



KEVIN KAMENETZ
County Executive

EDWARD C. ADAMS, JR., *Director*
Department of Public Works

August 5, 2015

RE: Contract #15025 PO0
(Silver) Leeds Certified Green Building – Eastern Family Resource Center
9150 Franklin Square Drive, Baltimore, Maryland 21237
Rosedale – District 14 c 6
Job Order No. 249-218-0100-0614

ADDENDUM NO. 4

To All Bidders

This addendum is hereby made a part of the Proposal and the Special Provisions, and is hereby incorporated into the Contract. Should this addendum conflict with any portion of the Special Provisions, the Proposal, or any prior addenda, this addendum shall supersede and control.

Please note the attached changes, corrections, and/or information in connection with the contract and submit bids and be otherwise governed accordingly.

A handwritten signature in blue ink that reads "for Karen M. McCormick".

Vincent G. Kicas, Chief
Division of Construction Contracts Administration

VGK:KM:AEC:bjw

Attachments - 7

Please acknowledge this Emailed Addendum by signing below and faxing back to Tony Crews at 410-887-4505. "Failure by a Bidder to acknowledge receipt of this Addendum to the County may result in the Bidder's bid being considered non-responsive and rejected."

RECEIVED BY: _____ DATE: _____

NAME ABOVE PRINTED: _____

COMPANY NAME PRINTED: _____

Contract 15025 PO0

ADDENDUM 04

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to acknowledge addendum may disqualify Bidder.

Addendum 03 Drawings

It was brought to our attention that not everyone could access the zip file provided in Addendum 03. The following link is being provided here for the Addendum 03 drawings.

<https://www.dropbox.com/l/kUCI7DiJoHvQ5yIpKdxhno>

CHANGES TO DRAWINGS

DELETE: Existing Drawings with the respective numbers listed below.

ADD: New Drawings, which are reissued entirely, with revisions dated 07.31.2015.

Drawing No.

C-105	SITE PLAN
C-107	GRADING PLAN
C-500	SITE DETAILS

ANSWERS TO BIDDER QUESTIONS

- Q10 On Drawing C107. We need proposed elevations for the Basketball Court and Playground area. Could you provide these elevations.
- A10 **Per revisions in Addendum 04, additional spot shots have been added along the edges of the play surfaces including where the surfaces meet the landscaping.**
- Q11 On sheet A0.4, Section ROCA at canopy shows green roof. Is this section correct? Please Advise
- A11 **Contractor shall provide canopies as indicated in the bid documents.**
- Q12 F/I of Playground equipment's(6 types), Plastic Benches, Picnic Table, New 30 CY Trash Compactor (1ea) and Recycling Dumpsters(2ea) is part of general contractor's scope? Please Advise.
- A12 **Except for the recycling dumpsters, these items shall be included in the contract. The Owner will purchase the recycling dumpsters.**
- Q13 Fence behind basketball hoop is 15' high per sheet A0.1 but on sheet C105 it says 12' high. Which is correct? Please advise.
- A13 **12' high is correct.**
- Q14 Are we providing 4' High Designmaster Contempo fence or equivalent behind segmental retaining wall as shown on C502 and C105 for entire perimeter of Basketball Court and Pervious Playground area. Please advise.

- A14 Yes, the fence continues along the retaining wall for the entire perimeter of the basketball and playground areas.
- Q15 Please clarify what duct to be lined? The specifications say supply air duct to terminal units is to be lined, but it is not doubled lined.
- A15 Per the drawings, supply air ductwork indicated by a note and dashed lines are to be sound-lined.
- Q16 Page A0.3, interior partition OB6B is a 6" cmu wall with a note that says glazed at rooms indicated on interior finish schedule. There is nothing indicated on the finish schedule, however, there are walls indicated with that tag on pages A6.21 and A6.31. There is also nothing in the specifications designating glazed block material. Please advise if this material is needed.
- A16 Per Addendum 03, the reference to glazed block has been deleted.
- Q17 On the elevations, the penthouse is designated as brick per the legend, details/wall sections and partition schedule show aluminum. Please advise.
- A17 The penthouse shall be constructed per the details/wall sections and exterior assembly schedule.
- Q18 All brick details show 4" tall brick, specs and legend on elevation drawing's say modular brick, can you please confirm.
- A18 Per Addendum 03, provide utility bricks.
- Q19 Please confirm if the GC will need to provide a separate trailer for the County Inspector?
- A19 A separate trailer for the County Inspector will not be required.
- Q20 Will the GC be responsible for the Recycled Dumpsters? Note 29 on C-105.
- A20 The County will provide the recycling dumpsters.
- Q21 Can the GC substitute a keystone segmental wall for the southern concrete wall from the road to the handicap ramp and then head left along the parking lot to the end? Everything would be segmental wall except for the area at the ramp.
- A21 Provide retaining walls as shown on the drawings.
- Q22 There is no specification for the architectural louvers.
- A22 Louver specification was included in Addendum 03.
- Q23 Please confirm if the dental equipment is to be provided by the Contractor. If so, please provide more information (model no., etc.).
- A23 Dental equipment is to be provided by the Contractor. Refer to drawings provided in Addendum 03.
- Q24 There are two (2) windows shown on the elevations at Shelter Kitchen 160, but they don't seem to show up on the plans. Please clarify.
- A24 Refer to exterior elevation on sheet A4.02 for window type.
- Q25 Glass Types GL-1 and GL-2 are missing from the Glass Type Legend on drawings A9.03 and A9.04.
- A25 Refer to specifications for glass types.
- Q26 Please provide the paving section/detail for the basketball play area. It is not called out.
- A26 A light-duty asphalt paving section has been added as Detail 12 on Sheet C-500. A standard

asphalt paving section will be provided in the drive aisles and parking bays, see Detail 6 on Sheet C-500.

- Q27 Are you looking for a single source warranty for the green roof and the membrane?
- A27 Yes, a single source warranty for the green roof and membrane is required.
- Q28 On Drawing C105 you have Site Key Notes 2, 26 and 30 all pointing to the same line by the basketball court. Please clarify
- A28 Keynote 2 is for the 4' fence around the basketball court. Keynote 30 is for a 4' gate between the fence and building, and Keynote 26 is for a 12' high chain link fence that will be 12' wide centered on the basketball post.
- Q29 On Drawing C105 Site Plan Key Notes: Number 29 New Recycling Dumpsters (2). Are these to be owner or contractor furnished. If they are to be contractor furnished could you provide a specification for these Recycling Dumpsters.
- A29 Recycling dumpsters will be owner-provided.
- Q30 Please confirm that there are no subgoals for the minority participation and it is a 25% goal.
- A30 No subgoals and yes it is a 25% goal.
- Q31 On page 1851 item 2.4 requires Valuable Papers Coverage including Computer Data in the amount of \$100,000. We have this coverage but no third-party coverage. Is this requirement required for third-party coverage on this project. Please advise.
- A31 Third party coverage not required.
- Q32 On pages 80 and 132: Contractor shall procure "railroad public liability and property damaged insurance" and this insurance shall be provided by the Contractor as specified in TC-6.03. Is this insurance required for this project. Please advise.
- A32 No.
- Q33 On page 80 under General Liability references Asbestos coverage. Will this coverage be required for this project. Please advise.
- A33 No.
- Q34 Will we need to obtain a Pollution Policy for this project. Please advise.
- A34 No.
- Q35 On sheet A0.3 the wall types only indicate rated or non rated walls. Should the non rated walls continue to the structure above or terminate above ceiling?
- A35 All walls shall continue to the deck above, unless otherwise noted.
- Q36 If the non rated walls continue to the deck do they require acoustic insulation at the top similar to mineral wool for sound transmission? (There are top of wall details for stud walls but not masonry)
- A36 Stop interior masonry walls 3/4" from underside of deck and provide mineral wool/acoustic insulation as required for fire rating/sound transmission.
- Q37 Are the 6" cmu partitions to receive the same rebar as the 8" partitions (#5 @48)?
- A37 Only at jambs as per detail 7/S5.3.
- Q38 Please confirm the 4" cmu partitions do not require vertical reinforcing and grout.
- A38 None required for 4" cmu.
- Q39 Specification 4200-2.7C & D indicate ladder or truss wire. Structural drawing S5.3 detail 7 indicates truss wire. Is truss wire required? (it is more expensive)

- A39 **Ladder wire is acceptable.**
- Q40 Ref: Spec Section 113100 pg. 3, 2.7.C & D. I was told by a rep from Midmark that there is no Ritter #622 or a Ritter #602. Please provide the correct model numbers for Exam Table EC-01 & Exam Table EC-02.
- A40 **Revise EC-01 to Ritter 222 and EC-02 to Ritter 204.**
- Q41 Spec Section 105500- pg. 2. USPS-STD-4C Front Loading Mail Receptacle. It stated in Addendum No. 3 that the size was listed in the specs. The size is not listed in the specs, but the size of the individual boxes are. I have attached the sizes for the STD-4C. As you can see, there are several different sizes for this model.
- A41 **Provide model 4C03D with individual boxes as indicated in the specification.**

END OF ADDENDUM 04

PROPERTY OF
BOARD OF TRUSTEES OF
ESSEX COMMUNITY COLLEGE
O.T.G. 4755 FOLIO 256

N43°33'19"E 637.03'

REMAINDER OF PARCEL A

FRANKLIN WOODS
PLATBOOK 71 FOLIO 43

215327 SQ. FT. OR 4.94323 AC.

MACADAM PARKING LOT

PROPERTY OF
BALTIMORE COUNTY, MARYLAND
LIBER 19107 FOLIO 425

PART OF PARCEL A
FRANKLIN WOODS
PLATBOOK 71 FOLIO 43

STORMWATER MANAGEMENT RESERVATION

FRANKLIN SQUARE/MERIDIAN HEALTHCARE
NURSING HOME LIMITED PARTNERSHIP
S.M. NO. 9422 FOLIO 582

LOT 1
FRANKLIN WOODS
PLATBOOK 71 FOLIO 43

GRADING PLAN LEGEND

- 100.00 G PROPOSED GRADE ELEVATION
- 100.00 TC PROPOSED TOP OF CURB ELEVATION
- 100.00 TW PROPOSED TOP OF WALL/ PROPOSED BOTTOM OF WALL (SEE NOTE 1, THIS SHEET)
- 95.00 BW
- 1.00% PROPOSED SLOPE
- 150 EXISTING MAJOR CONTOUR
- 150 EXISTING MINOR CONTOUR
- 150 PROPOSED MAJOR CONTOUR
- 149 PROPOSED MINOR CONTOUR
- LOD PROPOSED LIMIT OF DISTURBANCE

NOTE:

1. THE TW/BW SPOT SHOTS REFLECT THE FINISHED GRADE ON THE TOP AND BOTTOM SIDE OF THE WALL, RESPECTFULLY, NOT THE PHYSICAL TOP OF THE WALL.

GRADING DETAIL 'D'
SCALE: 1"=10'

GRADING DETAIL 'A'
SCALE: 1"=10'

GRADING DETAIL 'B'
SCALE: 1"=10'

GRADING DETAIL 'C'
SCALE: 1"=20'

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

BALTIMORE COUNTY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
AND SUSTAINABILITY
APPROVED FOR GRADING
DATE

DISTURBED AREA: 4.53 AC (197,528 SF)

DESIGN AND DRAWING BASED ON MARYLAND
COORDINATE SYSTEM (MCS)
HORIZ. NAD 83 (2007)
VERT. NAD 88
BID SET 06/16/15

SHEET DESIGNATION	CONTRACT NO.
C-107	15025P00
JOB ORDER NO.	249-218-0100-0614
SHEET 11 OF 359	DRAWING NO.
2015-1647	FILE NO.

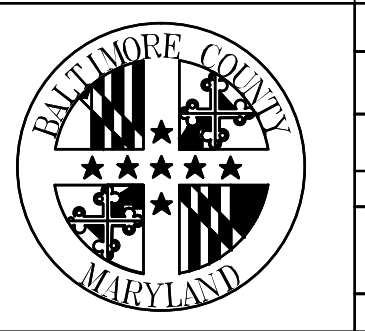
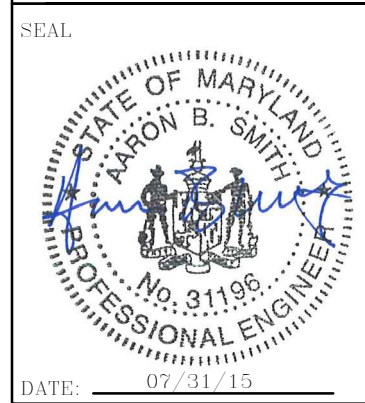
PROFESSIONAL CERTIFICATION	AS-BUILT / REVISION	DATE	P.W.A. NO.	KEY SHEET	POSITION SHIT	DRAWING SCALE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31196 EXPIRATION DATE 01/16/17 ARCHITECT: AARON B. SMITH, P.E.	ADDENDUM NO. 3	07/31/2015	PWA No.	MSW	SINCE 2/20/2017	PLAN SCALE: AS SHOWN
DESIGN BY: CMB	BUREAU OF ENGINEERING AND CONSTRUCTION	HIGHWAYS	R.O.W. NO.	ROW		PROFILE SCALE: 1"=1'-0"
DWN BY: CMB	REVIEWED BY:		STRUCTURES	STORM DRAINS	SEWER	WATER
CHKD BY: ABS	DATE REVIEWED:					FIELD ENGINEER
						APPROVED BY: DIRECTOR
						APPROVED BY: CHIEF

SUBDIVISION:

BALTIMORE COUNTY OFFICE OF BUDGET AND FINANCE, PROPERTY MANAGEMENT
EASTERN FAMILY RESOURCE CENTER
GRADING PLAN

9150 Franklin Square Drive
Rosedale, MD 21237

ELECT. DISTRICT NO. 14C6



Copyright 2015 WOOD GROUP, INC.

