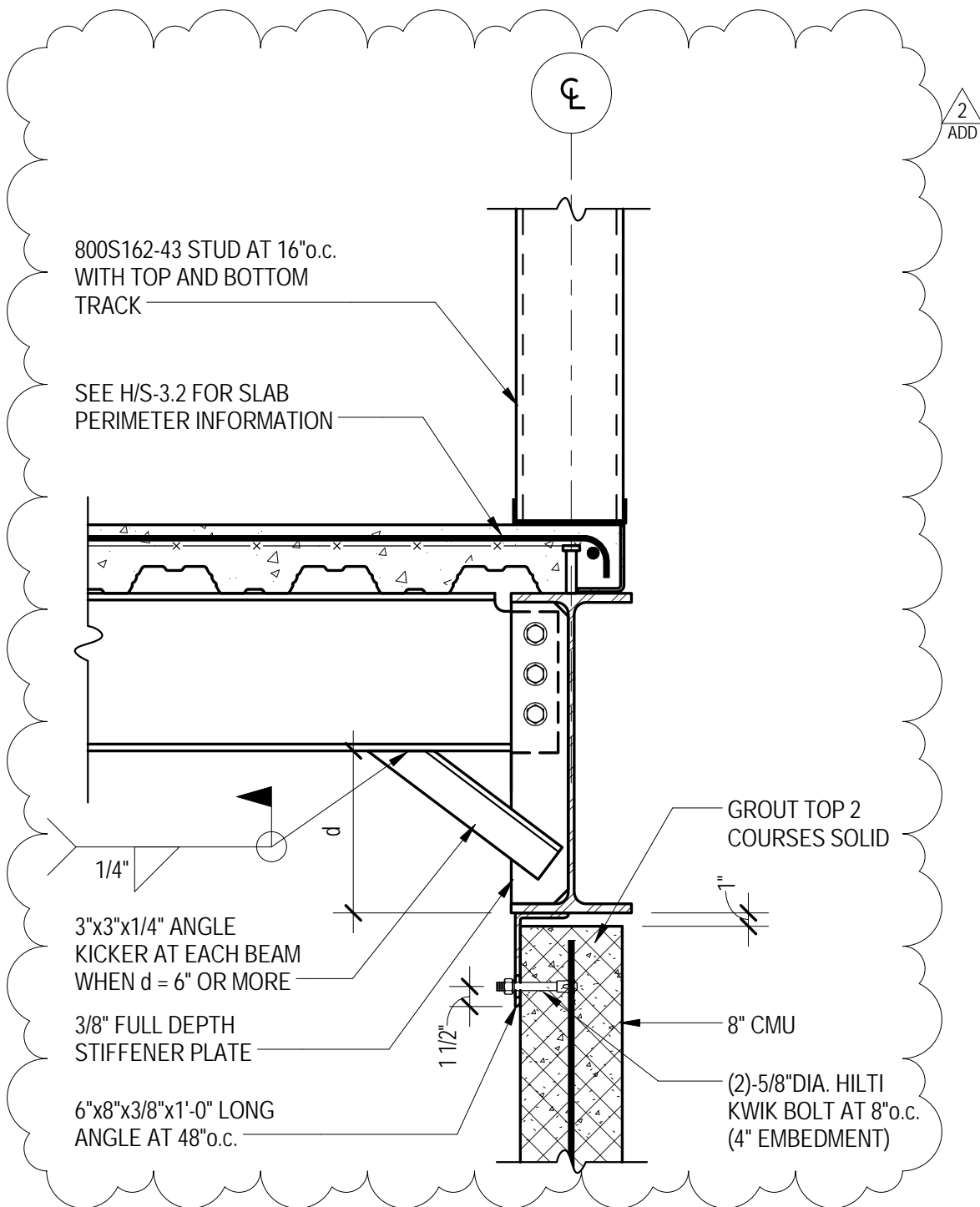
SK-S-5



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LANSDOWNE ELEMENTARY SCHOOL

REVISION TO K/S-5.4

SCALE: 1" = 1'-0"

DATE

12/08/2016

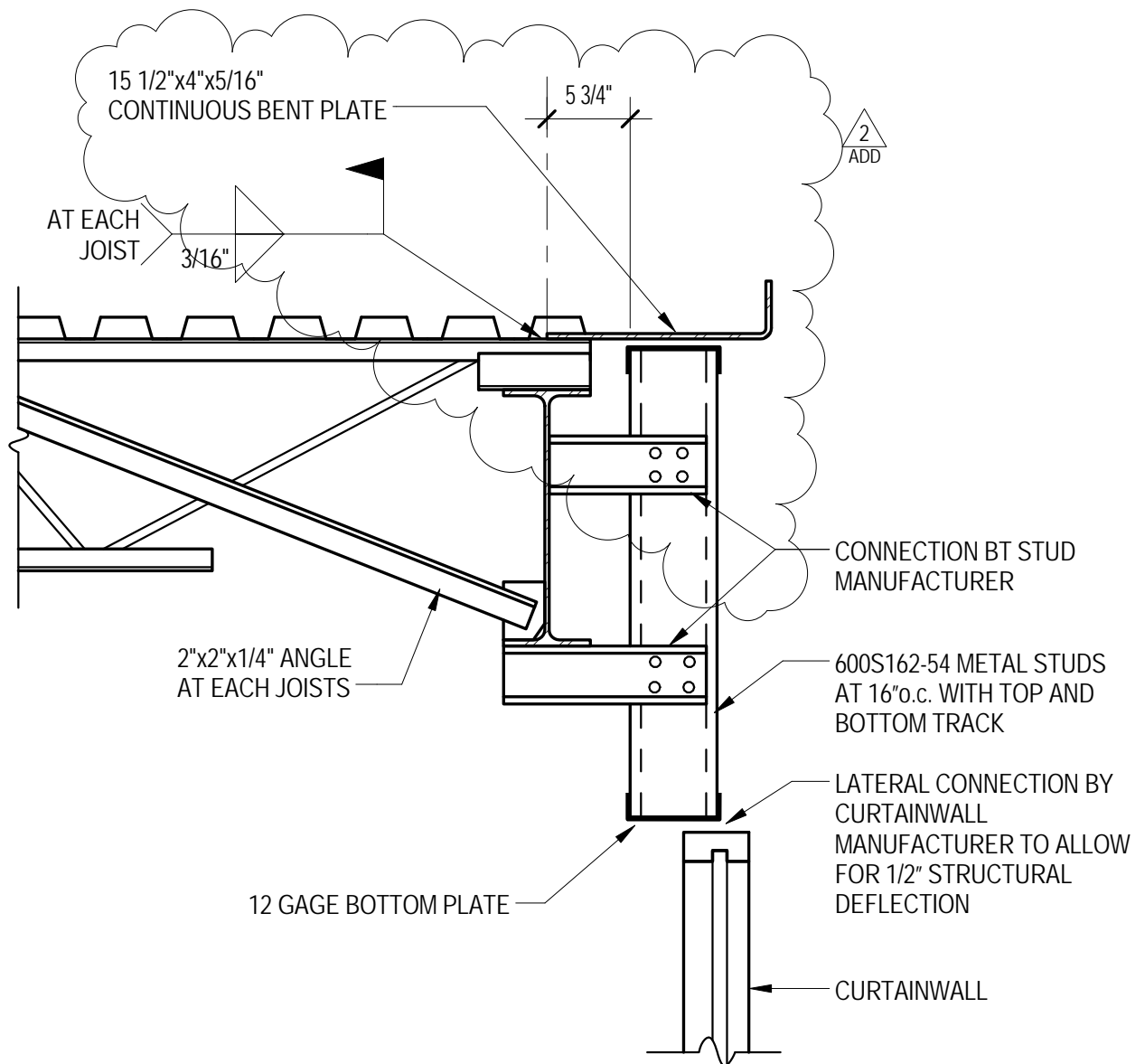
ADD. NO.2

SK-S-6



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LANSDOWNE ELEMENTARY SCHOOL REVISION TO K/S-5.5

SCALE: 1" = 1'-0"

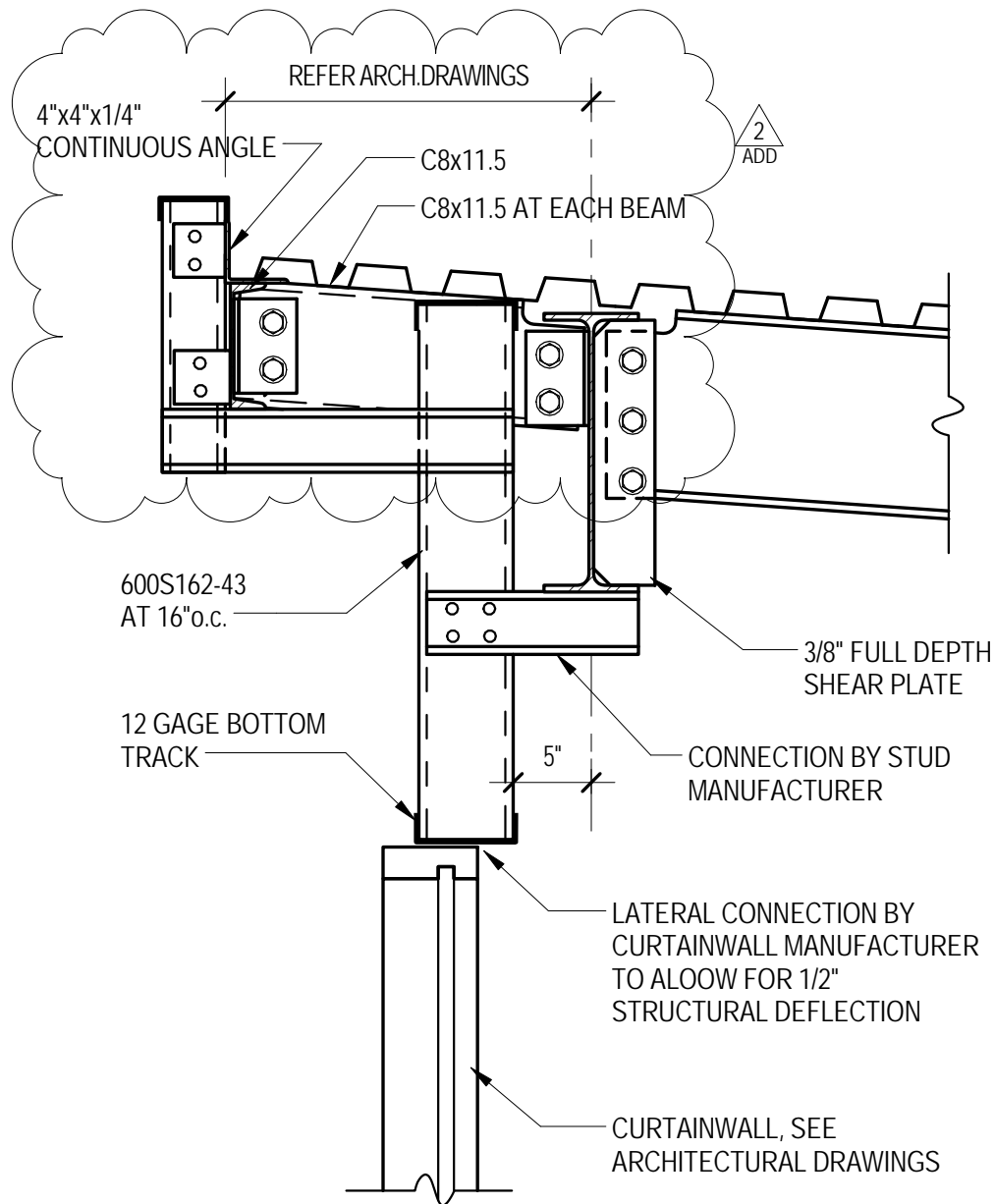
DATE
12/08/2016

ADD. NO.2
SK-S-8



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LANSDOWNE ELEMENTARY SCHOOL

REVISION TO G/S-5.6

SCALE: 1" = 1'-0"

DATE

12/08/2016

ADD. NO.2

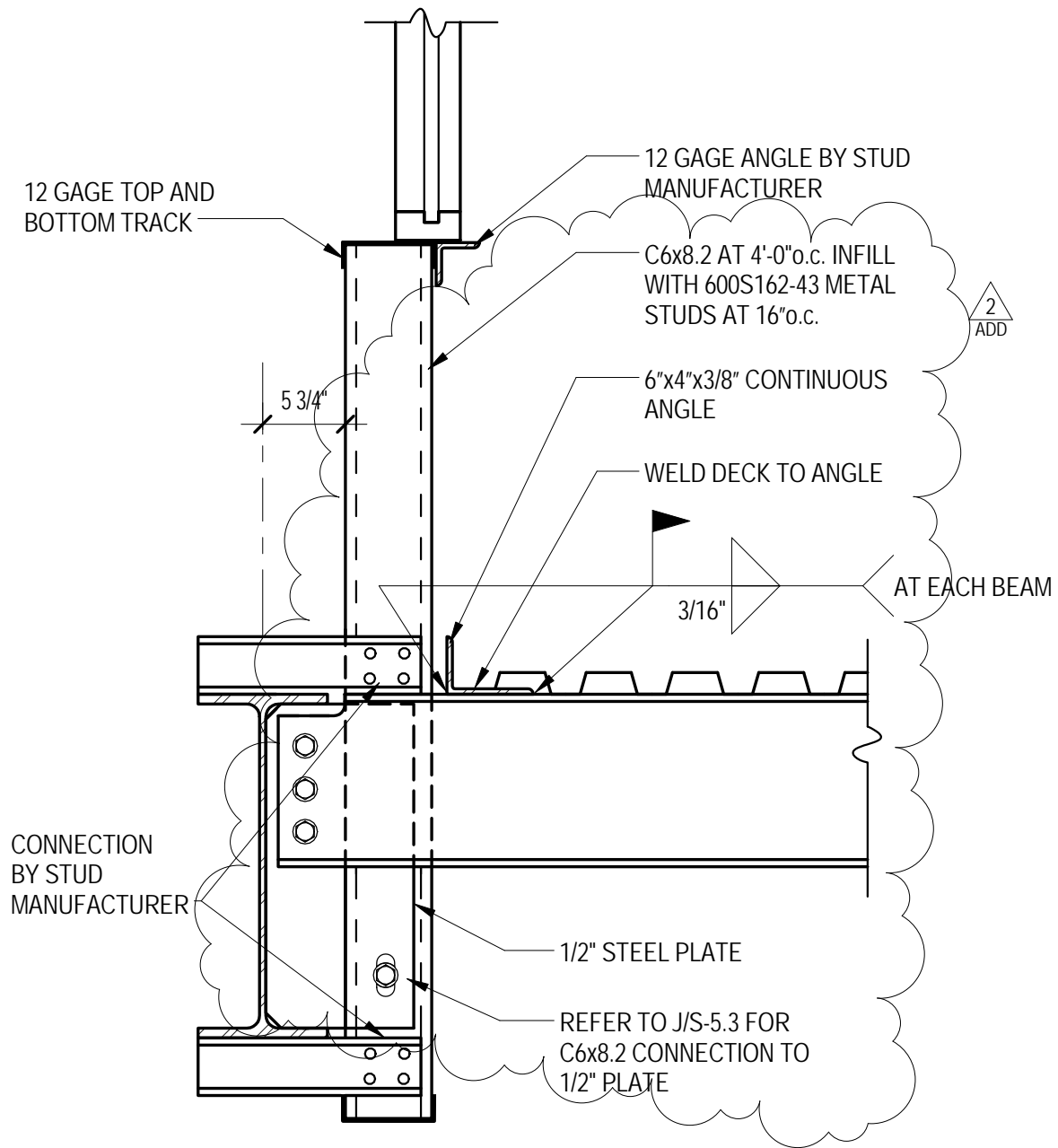
SK-S-9



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LANSDOWNE ELEMENTARY SCHOOL

REVISION TO H/S-5.6

SCALE: 1" = 1'-0"

DATE

12/08/2016

ADD. NO.2

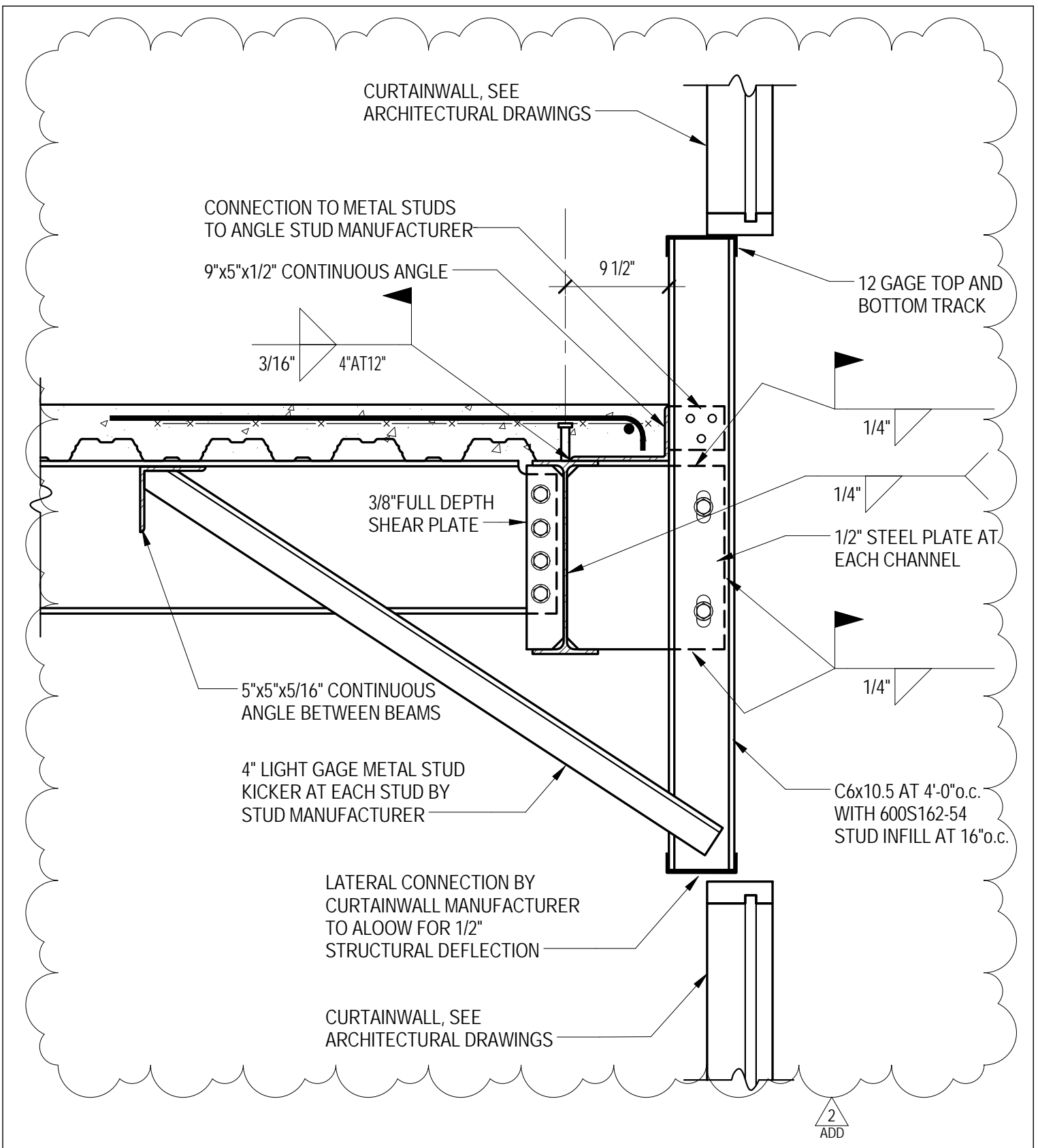
SK-S-10



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LANDSDOWNE ELEMENTARY SCHOOL

ADDED SECTION J/S-5.6

SCALE: 1" = 1'-0"

DATE

12/08/2016

ADD. NO.2

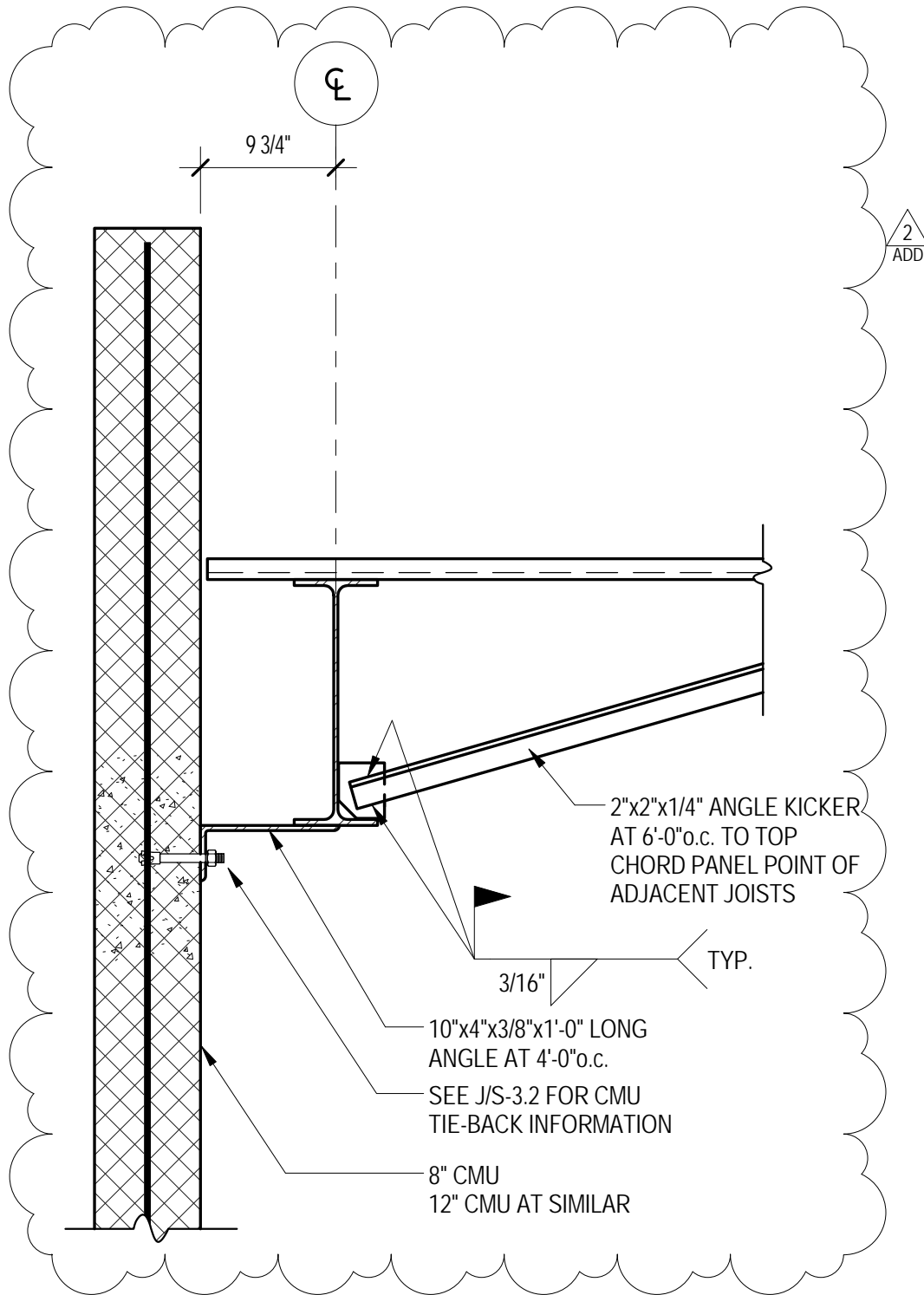
SK-S-11



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LANSDOWNE ELEMENTARY SCHOOL

ADDED SECTION K/S-5.6

SCALE: 1" = 1'-0"

DATE

12/08/2016

ADD. NO.2

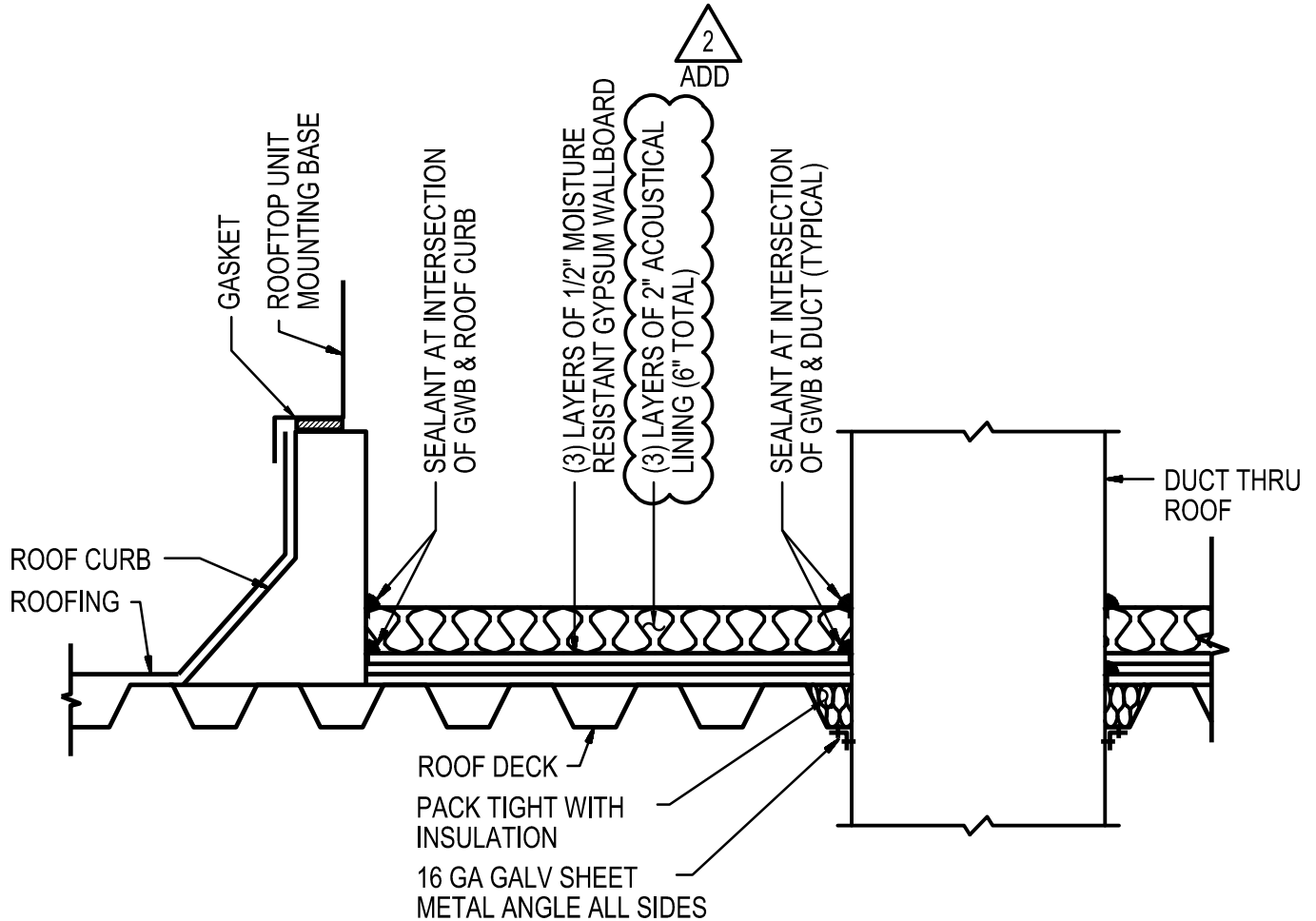
SK-S-12



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STANDARD CURBS

DETAIL 6
M5.3

TYPICAL ACOUSTICAL TREATMENT BELOW DEDICATED OUTDOOR AIR SYSTEM UNITS (DOAS)
ROOFTOP HEATPUMP UNITS (RHPU), AND ENERGY RECOVERY UNIT (ERU-1)

NOT TO SCALE

LANDSOWNE ELEMENTARY SCHOOL

G13 / M-5.3

SCALE:

DATE

12/07/16

ADD

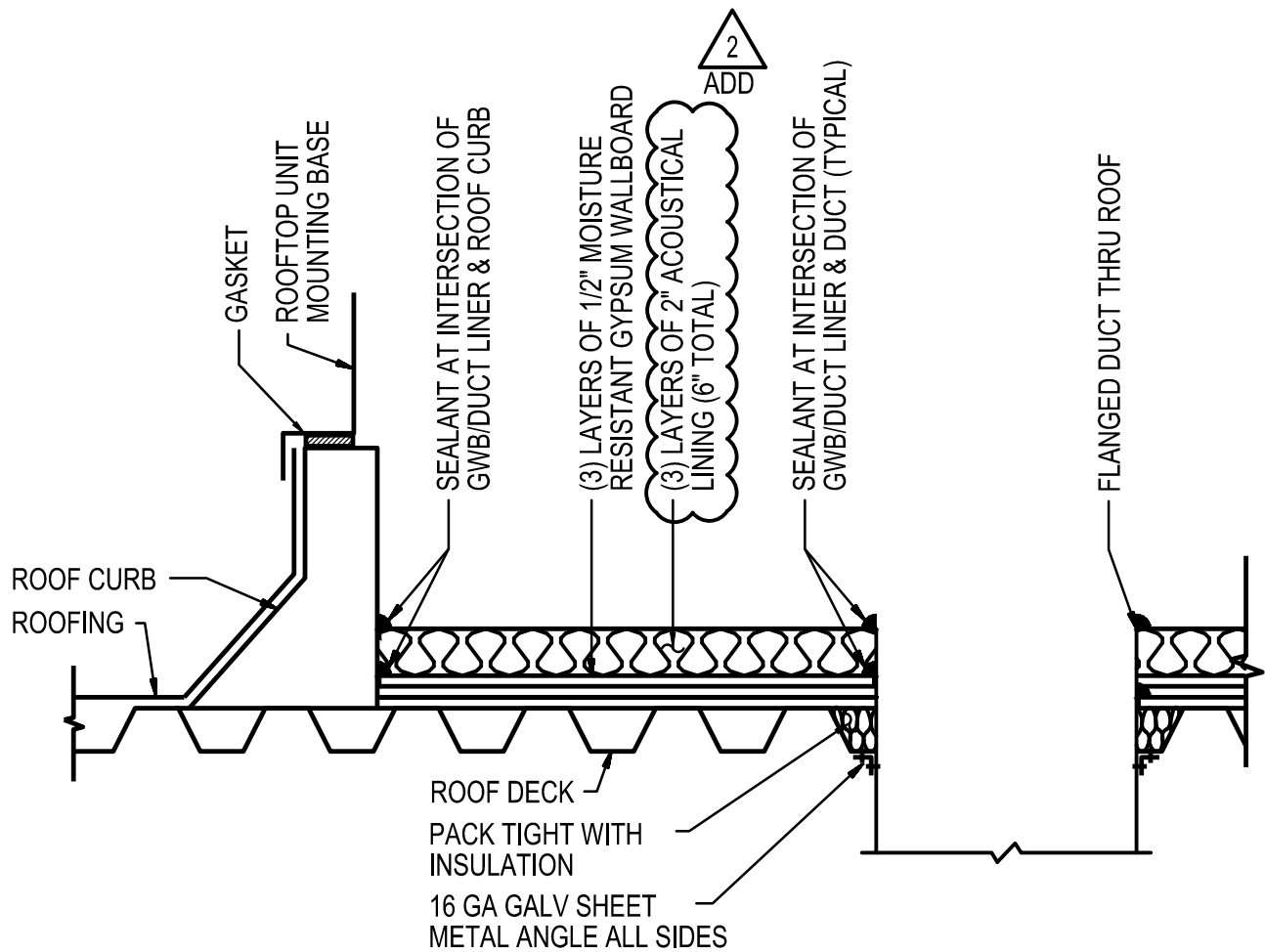
SK-M-1



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PLENUM CURBS

DETAIL 6
M5.3

TYPICAL ACOUSTICAL TREATMENT BELOW DEDICATED OUTDOOR AIR SYSTEM UNITS (DOAS)
ROOFTOP HEATPUMP UNITS (RHPU), AND ENERGY RECOVERY UNIT (ERU-1)

NOT TO SCALE

LANDSLOWNE ELEMENTARY SCHOOL

G9 / M-5.3

SCALE:

DATE

12/07/16

ADD

SK-M-2



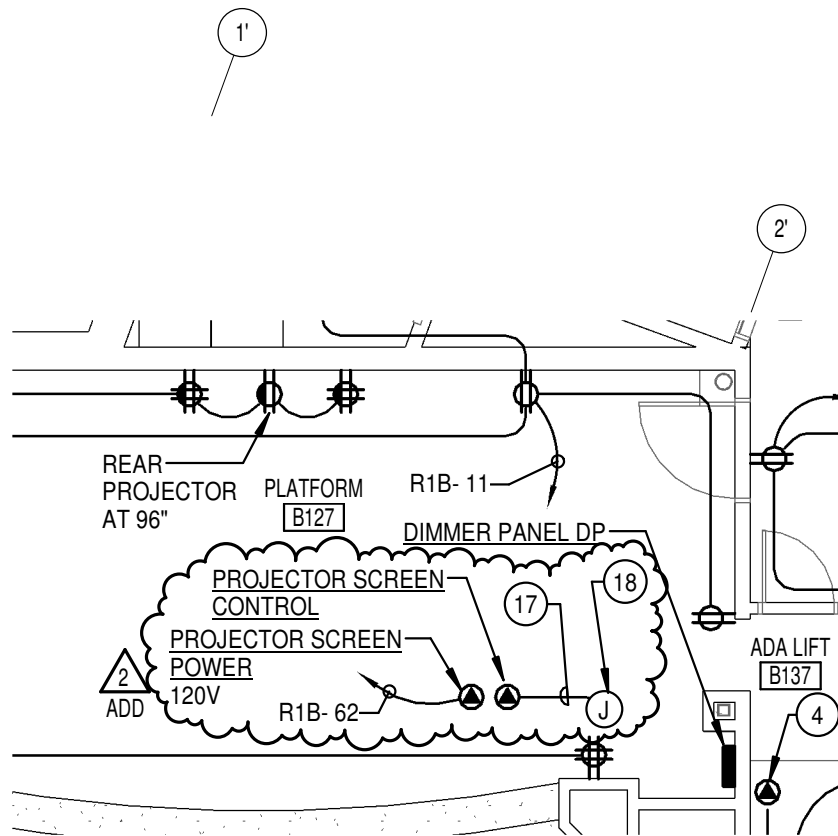
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SPECIFIC NOTES:

- (17) PROVIDE 3 #12 + #12G-3/4" C FROM PROJECTOR SCREEN TO PROJECTOR CONTROL SWITCH.
- (18) INSTALL MANUFACTURER PROVIDED CONTROL SWITCH IN SINGLE GANG OUTLET BOX AT 48" AF.
- 2
ADD



LANDSDOWNE ELEMENTARY SCHOOL

J11, K3 / E-2.1B

SCALE: As indicated

DATE

12/08/16

ADD

SK-E-15



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2.4 Unit Prices

Unit prices are for both extra Work and credits. This list of unit prices will be submitted with the Bid in duplicate and shall become a part of the Contract upon its award. Unit prices listed below are applicable to all work in this project involving extra materials/services performed by the General Contractor or his subcontractors and/or credits to the Owner for materials/services deleted from the project. Unit price includes all overhead and profit for the Subcontractor. General Contractor mark-up is to be applied per Article 7 of General Conditions. Prices as stated shall remain in effect through the end of the Contract warranty period. The undersigned acknowledges the unit price values as part of this bid proposal and agrees to add or delete items for the unit prices identified when directed to do so by the Owner.

1. Riprap Class 1 -	\$75.00 per Ton
2. Earth Excavation Onsite (machine)	\$6.00 per cubic yard
3. Earth Excavation Onsite (hand)	\$90.00 per cubic yard
4. Trench Excavation Onsite	\$15.00 per cubic yard
5. Contaminated Soil (excavate, legally dispose)	\$650.00 per cubic yard
6. MSHA #2 or #57 stone at trench areas	\$45.00 per cubic yard
7. CR-6 or CR-1 at trench areas	\$42.00 per cubic yard
8. MSHA #2 or #57 stone in open areas	\$42.00 per cubic yard
9. CR-6 or CR-1 in open areas	\$40.00 per cubic yard
10. Imported Screened Topsoil	\$50.00 per cubic yard
11. Sodding	\$5.00 per square yard
12. Permanent Seeding and Mulch	\$2.25 per square yard
13. Temporary Seeding and Straw	\$1.50 per square yard
14. Mirafi 500x (furnish and install)	\$2.75 per square yard
15. Stabilization Fabric (furnish and install)	\$2.00 per square yard
16. Stabilization Fabric and Filter Cloth (furnish and install)	\$40.00 per square yard
17. Super Silt Fence (furnish, install, maintain, remove)	\$12.00 per linear foot
18. Silt Fence (furnish, install, maintain, remove)	\$4.50 per linear foot
19. Trench Rock (remove and dispose)	\$350.00 per cubic yard
20. Open Rock (remove, haul, legally dispose)	\$200.00 per cubic yard
21. Existing sidewalk and spoil (remove, legally dispose, replace)	\$8.50 per square foot
22. Existing Curb and Gutter (saw cut, legally dispose, replace)	\$25.00 per linear foot
23. Saw-cut and remove damaged paving	\$50.00 per square yard
24. Concrete Slab	\$0.85 per square foot
25. 4" CMU wall	\$10.00 per square foot
26. 6" CMU wall	\$11.00 per square foot
27. 8" CMU wall	\$14.00 per square foot
28. 12" CMU wall	\$11.95 per square foot
29. Tooth single doorframe (furnish and install)	\$800.00 per opening
30. Tooth double doorframe (furnish and install)	\$900.00 per opening
31. Receptacle	\$240.00 per location
32. Data Outlet	\$255.00 per location
33. Concrete Sidewalk	\$5.50 per square foot
34. Heavy Duty Bituminous Paving	\$45.00 per square yard
35. Imported fill material	\$37.00 per cubic yard
36. Removal of unsuitable material	\$30.00 per cubic yard
37. Reinforced concrete footing	\$325.00 per cubic yard

 (Signature of Bidder)

 (Date)

2.5 Project Construction Schedule and Liquidated Damages

The undersigned agrees to complete Work in strict accordance with the Contract Documents and be substantially complete by not later than the date specified within Section 00200 of the Instructions to Bidders. The Owner may retain the sums as stated in “Liquidated Damages for Failure to Complete on Time,” of Section 00200 instruction to Bidders.

2.6 MBE Submittals

The Bidder shall include minority business enterprise material as provided herein **with their proposal**. Bidders failing to submit the minority business enterprise material as provided herein, including the “Attachment A: Certified Minority Business Enterprises Utilization and Fair Solicitation Affidavit” and “Attachment B: MBE Participation Schedule” may result in the bid being determined non-responsive.

2.7 Bid Bond

Bidder **must** include Bid Bond in the form specified within the solicitation.

2.8 Pre-Qualifications Certificate

Bidders must include a copy of their Pre-Qualifications Certificate as issued by the BCDPW

2.9 Addenda

Receipt of Addenda to the Drawings and Specifications shall be acknowledged on the ADDENDA form within this Form of Proposal.

2.10 Contract

If the undersigned receives written notice of award of the Contract, at his designated address, within one-hundred twenty (120) calendar days after bid opening (or later if bid has not been withdrawn), the undersigned agrees to execute and deliver a Contract and Bonds in accordance with the bid as accepted, within ten (10) business days from receipt of the Contract, or forfeit the amount of the Bid Bond.

(Signature of Bidder)

(Date)

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3. Earth Excavation Onsite (hand)	\$90.00 per cubic yard
4. Trench Excavation Onsite	\$15.00 per cubic yard
5. Contaminated Soil (excavate, legally dispose)	\$650.00 per cubic yard
6. MSHA #2 or #57 stone at trench areas	\$45.00 per cubic yard
7. CR-6 or CR-1 at trench areas	\$42.00 per cubic yard
8. MSHA #2 or #57 stone in open areas	\$42.00 per cubic yard
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11. Sodding	\$5.00 per square yard
12. Permanent Seeding and Mulch	\$2.25 per square yard
13. Temporary Seeding and Straw	\$1.50 per square yard
14. Mirafi 500x (furnish and install)	\$2.75 per square yard
15. Stabilization Fabric (furnish and install)	\$2.00 per square yard
16. Stabilization Fabric and Filter Cloth (furnish and install)	\$40.00 per square yard
17. Super Silt Fence (furnish, install, maintain, remove)	\$12.00 per linear foot
18. Silt Fence (furnish, install, maintain, remove)	\$4.50 per linear foot
19. Trench Rock (remove and dispose)	\$350.00 per cubic yard
20. Open Rock (remove, haul, legally dispose)	\$200.00 per cubic yard
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23. Saw-cut and remove damaged paving	\$50.00 per square yard
24. Concrete Slab	\$0.85 per square foot
25. 4" CMU wall	\$10.00 per square foot
26. 6" CMU wall	\$11.00 per square foot
27. 8" CMU wall	\$14.00 per square foot
28. 12" CMU wall	\$11.95 per square foot
29. Tooth single doorframe (furnish and install)	\$800.00 per opening
30. Tooth double doorframe (furnish and install)	\$900.00 per opening
31. Receptacle	\$240.00 per location
32. Data Outlet	\$255.00 per location
33. Concrete Sidewalk	\$5.50 per square foot
34. Heavy Duty Bituminous Paving	\$45.00 per square yard
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 (Signature of Bidder)

 (Date)

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(Signature of Bidder)

(Date)